



Planning & Zoning Department

Master Application

Staff Use Only

Project Name: East Ranch

File Number: SPP-00148-2024

Related Applications: ANN-00306-2024; VAR-00163-2024; CUP-00348-2024

Type of Application

- | | |
|---|--|
| <input type="checkbox"/> Accessory Structure | <input type="checkbox"/> Legal Non-Conforming Use |
| <input checked="" type="checkbox"/> Annexation/Pre-Annexation | <input type="checkbox"/> Planned Unit Development/MPC |
| <input type="checkbox"/> Appeal | <input checked="" type="checkbox"/> Subdivision |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Short |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Preliminary |
| <input checked="" type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final |
| <input type="checkbox"/> Multi-Family Housing | <input type="checkbox"/> Condo |
| <input checked="" type="checkbox"/> Development Agreement | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Modification | <input type="checkbox"/> Fireworks Stand |
| <input type="checkbox"/> Home Occupation | <input type="checkbox"/> Vacation |
| <input type="checkbox"/> Daycare | <input checked="" type="checkbox"/> Variance |
| <input type="checkbox"/> Kennel License | <input type="checkbox"/> Staff Level |
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Zoning Map/Ordinance Amendment (Rezone) |
| <input type="checkbox"/> Mobile Home Park | <input type="checkbox"/> Other: _____ |

You must attach any corresponding checklists with your application or it will not be accepted

Applicant Name: Idaho Holdings, LLC Phone: 208-377-5700

Applicant Address: 839 S. Bridgeway Pl Email: john@markbottles.com; emily@markbottles.com

City: Eagle State: ID Zip: 83616

Interest in property: Own Rent Other: _____

Owner Name: Nampa 137, LLC Phone: 208-377-5700

Owner Address: 839 S. Bridgeway Pl Email: john@markbottles.com; emily@markbottles.com

City: Eagle State: ID Zip: 83616

Contractor Name (e.g., Engineer, Planner, Architect): Ryan Cutler

Firm Name: Horrocks Phone: 986-226-5725

Contractor Address: 2775 W Navigator Dr., Suite 210 Email: ryan.cutler@horrocks.com

City: Meridian State: ID Zip: 83642

Candace Fry

From: Emily Mueller <emily@markbottles.com>
Sent: Friday, September 20, 2024 11:02 AM
To: Candace Fry; Melissa Knee
Cc: Riley Verner; John Bottles; Kristi Watkins
Subject: Re: East Ranch Subdivision

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated OUTSIDE the City of Nampa domain. **DO NOT** click on links or open attachments unless you recognize the sender or are sure the content is safe. Highlight the suspect email and send using the Outlook Phish Alert Report button or call the IT Helpdesk at (208) 468-5454.

Hi Candace ,

Yes, please see the below acreages:

Commercial 10.763 ac
Multifamily 20.329 ac
Industrial 18.061 with Cherry Lane Vacation or 15.671 ac without
Single Family Res West 21.532 ac
Single Family Res East 21.761 ac

Let me know if you have any other questions!!

I'm including Melissa with our engineer team here.

Best
Emily

Emily Mueller
Cell: (208)-866-2405

From: Candace Fry <fryc@cityofnampa.us>
Sent: Friday, September 20, 2024 9:57:18 AM
To: Emily Mueller <emily@markbottles.com>
Cc: Riley Verner <Riley@markbottles.com>; John Bottles <Jbottles@markbottles.com>; Kristi Watkins <watkinsk@cityofnampa.us>
Subject: RE: East Ranch Subdivision

Good Morning,

Thank for clarifying about the preliminary plat. I was wondering if you can provide the acreage for residential, commercial and industrial uses without showing the common area, QOS and ROW?



June 6, 2024

Revised 9/5/2024

City of Nampa Planning & Zoning
500 12th Ave. S.
Nampa ID, 83651

**RE: East Ranch Project Description – Annexation, Zoning, Preliminary Plat,
Development Agreement and Conditional Use Permit**

Dear Planning Staff, Mayor, City Council, and Planning & Zoning Commission:

On behalf of Nampa 137, LLC (“Applicant”) we are pleased to present you with the applications for the annexation, initial rezoning, preliminary plat, conditional use permit, and variance for the East Ranch mixed-use community (the “Project”). Our team has designed East Ranch in careful consideration of the City’s recent comprehensive plan changes to the CMU guidelines, the neighboring subdivisions, its I-84 border, and other surrounding uses. East Ranch is an interconnected, highly amenitized development that will benefit not just the residents and commercial tenants of East Ranch, but the surrounding Nampa community as well.

We believe that East Ranch will be a one-of-a-kind mixed-use development and appreciate your review of the enclosed applications. Please feel free to contact us with any questions or for additional information.

Sincerely,

Mark Bottles

John Bottles

**Idaho
Holdings**

www.idahoholdings.com

Property Overview

East Ranch is located on approximately 134.57-acres of vacant property located east of I-84 between Cherry Ln. and Laster St. consisting of Canyon County parcel nos. R3087400000, R3087601000, R3087301100; R3087301000 and R3087300000 (the “Property”). The Property is currently zoned Agricultural (AG) in Canyon County and located within the City of Nampa’s comprehensive planning area. Figure 1 below shows the Property.

Figure 1 – Vicinity Map

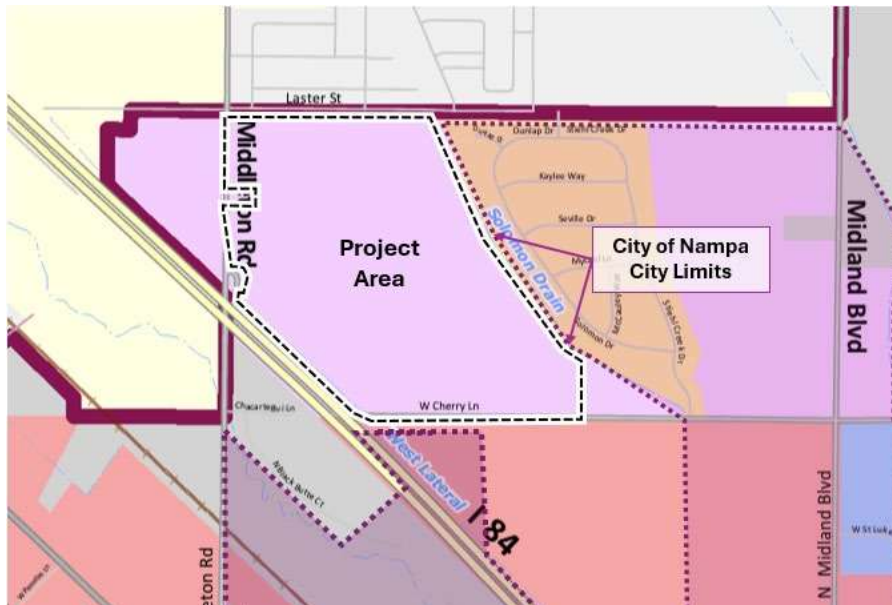


Annexation

Applicant requests annexation of the Property into the City of Nampa under Idaho Code Section 50-222 and Nampa City Code 10-2-4. The Property is annexable because the owner has consented to annexation, the Property is contiguous to the current city limits and is in the City’s comprehensive plan future land use map (“FLUM”) planning area, as shown in Figure 2 below. Annexation of the Property is also appropriate because City services are extended to the Property via Laster St. and the City has planned for annexation of the Property by including the land in the FLUM. The proposed annexation constitutes orderly development in accordance with the City’s Planning documents.

The Property is designated for Community Mixed Use (CMU) development in the City of Nampa Comprehensive Plan (see Figure 2). Consistent with that designation, we are requesting mixed use zoning of the Property to BC, IL, RS4, and RMH zones with a Development Agreement. Our application package also includes requests for approval of a Preliminary Plat and a Conditional Use Permit with a setback variance for an enclosed self-storage storage facility.

Figure 2 – Nampa FLUM



Comprehensive Plan

The City of Nampa’s recently updated Comprehensive Plan (the “Comp Plan”) envisions the type of Community Mixed Use development offered by East Ranch as highlighted in the following goals:

- **Comp Plan Section 5.6.7.** The Community Mixed-Use designation is to specifically include commercial uses with a focus on providing communitywide needs and services and low-impact industrial uses. These areas should be sited along major transportation corridors and include public transportation access wherever feasible. At least 5 - 50% of the gross parcel area should be in high-density residential.

East Ranch is a complete mixed-use project providing local community needs, including flexible light industrial space, storage, and general community business/commercial. In accordance with Comp Plan Section 5.6.7, approximately 17% of East Ranch consists of high-density residential housing.

- **Comp Plan Section 5.6.7.1.** Community Mixed Use Design Principles include: Located on major transportation corridors, arterials, collectors, and gateways with commercial elements oriented to the corridor, a frontage road or local access road. Developments should have interconnected circulation systems with convenient and easily interpreted access and egress for automobiles, pedestrians, and public transportation.

East Ranch is located along I-84 between Cherry Ln and Laster St. The Light Industrial use borders I-84, and the Commercial uses are oriented along the Cherry corridor. East Ranch will be re-routing Cherry Ln. to promote better vehicular circulation in and through the mixed-use community. East Ranch features over 4.5 miles of pathways and 8 miles of detached sidewalks.

- Comp Plan Section 5.16 Smart Growth or a “Compact City” is an urban planning and transportation theory that concentrates growth in compact walkable urban centers to avoid sprawl and advocates compact, transit-oriented, walkable, bicycle-friendly land use, including neighborhood schools, complete streets, and mixed-use development with a range of housing choices.

East Ranch is infill development and constitutes smart and orderly growth. It is surrounded by I-84, the Stiehl Falls Subdivision (City of Nampa), Eagle Christian Church (City of Nampa), and Monarch Subdivision (City of Caldwell). East Ranch streetscapes have been designed to include landscape buffers between the roadway and pedestrian paths and landscaped islands running throughout the re-routed Cherry Ln. East Ranch has been designed with overarching signage themes to integrate a variety of uses into one holistic, thoughtfully designed community. With over 4.5 miles of pathways and 8 miles of detached sidewalks, East Ranch will be a pedestrian and cycle-friendly development, not just for its residents, but for the surrounding Nampa area.

Zoning

East Ranch is requesting zoning of the Property to RS4, RMH, IL and BC as outlined in *Table 1* and depicted in *Figure 3* and below.

Table 1

Requested Zoning	Acres	Description
RS4	81.8 acres	Single Family detached housing.
RMH	22.87 acres	1 Lot for multifamily development.
IL	17.07 acres	1 Light Industrial parcel located along I-84.
BC	12.83 acres	3 BC lots located along Cherry Blvd.

Figure 3 – Requested Zoning



Each of the four (4) requested zones are appropriate because they are consistent with the Property's CMU designation in the FLUM and because they are compatible with zoning and uses in the area. Specifically, the RS4 zone is appropriate along the Property's eastern and northern boundaries, which border the single family Stiehl Falls (City of Nampa) and Monarch Subdivisions (City of Caldwell). The RMH zone is appropriate because the Comprehensive Plan requires that at least 5 – 50% of the gross parcel area be in high-density residential.¹ East Ranch provides approximately 17%. Finally, East Ranch's IL and BC zones address the Comprehensive Plan's focus on providing communitywide needs and services and low-impact industrial. In total, the four requested zones provide a complete mixed-use community.

The parcel lines follow Applicant's requested zoning, with one (1) parcel for RS4; (1) parcel for RMH; (1) parcel for IL; one (1) parcel for the Storage Site (BC); and one (1) parcel for the commercial business site (BC).

Preliminary Plat

East Ranch is a mixed-use community with residential, commercial, and light industrial/flex business opportunities, transitioned across the site to complement neighboring uses, depicted in Figure 4 below.

Figure 4



The details of the preliminary plat include:

¹ Comprehensive Plan Section 5.6.7.

Preliminary Plat Details					
Requested Zoning	Gross Acreage	Lots	Common Lots	Qualified Open Space %	Zoning % of Project
RS4	81.8 acres	363	43	21.25%	60.783%
RMH	22.878 acres	1	0	N/A	17.000%
IL	17.07 acres	1	1	N/A	12.684%
BC	12.83 acres	3	1	N/A	9.534%
TOTAL	134.578 acres	368	45	21.25%	100%

General Project Details	
Single Family Gross Density	4.43 du/acre
Multi Family Gross Density	17.30 du/acre
Total Gross Density	5.66 du/acre
RS4 Qualified Open Space	17.39 acres (21.25%)
Average Lot Size -Single Family	5,312 sf

It is anticipated that East Ranch will be built in six (6) phases. The anticipated timing for the final platting of each phase is as follows:

Phasing Timing Projections	
Phase 1 – RS4 & re-routed Cherry Ln	2025
Phase 2 – RS4	2026
Phase 3 - IL	2027
Phase 4 - RMH	2028
Phase 5 – BC (Storage)	2029
Phase 6 - BC	2029

Cherry Lane

In its current location, Cherry Lane runs along the southern boundary of the Property and veers northwest, running parallel to I-84 before connecting to Middleton Rd. As requested by City staff, and to mitigate historic safety concerns with Cherry Ln’s current alignment and intersection with Middleton Road, Applicant proposes to re-construct and re-route Cherry Ln through the middle of the Property. This major infrastructure investment will be completed in Phase 1 of the subdivision and significantly improve the safety conditions of the area. As set forth in the proposed Development Agreement, Applicant requests that, upon completion of Cherry Lane, the City work with ITD and Nampa Highway District #1 to have the existing Cherry Lane right of way vacated and conveyed to Applicant in exchange for the land provided for the relocated roadway. Applicant further requests that any qualifying road improvements or associated land

contributions (over and above land exchanged for vacated right of way) are credited against impact fees pursuant to a written impact fee reimbursement agreement and consistent with Nampa City Code § 3-7-9.

Single Family Housing – Commons and Village at East Ranch

The Single Family Residential (RS4) portion of the Project, referred to as “Village at East Ranch” and “Commons at East Ranch,” will provide 363 single-family detached homesites. Featuring all detached sidewalks, ample open space and common area, the single-family homes provide a transitional buffer to the neighboring Stiehl Falls and Monarch Subdivisions to the east and north. In further consideration of the Stiehl Falls subdivision, the Project’s eastern border features a ten (10’) foot wide pedestrian and bicycle pathway, with five (5’) feet of landscaping on both sides, further buffering East Ranch from the neighboring subdivision by 100’. Character elevations of the single-family homes are included in Schedule 1.

Multi Family Apartments - Lofts at East Ranch

The Apartment portion of East Ranch is referred to as the “Lofts at East Ranch.” The Lofts will consist of no more than 396 dwelling units. Lofts at East Ranch will feature first class amenities including a pool, clubhouse, and children’s play area. The multifamily homes, together with the single-family homes, provide diverse housing options near employment. Character elevations of the Lofts at East Ranch are included on Schedule 1.

Light Industrial – Commerce at East Ranch

The Light Industrial portion of East Ranch, referred to as “Commerce at East Ranch,” will provide adaptable commercial spaces to cater to a variety of businesses. Designed to include demisable walls, flex buildings can be purposed for a wide range of users, including light industrial manufacturing space, local retail and community uses such as a local fitness facility or restaurant, and office users. Character elevations of the Commerce at East Ranch are included on Schedule 1.

Community Business – Storage and Business at East Ranch

The Community Business area of East Ranch is proposed to include a self-storage facility on approximately 4.53 acres and general commercial uses on approximately 8.3 acres to be developed in accordance with the requested BC zoning. The storage and business developments will have complementary signage and landscape design with the neighboring residential uses and will contribute to a sense of place within the mixed-use community. After discussions with the Stiehl Falls neighbors, Applicant is proposing to restrict the BC property from being developed with any of the following uses: (i) Alcohol sales establishment (primary use) as defined in Nampa City Code Section 10-1-2; (ii) a tobacco shop; (iii) a vape shop, (iv) any Adult Business, as defined in Nampa City Code 5-12-18, of any kind; or (v) a Hookah lounge/bar as set forth in the Development Agreement. Character elevations of the Storage and Business are included on Schedule 1.

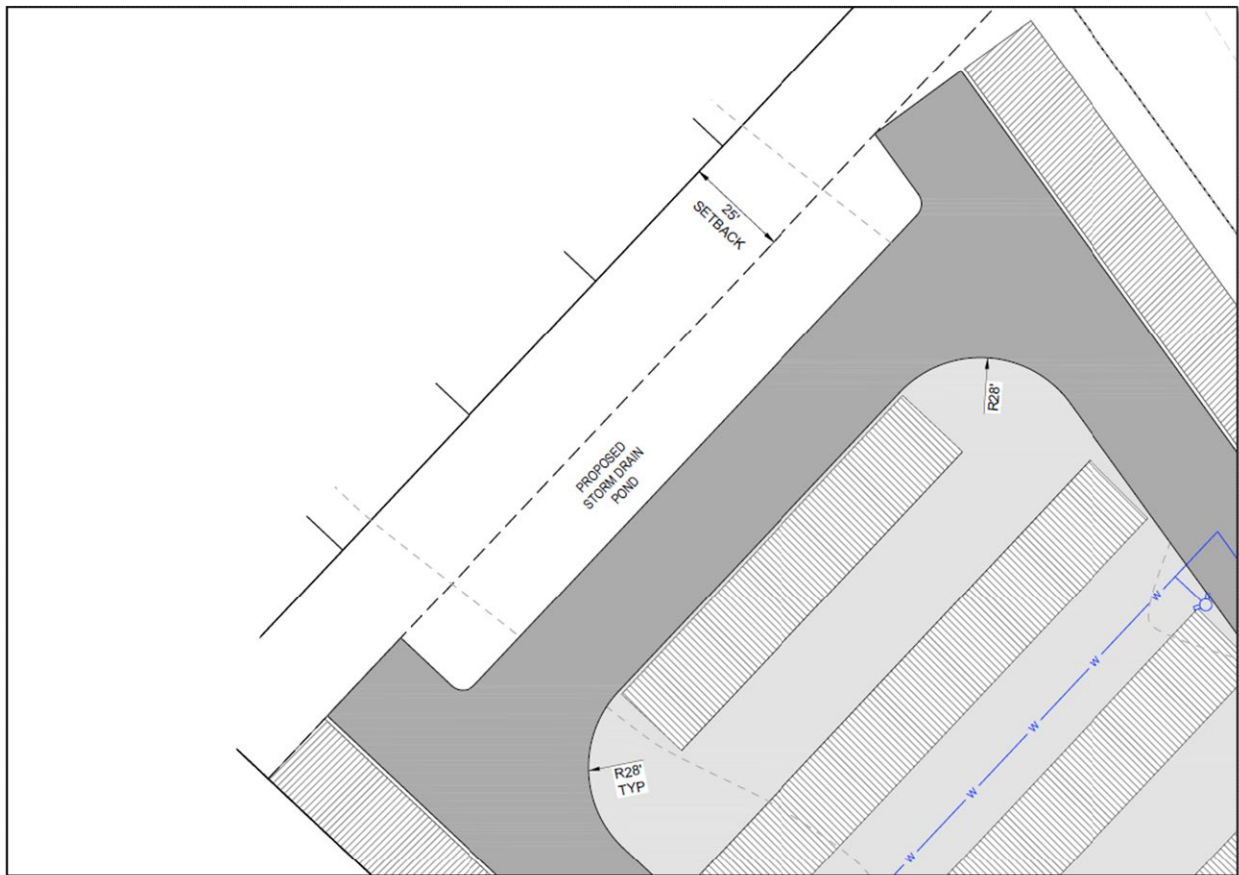
Conditional Use Permit – Self-Storage Facility with Variance

East Ranch includes a Conditional Use Permit application for a 4.53-acre self-storage facility on Lot 48, Block 9 (the “Storage Site”). A low intensity use that generates little vehicular traffic and minimal noise, the proposed storage facility is strategically positioned as a buffer between the commercial uses situated along Cherry Ln and the Stiehl Falls neighborhood to the east. Specifically, the Storage Site complies with the following sections of Nampa City Code:

- Section 10-1-16.A1.b. The BC portion of East Ranch consists of 35% Storage and 65% Other Commercial Uses. Such Commercial uses are located between the storage site and the public road.
- Section 10-1-16.A.3. The Storage site is not within 2,500' of the property line of any existing storage facility or multi-level storage building.

Applicant requests a variance to Nampa City Code Section 10-1-16.A.2, which requires that storage facility buildings be located one hundred feet (100') from any RS zoning district. Applicant requests this setback be reduced from 100' to 25'. The variance is requested only as to the western boundary of the Storage Site and the RS4 zoning within East Ranch, depicted in *Figure 5* below.

Figure 5



The variance is appropriate to mitigate the unique feature of this site, including, specifically, the shape and size of the storage site resulting from Applicant's willingness to relocate Cherry Ln. By relocating Cherry Ln. through the middle of the Project, the area in which storage can be constructed is narrow and awkwardly

shaped. In re-aligning Cherry Ln and meeting the other requirements of Nampa City Code Sections 10-1-16.A.1.b² and 10-1-16.A.3³ the area available for storage becomes extremely narrow.

As the owner of the neighboring RS4 district, we believe that self-storage—a low intensity use—is an excellent neighboring use to residential development. Conceptual renderings of the storage project are included on Schedule 1. Applicant will proceed through Design Review to meet all other design requirements set forth in the Nampa City Code.

Development Agreement

In order to guide the future development of the East Ranch community, we are proposing a development agreement be entered into in connection with the rezone of the Property. A draft development agreement on the City’s standard form with Applicant’s additional proposed terms is included with the East Ranch application package.

Conclusion

Thank you for your time and consideration of the enclosed applications. Our team has thoughtfully designed East Ranch as a first-class complete mixed-use community that will provide excellent housing, recreation, and commercial opportunities for both current and future residents of the City of Nampa. We look forward to the opportunity to bring this community to the City. Please do not hesitate to contact us with any questions.

² Requiring 25% of the site be used for non-storage uses, and that such uses shall be placed in between the storage and the public roadway

³ Requiring that no storage facility be constructed within 2,500 feet of another storage facility.

Schedule 1

Character Renderings of Single Family (RS4)



Character Renderings of Multi Family (RMH)



Character Rendering of Light Industrial (IL)



Character Renderings of Commercial (BC)

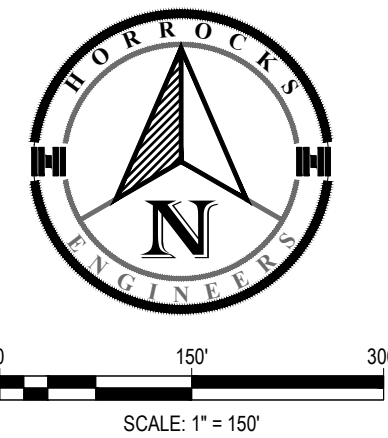


Character Renderings of Storage (BC)



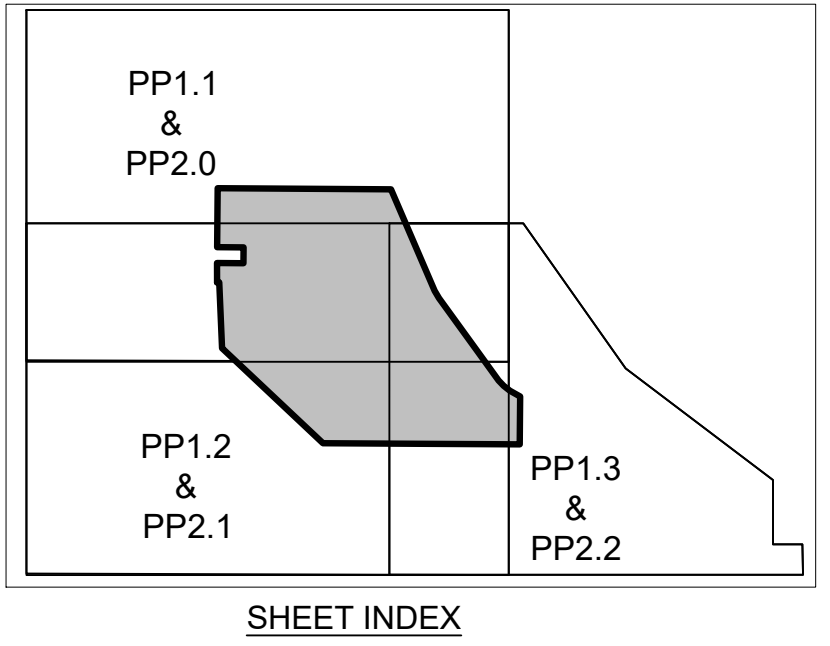
PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION

LOCATED IN THE SW 1/4 OF SECTION 5,
TOWNSHIP 3 NORTH, RANGE 2 WEST, BOISE MERIDIAN
CANYON COUNTY, IDAHO
-2024-



LEGEND

- CALCULATED POINT
- PLSS CORNER
- BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- SECTION LINE
- TIE LINE
- PHASE LINE
- EXISTING IRRIGATION EASEMENT
- PUBLIC UTILITIES EASEMENT (P.U.E.)
- CROSS ACCESS AND P.U.E.
- IRRIGATION EASEMENT
- CONDEMNATION PERMANENT EASEMENT
- LANDSCAPE SETBACK
- P.O.B.
- P.U.E.
- ROW



CURVE TABLE

CURVE #	ARC LENGTH	RADIUS	Δ	DIRECTION	DISTANCE
C1	208.53'	280.00'	042° 40' 14"	N 68°20'03" W	203.74'
C2	65.65'	80.00'	047° 00' 58"	N 23°21'58" W	63.82'
C3	281.84'	125.00'	129° 11' 01"	N 19°40'59" W	225.82'

SEE SHEET PP1.4 FOR REMAINDER CURVE TABLE
C280 NOT USED

LINE TABLE

LINE #	DISTANCE	DIRECTION
L1	29.28'	N 00°12'33" W
L2	20.00'	S 88°48'03" E
L3	39.68'	N 00°28'36" E
L4	37.73'	N 25°32'30" E
L5	9.99'	N 89°24'54" W
L6	347.18'	N 06°10'21" W
L7	29.96'	N 89°28'09" W
L8	180.98'	N 00°28'36" E
L9	275.44'	S 89°31'24" E
L10	165.00'	N 00°28'36" E
L11	88.06'	S 30°28'36" E
L12	76.42'	S 44°05'52" E
L13	82.94'	S 51°44'48" E
L14	120.42'	S 60°36'52" E

SEE SHEET PP1.4 FOR REMAINDER LINE TABLE

- NOTES**
- ALL BUILDING SETBACK DISTANCES AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CITY OF NAMPA ZONING REGULATIONS.
 - GRAVITY IRRIGATION WATER TO BE PIPE AND RELOCATED IN ACCORDANCE WITH PIONEER IRRIGATION DISTRICT STANDARDS.
 - COMMON LOTS, AS SHOWN, ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - PRESSURE IRRIGATION WILL BE SUPPLIED TO EACH LOT AND CONNECTED TO THE CITY OF NAMPA PRESSURE IRRIGATION SYSTEM.
 - STORM DRAINAGE WILL BE DESIGNED IN ACCORDANCE WITH THE NAMPA STORMWATER DESIGN STANDARDS 2017.
 - PUBLIC UTILITY AND IRRIGATION EASEMENTS WILL BE AS FOLLOWS:
 - 10 FOOT WIDE ADJACENT TO THE SUBDIVISION BOUNDARY AND PUBLIC RIGHT-OF-WAY
 - 5 FOOT WIDE ON EACH SIDE OF INTERIOR LOT LINES
 - 5 FOOT WIDE REAR LOT LINES
 - 30 FOOT WIDE PIONEER IRRIGATION EASEMENT FOR ACCESS AND MAINTENANCE OF 13.3 WEST AND VILLANUE LATERALS
 - ALL OTHER EASEMENTS ARE AS SHOWN
 - EASEMENTS FOR WATER, SEWER, AND PRESSURE IRRIGATION WILL BE PROVIDED AS REQUIRED BY THE CITY OF NAMPA FOR AREAS OUTSIDE THE PUBLIC RIGHT-OF-WAY.
 - NO PORTION OF THE SITE IS LOCATED IN A FEMA DESIGNATED FLOOD PLAIN OR FLOODWAY ZONE.
 - THE PRIVATE ROADS, PRIVATE DRAINAGE SYSTEMS, AND COMMON SITE IMPROVEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL PUBLIC ROADS AND RIGHT-OF-WAY WILL BE DEDICATED TO THE CITY OF NAMPA.

OWNERS/DEVELOPERS:
NAMPA 137, LLC
839 S BRIDGEWAY PLACE
EAGLE, ID 83616
208-377-5700

ENGINEER/PLANNER:
HORROCKS ENGINEERS
MATHEW GRAHAM, P.E.
KYLE GOCHNOUR, PLS
2775 W NAVIGATOR DR.,
SUITE 210
MERIDIAN, ID 83642
(208) 895-2520

LANDSCAPE ARCHITECT:
STACK ROCK GROUP
404 S 8TH ST., SUITE 300A1
BOISE, ID 83702
(208) 345-0500

ACREAGE SUMMARY
TOTAL = 136.968 ACRES

ZONING
AG WITH REZONE TO CMU

FLOOD PLAIN
PROPERTY IS ZONED X
PER FEMA FLOOD PANEL 16027C0263F &
16027C0376F
EFFECTIVE DATE: MAY 24, 2011

FIRE DISTRICT
NAMPA FIRE DISTRICT

WATER PROVIDER
CITY OF NAMPA

SEWER PROVIDER
CITY OF NAMPA

STORM WATER RETENTION
ALL STORM WATER TO BE RETAINED IN
SURFACE OR SUB-SURFACE RETENTION
BASINS

IRRIGATION DISTRICT
PIONEER IRRIGATION DISTRICT

ROADWAY JURISDICTION
CITY OF NAMPA

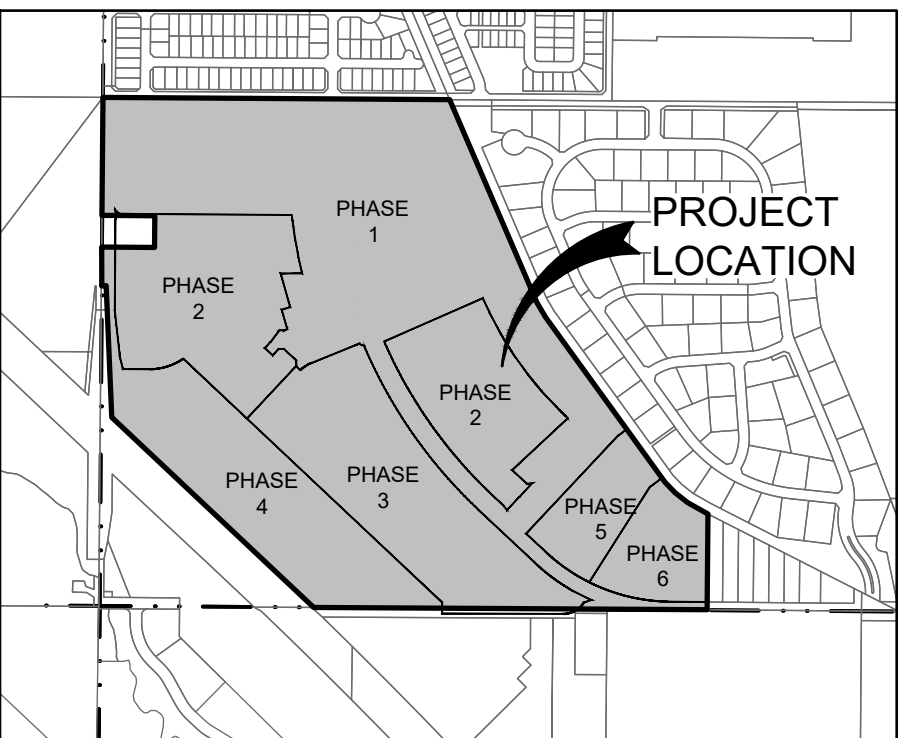
LOT SUMMARY

LOT NO., BLOCK NO., TYPE	Area SF	Area AC	NO. UNITS	Gross Density
BLOCKS 1-8 SINGLE FAMILY	1711125 SF	39.28 AC	192	4.888
BLOCKS 9-16 SINGLE FAMILY	1852160 SF	42.52 AC	171	4.022
LOT 17, BLOCK 5 MULTI FAMILY	996565 SF	22.878 AC	396	17.309
LOT 16, BLOCK 5 LIGHT INDUSTRIAL	743528 SF	17.07 AC	1	-
LOTS 47, 48 & 50, BLOCK 9 COMMERCIAL	559012 SF	12.83 AC	3	-
TOTAL	-	134.578 AC	763	5.662
CHERRY LANE VACATED ROW	104098 SF	2.390 AC	763	5.563
TOTAL QUALIFIED OPEN SPACE FOR SINGLE FAMILY 21%	757508 SF	17.39 AC	45	-

SHEET INDEX

- PP1.0 OVERALL SITE AND SURVEY DATA
- PP1.1 LOT DIMENSIONS
- PP1.2 LOT DIMENSIONS
- PP1.3 LOT DIMENSIONS
- PP1.4 CURVE TABLE
- PP2.0 NATURAL FEATURES & UTILITIES
- PP2.1 NATURAL FEATURES & UTILITIES
- PP2.2 NATURAL FEATURES & UTILITIES
- PP2.3 TYPICAL STREET CROSS SECTIONS
- PP2.4 TYPICAL STREET CROSS SECTIONS
- PP3.0 PRELIMINARY GRADING & STORM DRAIN PLAN

BASIS OF BEARING
S89°28'00"E FROM THE SOUTH 1/4 CORNER TO THE EAST CORNER OF SECTION 5, PER PLAT OF STIEHL SUBDIVISION PHASE 1.



HORROCKS ENGINEERS
2775 West Navigator Dr., Suite 210
Meridian, ID 83642
(208) 895-2520
www.horrocksonline.com

WARNING
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

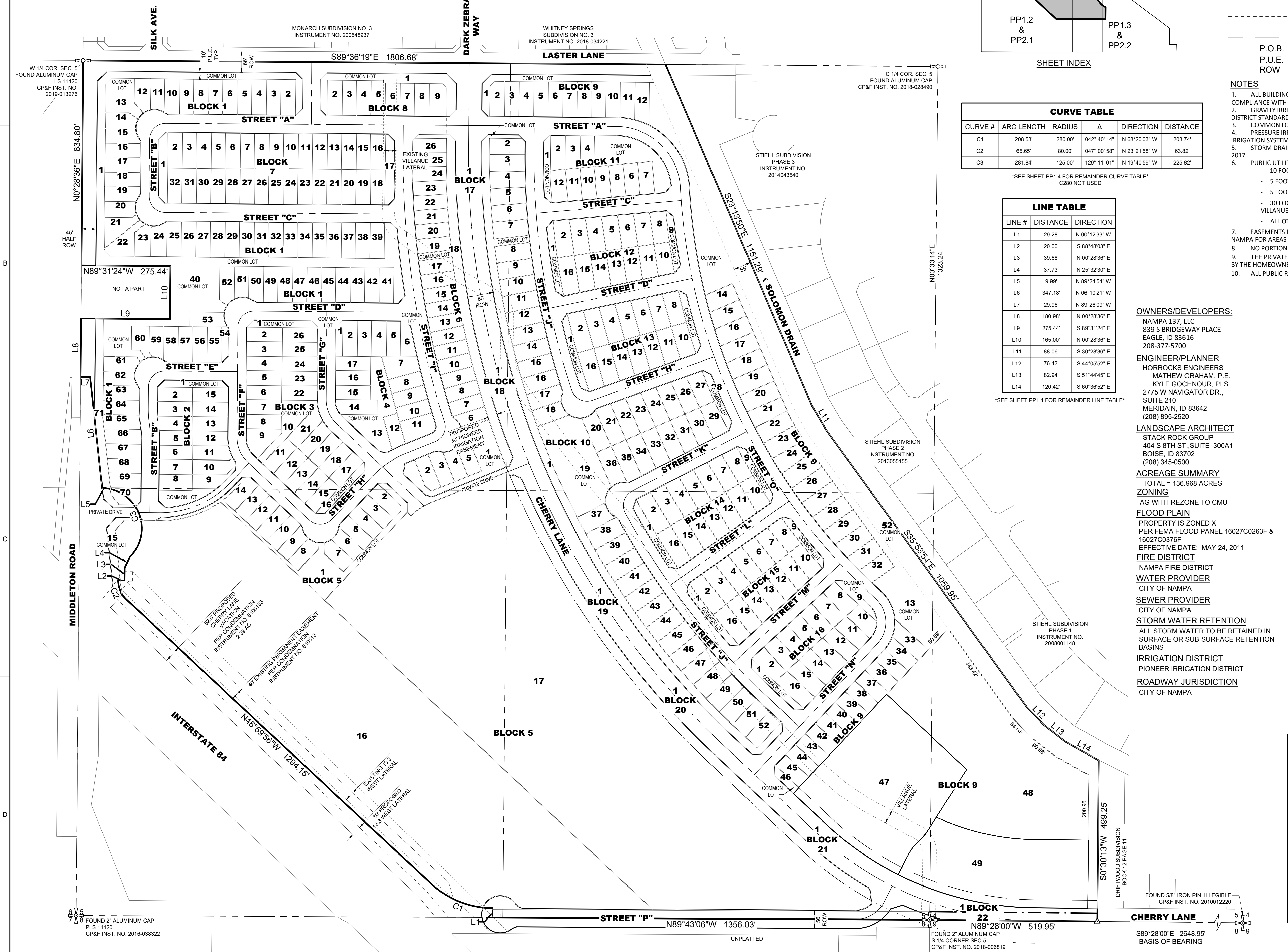
REVISIONS

REV #	DATE	DESCRIPTION
04/03/24		

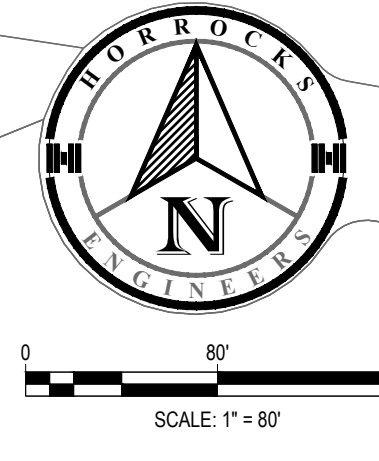
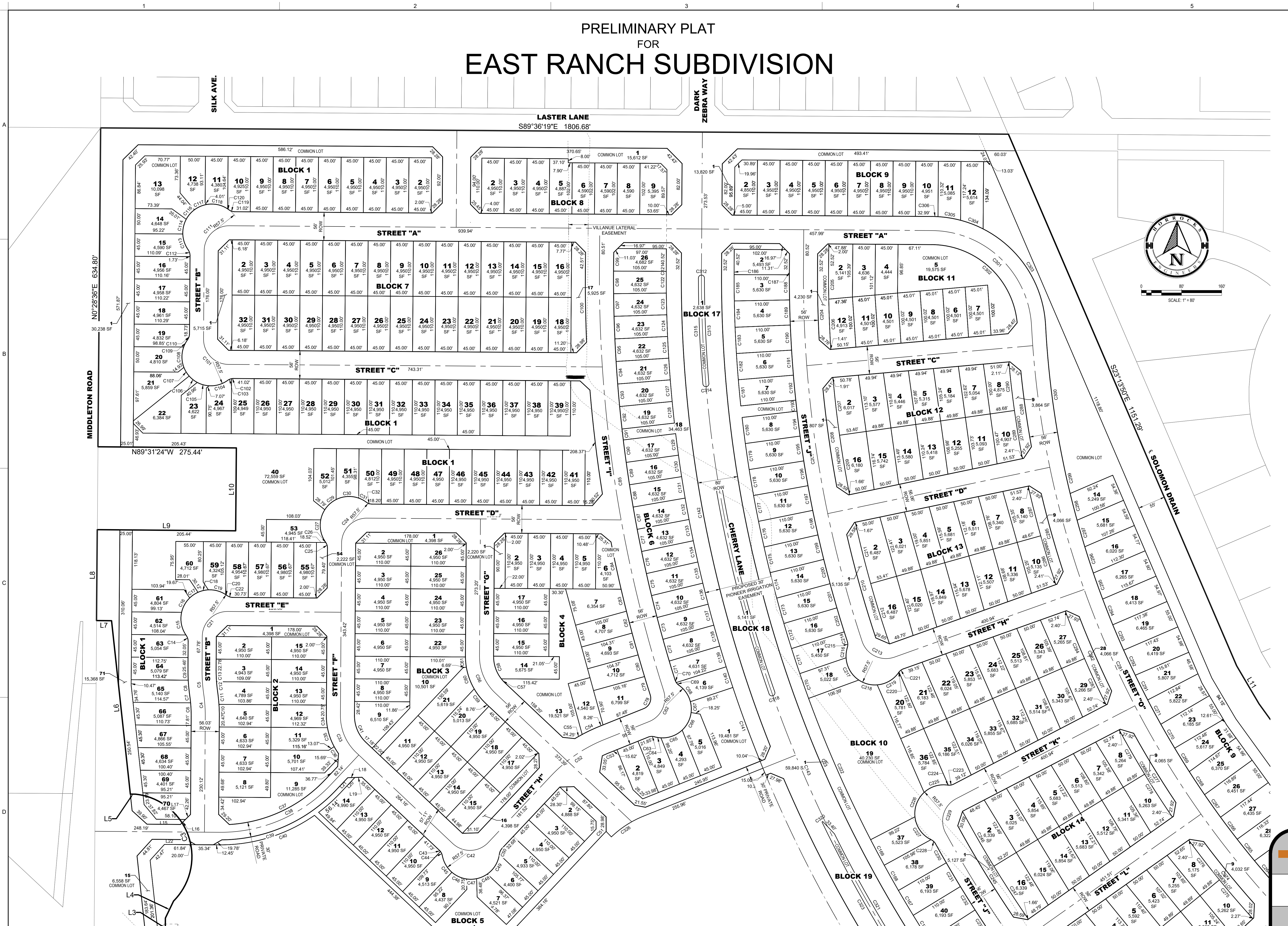
PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
NAMPA, ID
PRELIMINARY PLAT
OVERALL SITE AND SURVEY DATA

PP1.0
PAGE 1 OF 10



PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



HORROCKS ENGINEERS
 2775 West Navigator Dr., Suite 210
 Meridian, ID 83642
 (208) 895-2520
 www.horrock.com

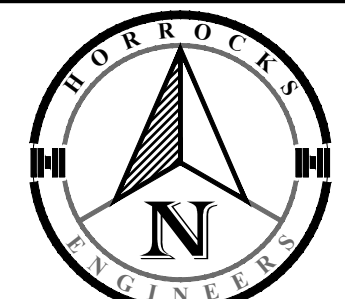
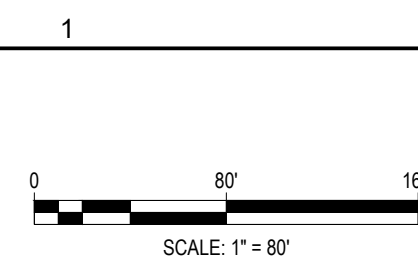
WARNING
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REVISIONS	REV #	DATE
	04/03/24	

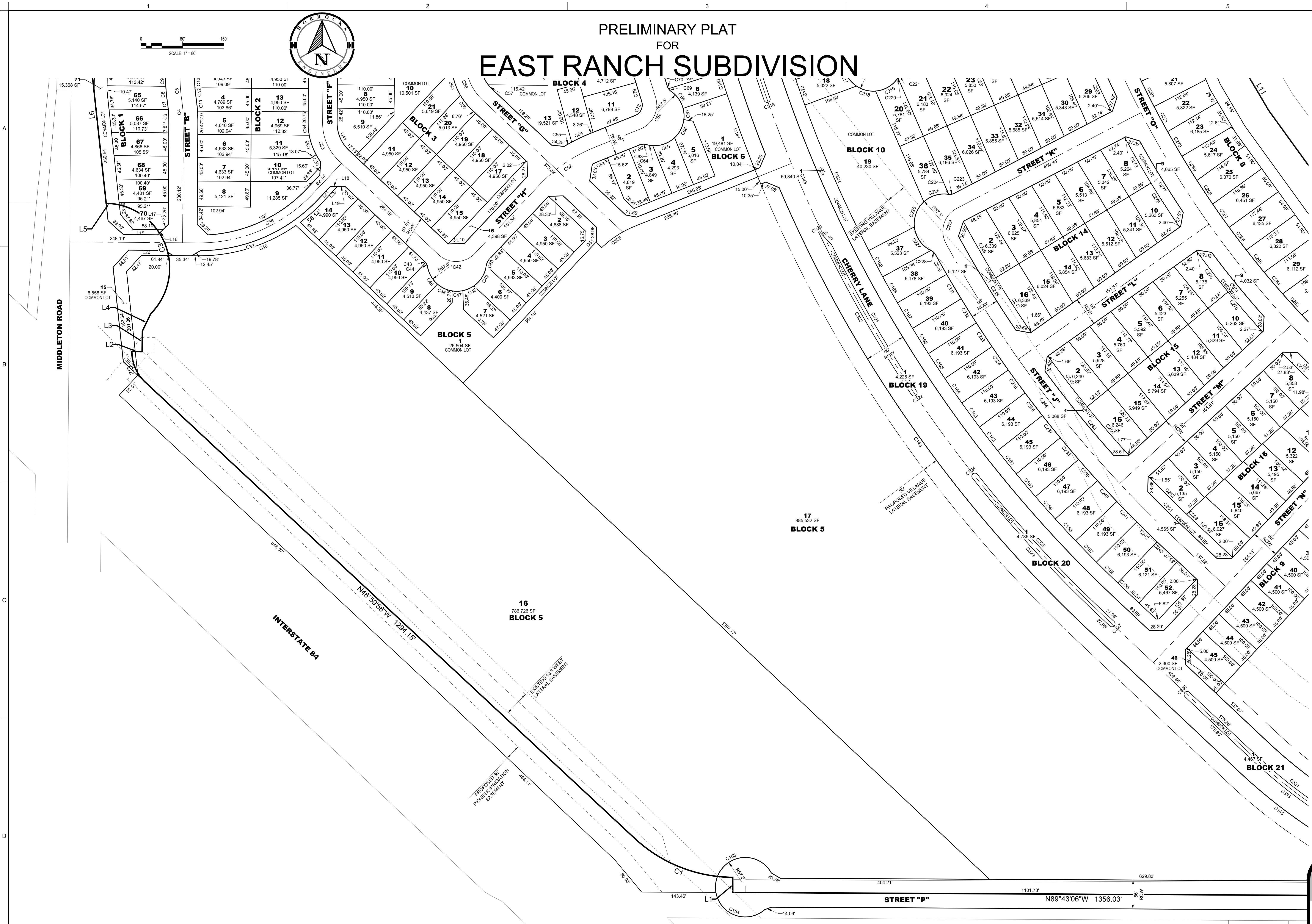
PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
 PRELIMINARY PLAT
 LOT DIMENSIONS

PP1.1



PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



HORROCKS ENGINEERS
 2775 West Navigator Dr., Suite 210
 Meridian, ID 83642
 (208) 895-2520
 www.horrocks.com

WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	DATE	REV #	DATE
DRAWING INFO	04/03/24	MDK	
DESIGNED		MDK	
DRAWN		MDK	
CHECKED		MDK	
PROJECT	ID-5974-22		

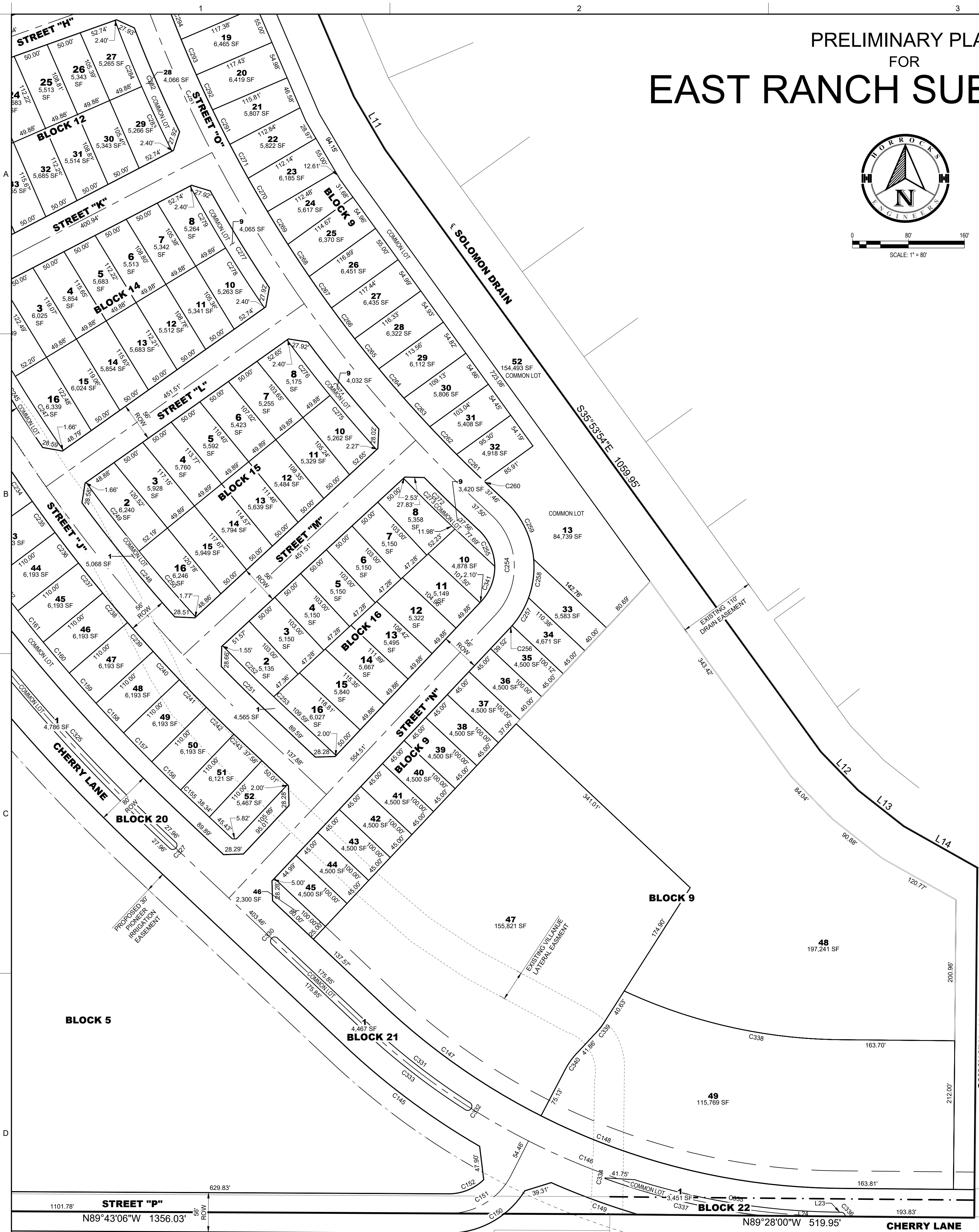
PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
 NAMP, ID
 PRELIMINARY PLAT
 LOT DIMENSIONS

PP1.2

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PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



HORROCKS ENGINEERS
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 Meridian, ID 83642
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WARNING
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REVISIONS	REV #	DATE

DRAWING INFO	DESIGNED	DRAWN	CHECKED	PROJECT
DATE: 04/03/24	MDK	MDK	MG	ID-5974-22

PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
 NAMPFA, ID
PRELIMINARY PLAT
 LOT DIMENSIONS

PP1.3

PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION

CURVE TABLE						CURVE TABLE						CURVE TABLE						CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	Δ	DIRECTION	DISTANCE	CURVE #	ARC LENGTH	RADIUS	Δ	DIRECTION	DISTANCE	CURVE #	ARC LENGTH	RADIUS	Δ	DIRECTION	DISTANCE	CURVE #	ARC LENGTH	RADIUS	Δ	DIRECTION	DISTANCE
C4	46.05'	300.00'	008° 47' 43"	N 04°00'15" W	46.01'	C90	45.00'	2675.00'	000° 57' 50"	S 07°24'06" E	45.00'	C173	52.37'	2435.00'	001° 13' 56"	S 15°47'01" E	52.37'	C256	5.49'	128.00'	002° 27' 21"	S 42°02'30" W	5.49'
C5	46.05'	300.00'	008° 47' 43"	S 04°00'15" E	46.01'	C91	22.00'	2675.00'	000° 28' 16"	S 06°41'03" E	22.00'	C174	52.37'	2435.00'	001° 13' 56"	S 14°33'05" E	52.37'	C257	46.41'	128.00'	020° 46' 24"	S 30°25'37" W	46.15'
C6	27.23'	333.43'	004° 40' 48"	N 02°28'31" W	27.23'	C92	45.00'	2675.00'	000° 57' 50"	S 05°57'59" E	45.00'	C175	52.37'	2435.00'	001° 13' 56"	S 13°19'09" E	52.37'	C258	55.88'	128.00'	025° 00' 49"	S 07°32'00" W	55.44'
C7	14.52'	202.11'	004° 06' 55"	N 06°52'23" W	14.51'	C93	45.00'	2675.00'	000° 57' 50"	S 05°00'10" E	45.00'	C176	52.37'	2435.00'	001° 13' 56"	S 12°05'13" E	52.37'	C259	93.68'	128.00'	041° 56' 03"	S 25°56'25" E	91.60'
C8	30.80'	328.00'	005° 22' 47"	N 05°42'43" W	30.79'	C94	45.00'	2675.00'	000° 57' 50"	S 04°02'20" E	45.00'	C177	52.37'	2435.00'	001° 13' 56"	S 10°51'17" E	52.37'	C260	4.33'	1817.50'	000° 08' 12"	S 46°39'30" E	4.33'
C9	19.55'	261.10'	004° 17' 27"	S 01°18'51" E	19.55'	C95	45.00'	2675.00'	000° 57' 50"	S 03°04'30" E	45.00'	C178	52.37'	2435.00'	001° 13' 56"	S 09°37'21" E	52.37'	C261	55.00'	1817.50'	001° 44' 02"	S 45°43'23" E	55.00'
C10	24.55'	328.00'	004° 17' 17"	S 01°45'02" E	24.54'	C96	45.00'	2675.00'	000° 57' 50"	S 02°06'40" E	45.00'	C179	52.37'	2435.00'	001° 13' 56"	S 08°23'25" E	52.37'	C262	55.00'	1817.50'	001° 44' 02"	S 43°59'21" E	55.00'
C11	25.80'	328.00'	004° 30' 25"	S 06°08'53" E	25.79'	C97	45.00'	2675.00'	000° 57' 50"	S 01°08'50" E	45.00'	C180	52.37'	2435.00'	001° 13' 56"	S 07°09'29" E	52.37'	C263	55.00'	1817.50'	001° 44' 02"	S 42°15'19" E	55.00'
C12	19.51'	272.00'	004° 06' 37"	S 06°20'48" E	19.51'	C98	45.00'	2675.00'	000° 57' 50"	S 00°11'00" E	45.00'	C181	52.37'	2435.00'	001° 13' 56"	S 05°23'02" E	52.37'	C264	55.00'	1817.50'	001° 44' 02"	S 40°31'17" E	55.00'
C13	22.24'	272.00'	004° 41' 06"	S 01°56'56" E	22.23'	C99	37.20'	2675.00'	000° 47' 48"	S 00°41'49" W	37.20'	C182	52.37'	2435.00'	001° 13' 56"	S 04°00'06" E	52.37'	C265	55.00'	1817.50'	001° 44' 02"	S 38°47'15" E	55.00'
C14	14.06'	20.00'	040° 16' 41"	N 19°25'59" W	13.77'	C100	136.54'	2731.00'	002° 51' 53"	N 01°02'16" W	136.53'	C183	52.37'	2435.00'	001° 13' 56"	S 02°55'10" E	52.37'	C266	55.00'	1817.50'	001° 44' 02"	S 37°03'13" E	55.00'
C15	47.19'	57.50'	047° 01' 08"	N 10°43'22" W	45.87'	C101	78.54'	50.00'	090° 00' 00"	N 44°36'23" W	70.71'	C184	52.37'	2435.00'	001° 13' 56"	S 01°41'14" E	52.37'	C267	55.00'	1817.50'	001° 44' 02"	S 35°19'11" E	55.00'
C16	33.25'	57.50'	033° 07' 55"	N 29°21'10" E	32.79'	C102	4.00'	20.00'	011° 28' 17"	S 84°39'28" W	4.00'	C185	52.37'	2435.00'	001° 13' 56"	S 00°27'18" W	52.37'	C268	55.00'	1817.50'	001° 44' 02"	S 33°35'09" E	55.00'
C17	20.10'	57.50'	020° 01' 53"	N 55°56'04" E	20.00'	C103	8.59'	20.00'	024° 35' 48"	S 66°37'26" W	8.52'	C186	9.93'	2435.00'	000° 14' 01"	S 00°16'40" W	9.93'	C269	55.00'	1817.50'	001° 44' 02"	S 31°51'07" E	55.00'
C19	36.25'	57.50'	036° 07' 32"	S 74°37'25" E	35.66'	C104	39.07'	57.50'	038° 55' 44"	S 73°47'23" W	38.32'	C187	9.48'	2325.00'	000° 14' 01"	N 00°16'40" E	9.48'	C270	55.00'	1817.50'	001° 44' 02"	S 30°07'05" E	55.00'
C20	3.03'	57.50'	003° 01' 20"	S 55°02'58" E	3.03'	C105	24.79'	57.50'	024° 41' 56"	N 74°23'47" W	24.60'	C188	50.00'	2325.00'	001° 13' 56"	N 00°27'18" W	50.00'	C271	55.00'	1817.50'	001° 44' 02"	S 28°23'03" E	55.00'
C22	12.59'	20.00'	036° 04' 05"	S 71°34'21" E	12.38'	C106	20.63'	58.08'	020° 21' 16"	N 51°46'00" W	20.52'	C189	50.00'	2325.00'	001° 13' 56"	N 01°41'14" W	50.00'	C272	70.26'	1873.50'	002° 08' 55"	N 45°39'09" W	70.26'
C23	2023.16'	2460.00'	047° 07' 17"	S 23°09'58" E	1966.62'	C107	20.28'	57.07'	020° 21' 16"	N 31°23'08" W	20.17'	C190	50.00'	2325.00'	001° 13' 56"	N 02°55'10" W	50.00'	C273	91.15'	1895.50'	002° 45' 19"	S 45°20'57" E	91.15'
C24	78.54'	50.00'	090° 00' 00"	N 45°23'37" E	70.71'	C108	41.48'	57.50'	041° 19' 53"	N 00°37'09" W	40.59'	C191	50.00'	2325.00'	001° 13' 56"	N 04°09'06" W	50.00'	C274	160.19'	1873.50'	004° 53' 58"	N 39°13'24" W	160.14'
C25	11.98'	20.00'	034° 18' 26"	N 16°45'37" W	11.80'	C109	16.47'	57.50'	016° 24' 54"	N 28°15'15" E	16.42'	C192	50.00'	2325.00'	001° 13' 56"	N 05°23'02" W	50.00'	C275	102.02'	1895.50'	003° 05' 02"	S 40°44'12" E	102.01'
C26	0.61'	20.00'	001° 45' 39"	N 34°47'39" W	0.61'	C110	12.59'	20.00'	036° 04' 05"	N 18°25'39" E	12.38'	C193	22.00'	2325.00'	000° 32' 32"	N 06°16'15" W	22.00'	C276	100.14'	1895.50'	003° 01' 38"	S 37°40'52" E	100.13'
C27	46.90'	57.50'	046° 44' 12"	N 12°18'23" W	45.61'	C111	78.54'	50.00'	090° 00' 00"	N 45°23'37" E	70.71'	C194	50.00'	2325.00'	001° 13' 56"	N 07°09'29" W	50.00'	C277	161.61'	1873.50'	004° 58' 32"	N 31°23'51" W	161.56'
C29	30.65'	57.50'	030° 32' 46"	N 48°02'43" E	30.29'	C112	12.59'	20.00'	036° 04' 05"	N 17°38'26" W	12.38'	C195	50.00'	2325.00'	001° 13' 56"	N 08°23'25" W	50.00'	C278	101.80'	1895.50'	003° 04' 37"	S 32°56'11" E	101.78'
C30	46.35'	57.50'	046° 11' 21"	N 86°24'46" E	45.11'	C113	33.82'	57.50'	033° 41' 58"	N 18°49'30" W	33.33'	C196	50.00'	2325.00'	001° 13' 56"	N 09°37'21" W	50.00'	C279	101.82'	1895.50'	003° 04' 40"	S 29°51'33" E	101.81'
C31	17.01'	57.50'	016° 57' 15"	S 62°00'56" E	16.95'	C114	30.35'	57.50'	030° 14' 36"	N 13°08'47" E	30.00'	C197	50.00'	2325.00'	001° 13' 56"	N 10°51'17" W	50.00'	C281	1409.93'	1845.50'	043° 48' 23"	N 24°50'25" W	1375.89'
C32	12.59'	20.00'	036° 04' 05"	S 71°34'21" E	12.38'	C116	25.20'	57.50'	025° 06' 42"	N 40°49'26" E	25.00'	C198	50.00'	2325.00'	001° 13' 56"	N 12°05'13" W	50.00'	C282	161.68'	1873.50'	004° 58' 40"	N 23°32'56" W	161.63'
C33	82.16'	100.00'	047° 04' 18"	N 23°08'32" W	79.86'	C117	26.32'	61.07'	024° 41' 56"	N 66°30'29" E	26.12'	C199	50.00'	2325.00'	001° 13' 56"	N 13°19'09" W	50.00'	C283	101.84'	1895.50'	003° 04' 42"	N 25°05'17" W	101.83'
C34	24.40'	128.00'	010° 55' 23"	N 05°04'05" W	24.37'	C118	44.31'	57.50'	044° 09' 15"	S 78°17'11" E	43.22'	C200	50.00'	2325.00'	001° 13' 56"	N 14°33'05" W	50.00'	C284	101.84'	1895.50'	003° 04' 42"	S 22°00'35" E	101.83'
C35	40.16'	128.00'	017° 58' 38"	N 19°31'05" W	40.00'	C119	12.59'	20.00'	036° 04' 05"	S 71°34'21" E	12.38'	C201	50.00'	2325.00'	001° 13' 56"	N 15°47'01" W	50.00'	C285	161.65'	1873.50'	004° 58' 38"	N 15°41'59" W	161.59'
C36	16.41'	128.00'	007° 20' 39"	N 32°10'44" W	16.40'	C120	2.68'	57.50'	002° 40' 15"	S 54°52'26" E	2.68'	C202	50.00'	2325.00'	001° 13' 56"	N 17°00'56" W	50.00'	C286	101.77'	1895.50'	003° 04' 34"	S 17°14'23" E	101.76'
C37	215.31'	285.00'	043° 17' 09"	N 64°57'53" E	210.23'	C121	4.31'	2570.00'	000° 05' 46"	N 00°20'48" E	4.31'	C203	75.10'	2297.00'	018° 44' 43"	S 08°58'41" E	748.16'	C287	101.88'	1895.50'	003° 04' 47"	S 14°09'42" E	101.87'
C38	246.82'	300.00'	047° 08' 21"	N 66°53'29" E	239.92'	C122	43.23'	2570.00'	000° 57' 50"	N 00°11'00" W	43.23'	C204	138.89'	2269.00'	003° 30' 26"	S 01°21'32" E	138.87'	C288	152.66'	1873.50'	004° 40' 07"	N 07°59'19" W	152.62'
C39	254.56'	315.00'	046° 18' 09"	S 66°28'23" W	247.69'	C123	43.23'	2570.00'	000° 57' 50"	N 01°08'50" W	43.23'	C205	57.36'	2247.00'	001° 27' 46"	S 00°20'12" E	57.36'	C289	97.16'	1895.50'	002° 56' 13"	N 09°27'39" W	97.15'
C40	201.07'	325.00'	035° 26' 49"	S 72°44'15" W	197.88'	C124	43.23'	2570.00'	000° 57' 50"	N 02°06'40" W	43.23'	C206	100.12'	2247.00'	002° 33' 11"	S 02°20'40" E	100.11'	C290	97.37'	1895.50'	002° 56' 36"	N 06°31'15" W	97.36'
C41	59.15'	72.00'	047° 04' 18"	S 23°08'32" E	57.50'	C125	43.23'	2570.00'	000° 57' 50"	N 03°04'30" W	43.23'	C207	115.82'	2247.00'	002° 57' 12"	N 06°31'33" W	115.81'	C291	55.00'	1817.50'	001° 44' 02"	S 26°39'00" E	55.00'
C42	78.59'	50.00'	090° 03' 08"	S 88°17'45" W	70.74'	C126	43.23'	2570.00'	000° 57' 50"	N 04°02'20" W	43.23'	C208	197.85'	2269.00'	004° 59' 45"	S 08°03'24" E	197.78'	C292	55.00'	1817.50'	001° 44' 02"	S 24°54'58" E	55.00'
C43	3.29'	20.00'	009° 25' 28"	N 41°57'57" W	3.29'	C127	43.23'	2570.00'	000° 57' 50"	N 05°00'10" W	43.23'	C209	120.05'	2247.00'	003° 03' 40"	N 09°31'58" W	120.04'	C293	55.00'	1817.50'	001° 44' 02"	S 23°10'56" E	55.00'
C44	9.29'	20.00'	026° 37' 24"	N 23°56'31" W	9.21'	C128	43.23'	2570.00'	000° 57' 50"	N 05°57'59" W	43.23'	C210	213.85'	2269.00'	005° 24' 00"	S 15°42'01" E	213.77'	C294	55.00'	1817.50'	001° 44' 02"	S 21°26'54" E	55.00'
C45	38.85'	57.50'	038° 42' 31"	N 29°59'05" W	38.11'	C129	43.23'	2570.00'	000° 57' 50"	N 07°24'06" W	43.23'	C211	125.69'	2247.00'	003° 12' 36"	S 14°05'47" E	125.88'	C295	55.00'	1817.50'	001° 44' 02"	S 19°42'52" E	55.00'
C46	32.47'	57.50'	032° 21' 00"	N 65°30'50" W	32.04'	C130	43.23'	2570.00'	000° 57' 50"	N 08°21'56" W	43.23'	C213	79.66'	50.00'	091° 17' 00"	S 63°59'33" E	71.50'	C296	55.00'	1817.50'	001° 44' 02"	S 17°58'50" E	55.00'
C47	20.10'	57.50'	020° 01' 51"	S 88°17'45" W	20.00'	C131	43.23'	2570.00'	000° 57' 50"	N 09°19'46" W	43.23'	C214	19.79'	2325.00'	000° 29' 15"	N 17°52'32" W	19.79'	C297	55.00'	1817.50'	001° 44' 02"	S 16°14'48" E	55.00'
C48	23.33'	57.50'	023° 15' 08"	S 66°39'15" W	23.18'	C132	43.23'	2570.00'	000° 57' 50"	N 10°17'35"													

PRELIMINARY PLAT
FOR

EAST RANCH SUBDIVISION



LEGEND

(Symbol)	BOUNDARY LINE
(Symbol)	LOT LINE
(Symbol)	STREET CENTERLINE
(Symbol)	EXISTING IRRIGATION EASEMENT
(Symbol)	PUBLIC UTILITIES EASEMENT (P.U.E.)
(Symbol)	CROSS ACCESS AND P.U.E.
(Symbol)	IRRIGATION EASEMENT
(Symbol)	LANDSCAPE SETBACK
(Symbol)	PROPOSED WATER MAIN
(Symbol)	PROPOSED SEWER MAIN
(Symbol)	PROPOSED SEWER FORCED MAIN
(Symbol)	PROPOSED PRESSURE IRRIGATION MAIN
(Symbol)	PROPOSED GRAVITY IRRIGATION MAIN
(Symbol)	ELECTRICAL LINE
(Symbol)	EXISTING STORM DRAIN LINE
(Symbol)	GAS LINE
(Symbol)	EDGE OF ASPHALT
(Symbol)	EXISTING PRESSURE IRRIGATION LINE
(Symbol)	EXISTING SANITARY SEWER LINE
(Symbol)	ROAD CENTERLINE
(Symbol)	OVER HEAD POWER LINE
(Symbol)	TOP OF SLOPE
(Symbol)	TOE OF SLOPE
(Symbol)	OVER HEAD TELEPHONE LINE
(Symbol)	FLOW LINE
(Symbol)	WATER LINE
(Symbol)	FIBER OPTIC LINE
(Symbol)	TELEPHONE LINE
(Symbol)	5' CONTOUR LINE
(Symbol)	2440
(Symbol)	2443

(Symbol)	ELECTRICAL BOX
(Symbol)	WATER METER
(Symbol)	CLEANOUT
(Symbol)	SEWER MANHOLE
(Symbol)	SIGN
(Symbol)	LIGHT STANDARD
(Symbol)	GAS METER
(Symbol)	TRAFFIC LIGHT POLE
(Symbol)	IRRIGATION BOX
(Symbol)	FIRE HYDRANT
(Symbol)	POWER POLE
(Symbol)	VALVE
(Symbol)	TELEPHONE BOX
(Symbol)	STORM DRAIN MANHOLE
(Symbol)	CABLE TV BOX

HORROCKS ENGINEERS
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(208) 895-2520
www.horrocks.com

WARNING
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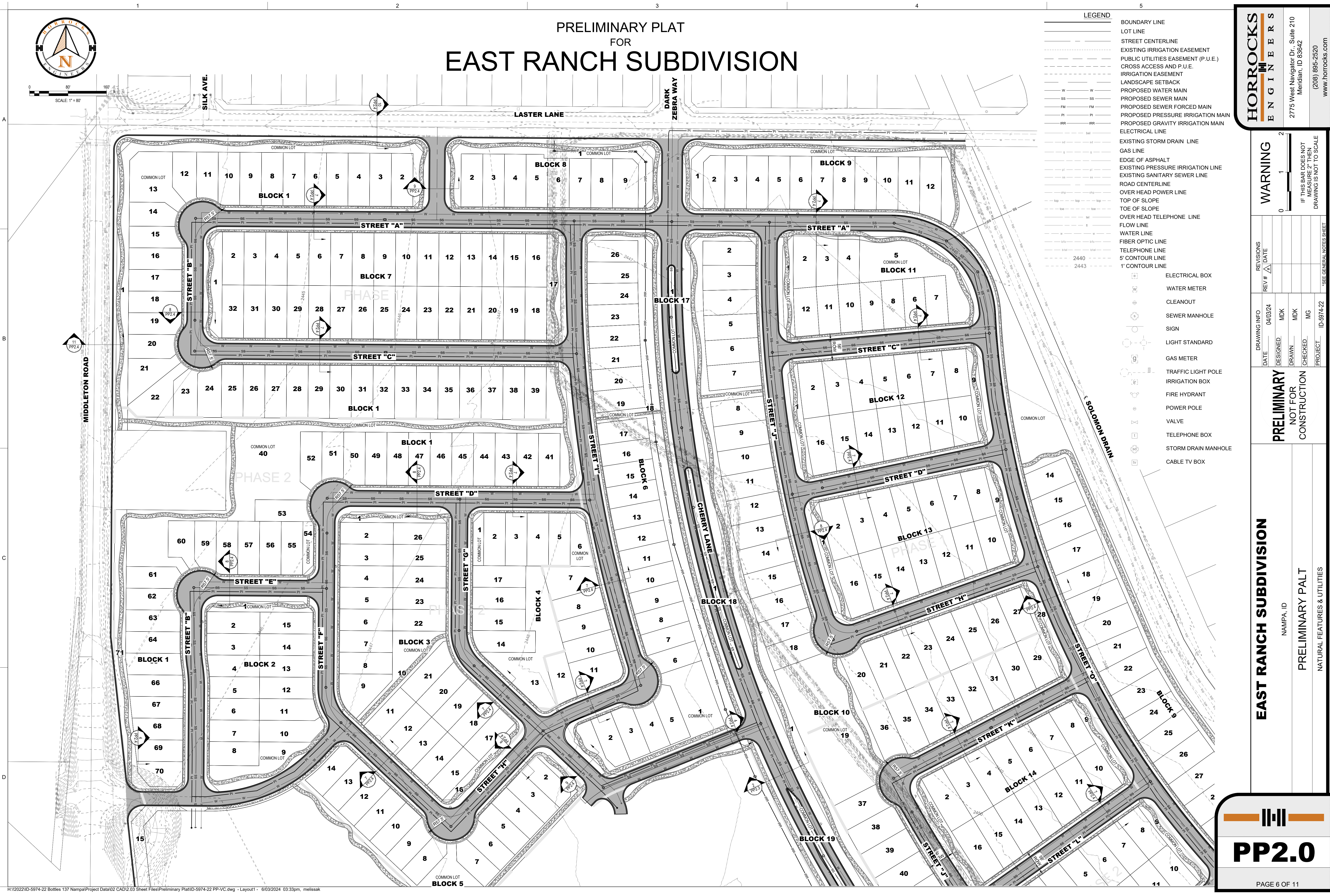
REVISIONS

REV #	DATE	DESCRIPTION
040324		

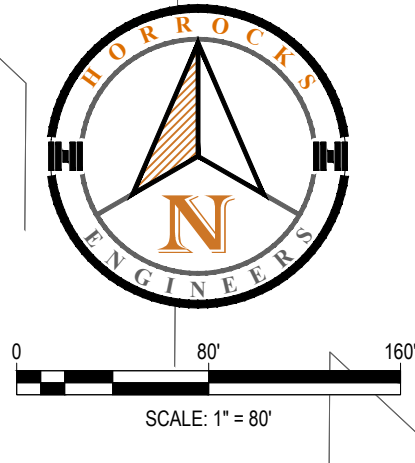
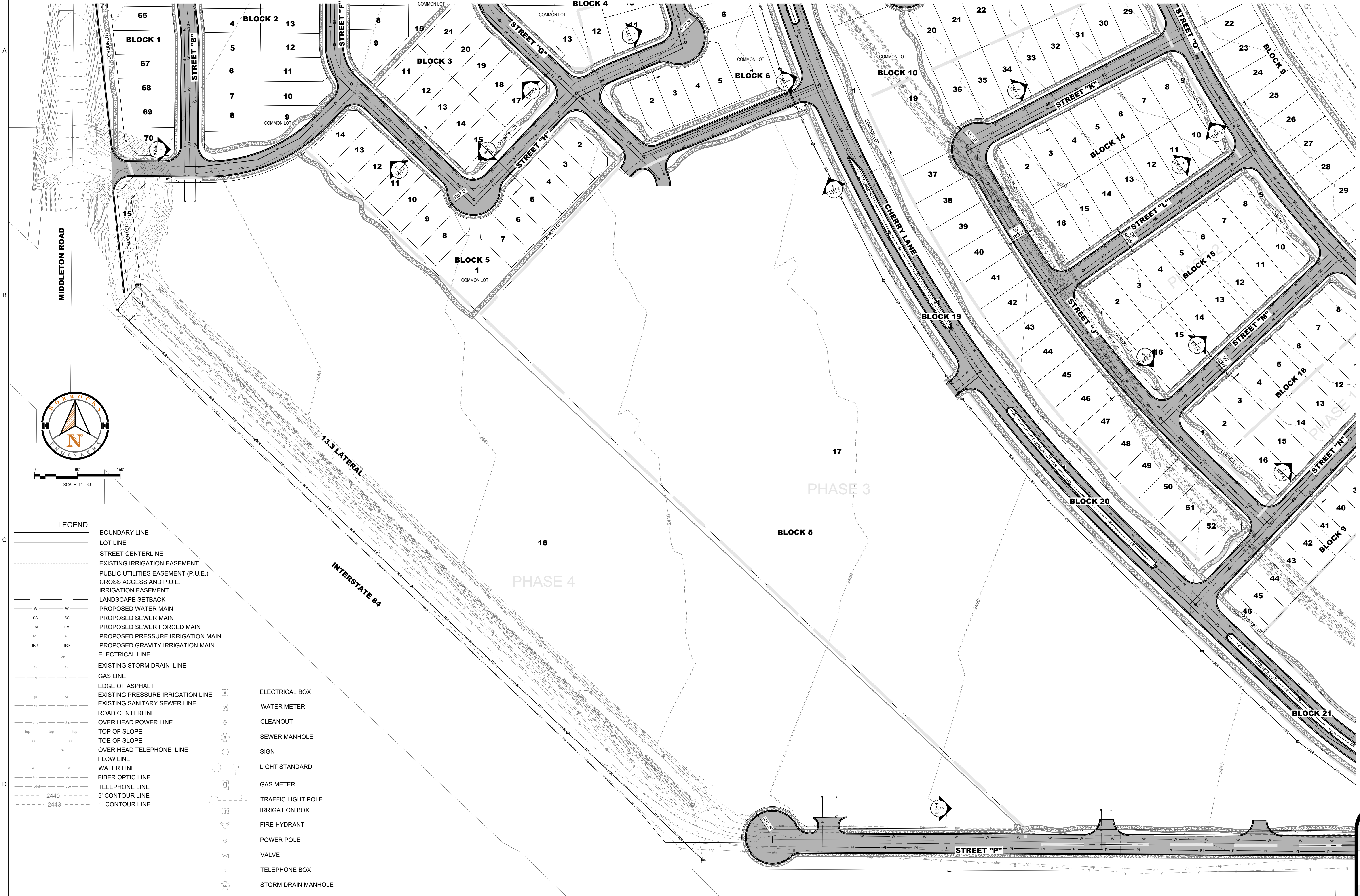
PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
NAMP, ID
PRELIMINARY PLAT
NATURAL FEATURES & UTILITIES

PP2.0
PAGE 6 OF 11



PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



LEGEND	
	BOUNDARY LINE
	LOT LINE
	STREET CENTERLINE
	EXISTING IRRIGATION EASEMENT
	PUBLIC UTILITIES EASEMENT (P.U.E.)
	CROSS ACCESS AND P.U.E.
	IRRIGATION EASEMENT
	LANDSCAPE SETBACK
	PROPOSED WATER MAIN
	PROPOSED SEWER MAIN
	PROPOSED SEWER FORCED MAIN
	PROPOSED PRESSURE IRRIGATION MAIN
	PROPOSED GRAVITY IRRIGATION MAIN
	ELECTRICAL LINE
	EXISTING STORM DRAIN LINE
	GAS LINE
	EDGE OF ASPHALT
	EXISTING PRESSURE IRRIGATION LINE
	EXISTING SANITARY SEWER LINE
	ROAD CENTERLINE
	OVER HEAD POWER LINE
	TOP OF SLOPE
	TOE OF SLOPE
	OVER HEAD TELEPHONE LINE
	FLOW LINE
	WATER LINE
	FIBER OPTIC LINE
	TELEPHONE LINE
	5' CONTOUR LINE
	1' CONTOUR LINE
	ELECTRICAL BOX
	WATER METER
	CLEANOUT
	SEWER MANHOLE
	SIGN
	LIGHT STANDARD
	GAS METER
	TRAFFIC LIGHT POLE
	IRRIGATION BOX
	FIRE HYDRANT
	POWER POLE
	VALVE
	TELEPHONE BOX
	STORM DRAIN MANHOLE
	CABLE TV BOX

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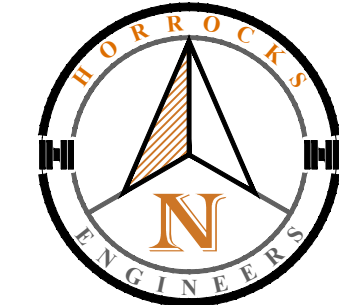
DRAWING INFO	
DATE	04/03/24
DESIGNED	MDK
DRAWN	MDK
CHECKED	MG
PROJECT	ID-5974-22

PRELIMINARY NOT FOR CONSTRUCTION

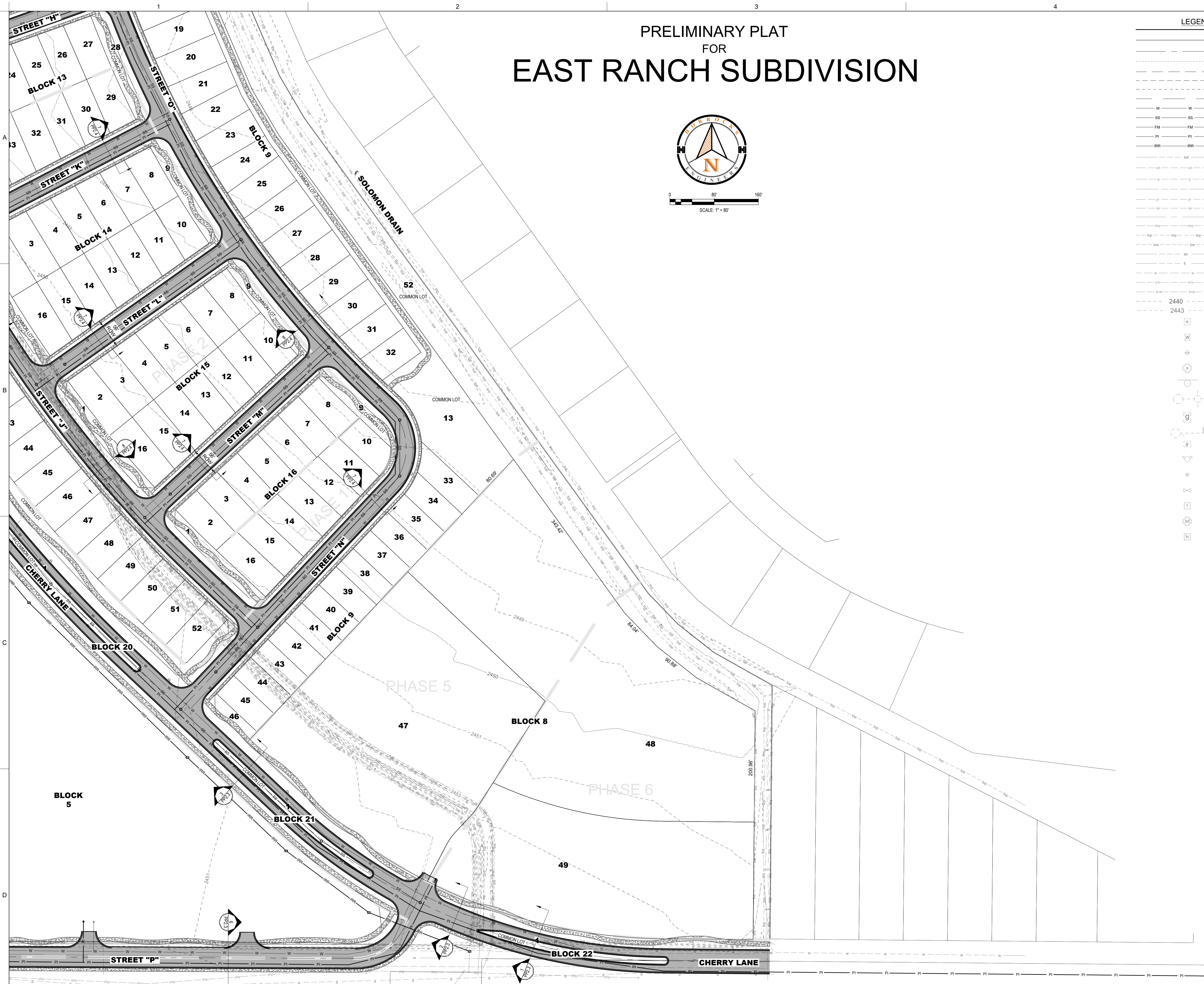
EAST RANCH SUBDIVISION
 NAMP, ID
 PRELIMINARY PLAT
 NATURAL FEATURES & UTILITIES

PP2.1
 PAGE 7 OF 11

PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



0 80' 160'
SCALE: 1" = 80'



LEGEND

- BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- - - EXISTING IRRIGATION EASEMENT
- - - PUBLIC UTILITIES EASEMENT (P.U.E.)
- - - CROSS ACCESS AND P.U.E.
- - - IRRIGATION EASEMENT
- - - LANDSCAPE SETBACK
- - - PROPOSED WATER MAIN
- - - PROPOSED SEWER MAIN
- - - PROPOSED SEWER FORCED MAIN
- - - PROPOSED PRESSURE IRRIGATION MAIN
- - - PROPOSED GRAVITY IRRIGATION MAIN
- - - ELECTRICAL LINE
- - - EXISTING STORM DRAIN LINE
- - - GAS LINE
- - - EDGE OF ASPHALT
- - - EXISTING PRESSURE IRRIGATION LINE
- - - EXISTING SANITARY SEWER LINE
- - - ROAD CENTERLINE
- - - OVER HEAD POWER LINE
- - - TOP OF SLOPE
- - - TOE OF SLOPE
- - - OVER HEAD TELEPHONE LINE
- - - FLOW LINE
- - - WATER LINE
- - - FIBER OPTIC LINE
- - - TELEPHONE LINE
- - - 5' CONTOUR LINE
- - - 1" CONTOUR LINE
- ELECTRICAL BOX
- WATER METER
- CLEANOUT
- SEWER MANHOLE
- SIGN
- LIGHT STANDARD
- GAS METER
- TRAFFIC LIGHT POLE
- IRRIGATION BOX
- FIRE HYDRANT
- POWER POLE
- VALVE
- TELEPHONE BOX
- STORM DRAIN MANHOLE
- CABLE TV BOX

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REVISIONS	REV #	DATE

DRAWING INFO	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
	04/03/24	MDK	MDK	MG	ID-5974-22

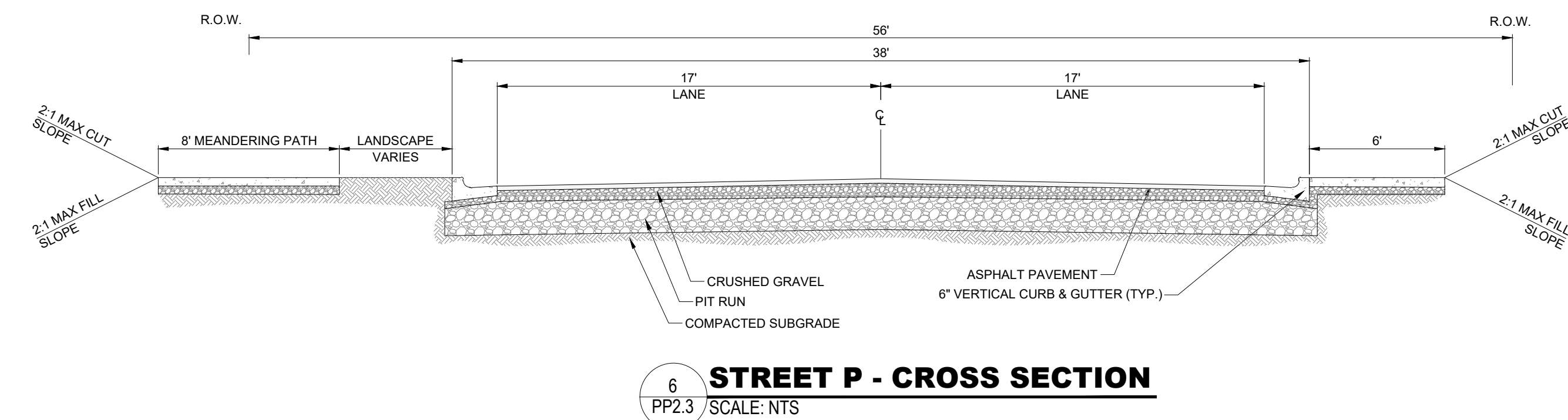
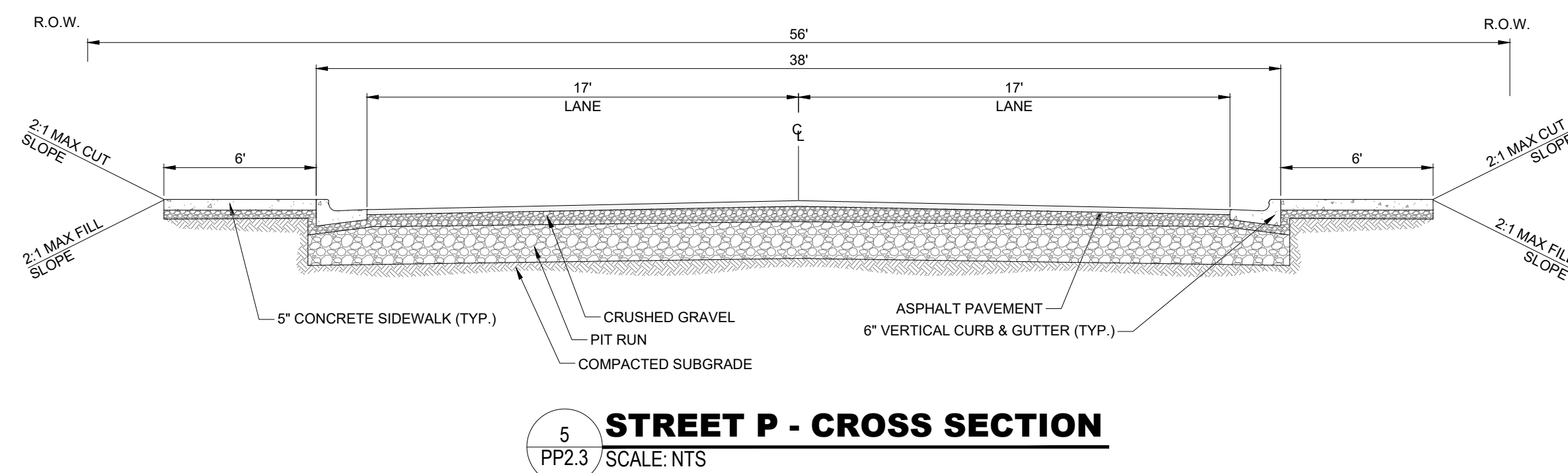
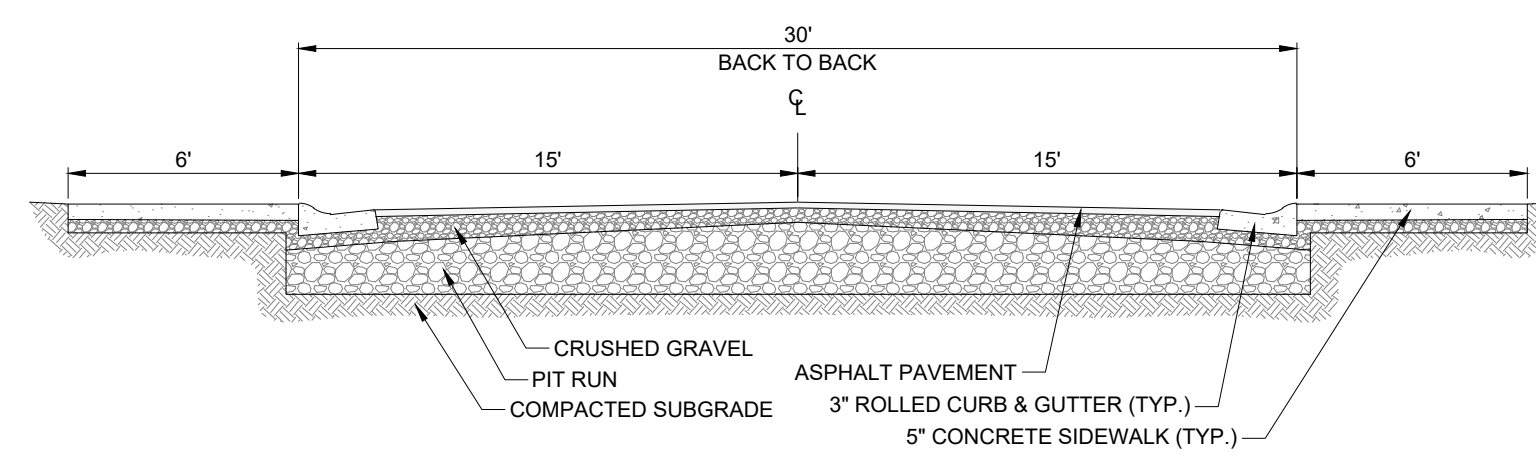
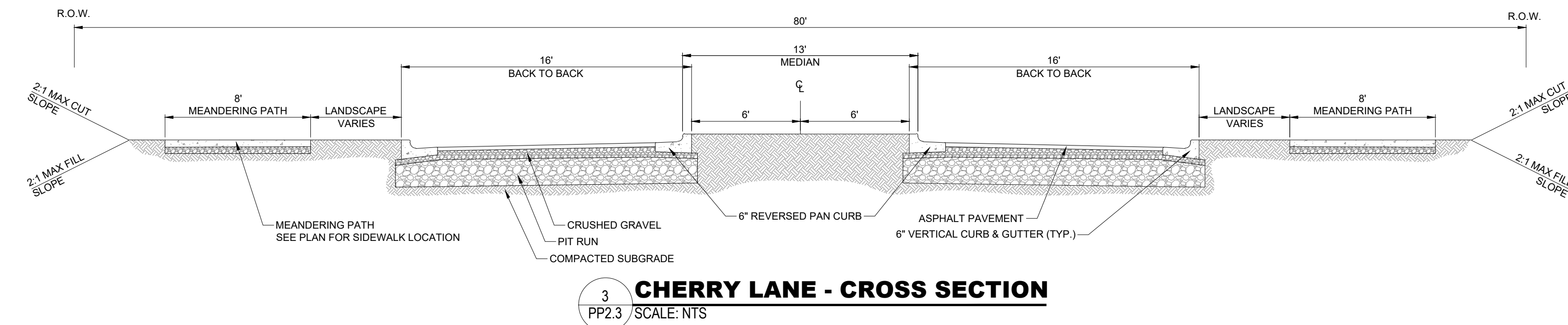
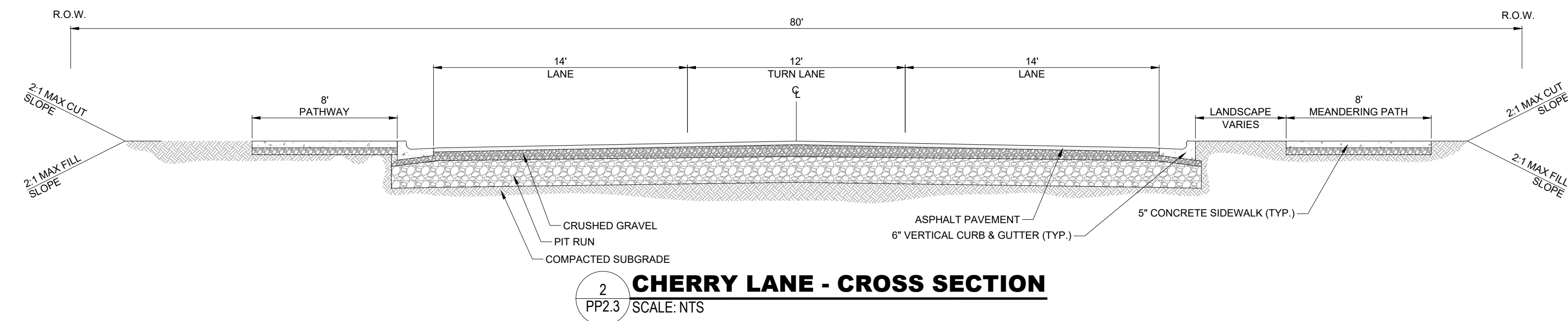
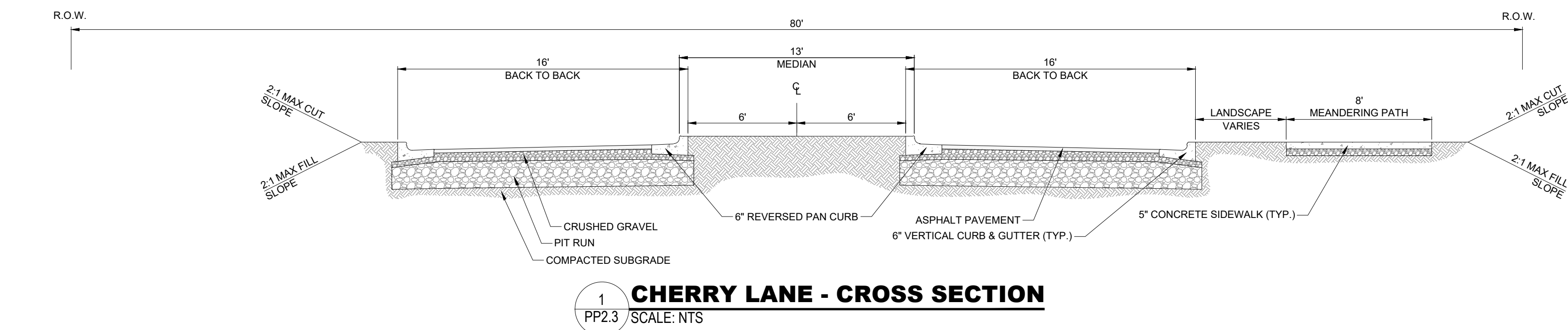
PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
NAMP A, ID
PRELIMINARY PLAT
NATURAL FEATURES & UTILITIES

PP2.2

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PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



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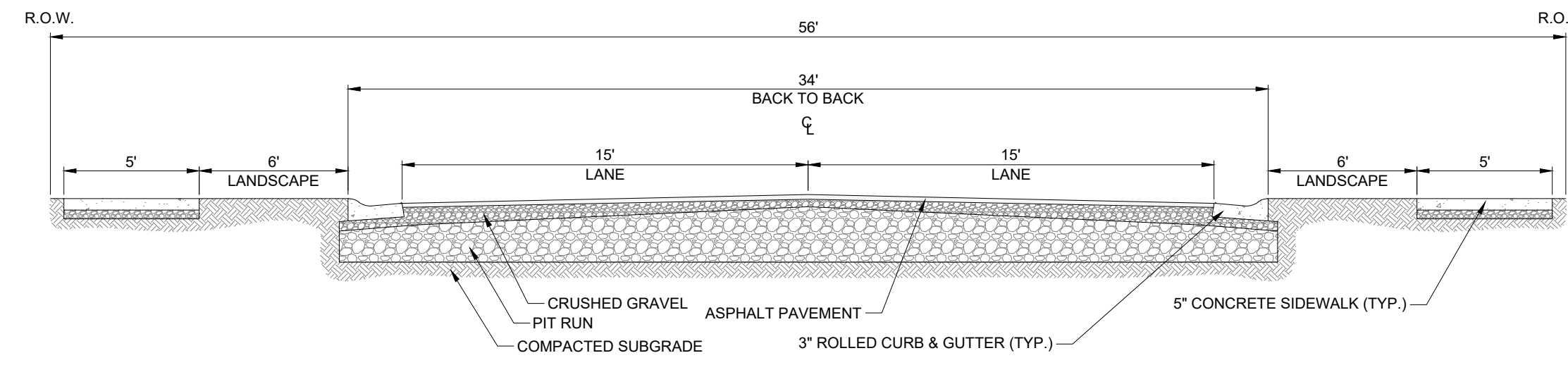
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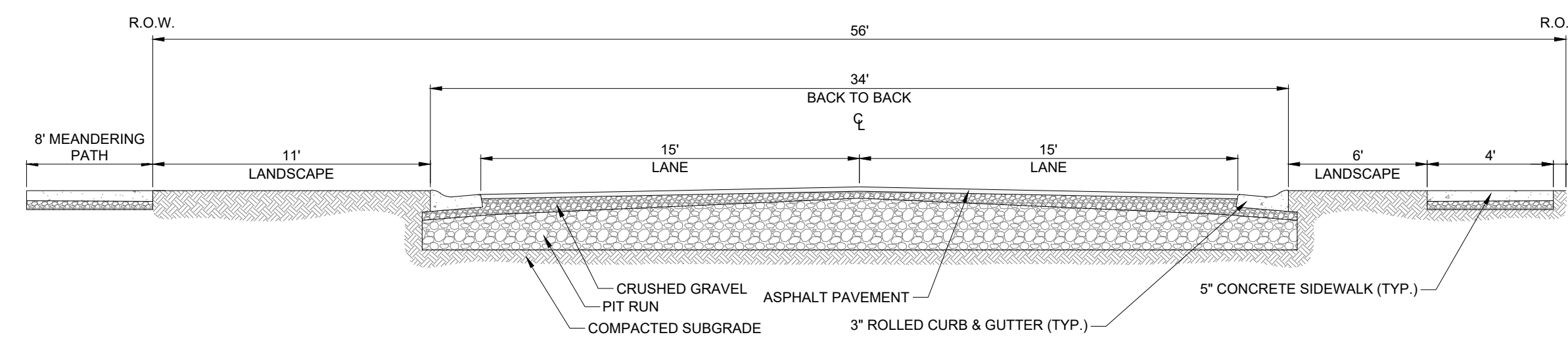
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NANPA, ID
PRELIMINARY PLAT
TYPICAL STREET CROSS SECTIONS

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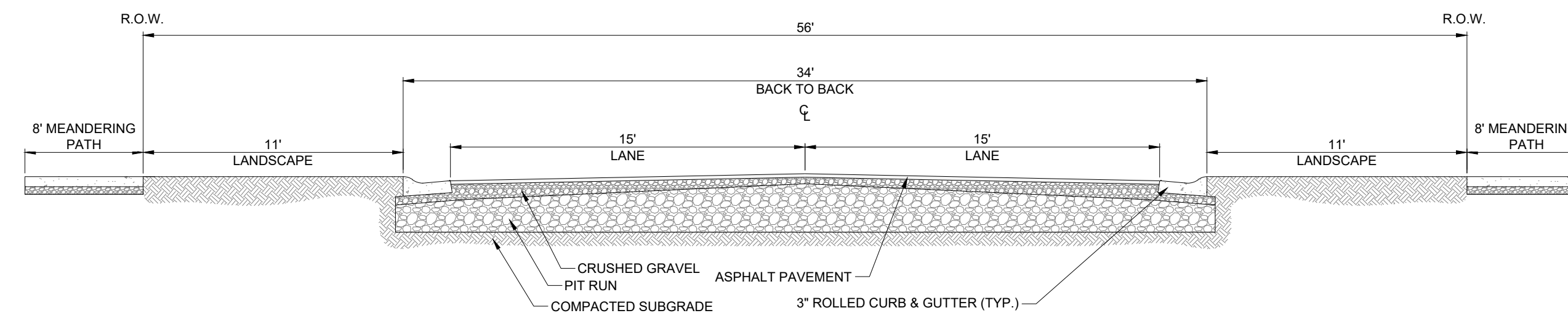
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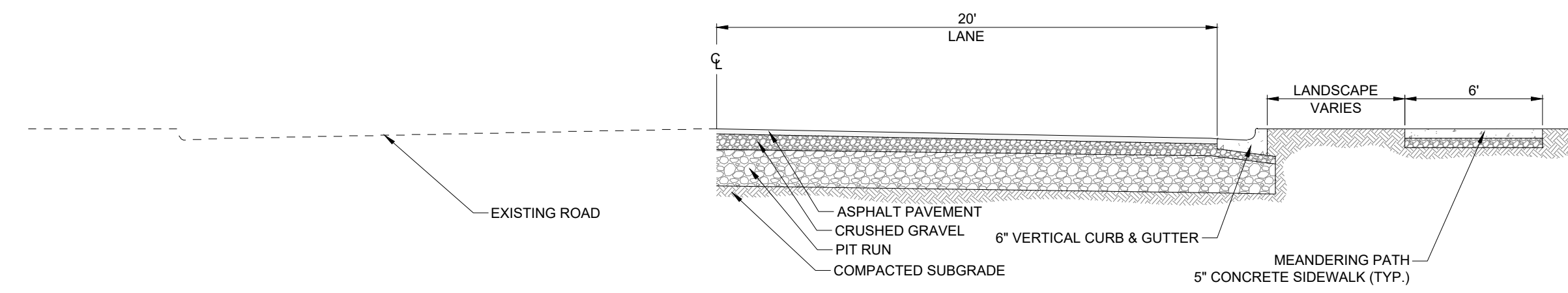
7 RESIDENTIAL STREET - CROSS SECTION
PP2.4 SCALE: NTS



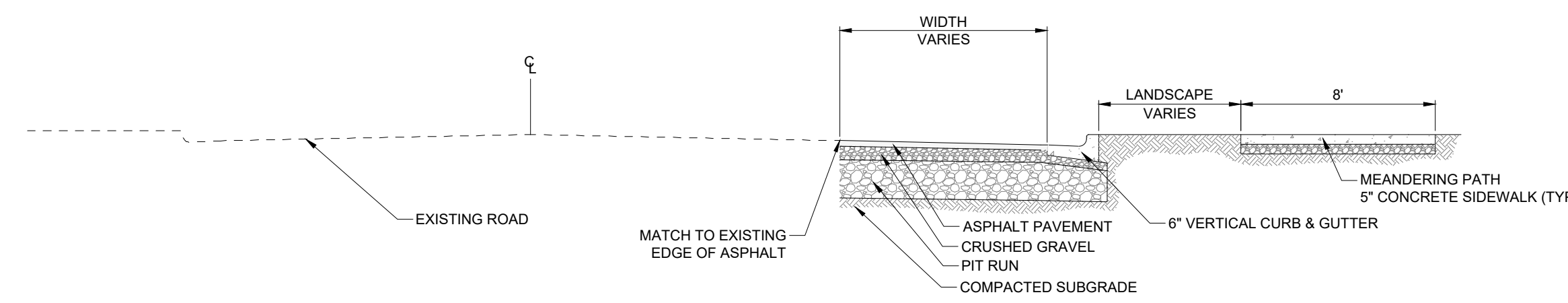
8 RESIDENTIAL STREET - CROSS SECTION
PP2.4 SCALE: NTS



9 RESIDENTIAL STREET - CROSS SECTION
PP2.4 SCALE: NTS



10 LASTER LANE - CROSS SECTION
PP2.4 SCALE: NTS



11 MIDDLETON ROAD - CROSS SECTION
PP2.4 SCALE: NTS

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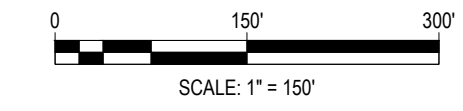
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EAST RANCH SUBDIVISION
NAMP, ID
PRELIMINARY PLAT
TYPICAL STREET CROSS SECTIONS

PP2.4

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PRELIMINARY PLAT FOR EAST RANCH SUBDIVISION



LEGEND
 ANTICIPATED FLOW DIRECTION

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CHECKED	
PROJECT	MDG

PRELIMINARY NOT FOR CONSTRUCTION

EAST RANCH SUBDIVISION
 NAMP, ID
PRELIMINARY PLAT
 PRELIMINARY GRADING AND STORM DRAIN PLAN



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