



Mayor Tammy de Weerd

**City Council Members:**

Luke Cavener  
Ty Palmer  
Treg Bernt

Joe Borton  
Genesis Milam  
Anne Little Roberts

**TRANSMITTAL TO AGENCIES FOR COMMENTS ON DEVELOPMENT PROJECTS WITH THE CITY OF MERIDIAN**

To ensure that your comments and recommendation will be considered by the Meridian Planning and Zoning Commission/City Council, Please submit your comments and recommendations to [cityclerk@meridiancity.org](mailto:cityclerk@meridiancity.org), Attention: C.Jay Coles, City Clerk by **December 14, 2018**

**Transmittal Date: 11/19/2018**

**Hearing Date: December 20, 2018**

**Project Name & File Number: Entrata Farms H-2018-0125 AZ, CUP, PP**

**Applicant: FIG Village at Parkside, LLC**

**Property Location: 3880 and 3882 W. Franklin Road**

**Application Request:**

**Annexation and zoning of 19.07 acres of land with an R-15 zoning district;  
Conditional use permit for a multi-family development consisting of 238 dwelling units on 18.18 acres of land in an R-15 district; and  
Preliminary Plat consisting of 67 building lots and 3 common lots on 18.18 acres of land in the R-15 zoning district.**

City Council / Planning and Zoning Commission	Valley Transit
Mayor	Idaho DEQ
Sanitary Services	West Ada School District
Building Department & Community Development	Meridian Post Office
Fire Department	Ada County Highway District
Police Department	Ada County Development Services
City Attorney	Central District Health
City Public Works	Compass
City Planner	Nampa Meridian Irrigation District
Parks Departments	Settlers Irrigation District
Economic Development	Idaho Power, Intermountain Gas, Century Link
Historic Preservation Commission	Idaho Transportation Department
New York Irrigation District	South or RR/SW Meridian
Boise Project Board of Control	NW Pipeline
Boise-Kuna Irrigation District	Ada County Associate Land Records
Downtown Projects	Meridian Development Corporation

## **Hearing Date: December 20, 2018**

File No.: H-2018-0125

Project Name: Entrata Farms

Request:

Annexation and zoning of 19.07 acres of land with an R-15 zoning district;  
Conditional use permit for a multi-family development consisting of 238 dwelling units on 18.18 acres of land in an R-15 district; and  
Preliminary Plat consisting of 67 building lots and 3 common lots on 18.18 acres of land in the R-15 zoning district.

by FIG Village at Parkside, LLC.

Location: The site is located at 3880 & 3882 W. Franklin Rd., in the south ½ of Section 10, Township 3N., Range 1W.

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RECEIVED  
OCT 31 2018

**STAFF USE ONLY:**  
 Project name: Entrata Farms  
 File number(s): H-2018-0125  
 Assigned Planner: Sonya Allen Related files: \_\_\_\_\_

**Type of Review Requested (check all that apply)**

- |  |  |
|--|--|
| <input type="checkbox"/> Accessory Use (check only 1)                | <input type="checkbox"/> Final Plat Modification       |
| <input type="checkbox"/> Daycare                                     | <input type="checkbox"/> Landscape Plan Modification   |
| <input type="checkbox"/> Home Occupation                             | <input checked="" type="checkbox"/> Preliminary Plat   |
| <input type="checkbox"/> Home Occupation/Instruction for 7 or more   | <input checked="" type="checkbox"/> Private Street     |
| <input type="checkbox"/> Administrative Design Review                | <input type="checkbox"/> Property Boundary Adjustment  |
| <input type="checkbox"/> Alternative Compliance                      | <input type="checkbox"/> Rezone                        |
| <input checked="" type="checkbox"/> Annexation and Zoning            | <input type="checkbox"/> Short Plat                    |
| <input type="checkbox"/> Certificate of Zoning Compliance            | <input type="checkbox"/> Time Extension (check only 1) |
| <input type="checkbox"/> City Council Review                         | <input type="checkbox"/> Director                      |
| <input type="checkbox"/> Comprehensive Plan Map Amendment            | <input type="checkbox"/> Commission                    |
| <input type="checkbox"/> Comprehensive Plan Text Amendment           | <input type="checkbox"/> UDC Text Amendment            |
| <input checked="" type="checkbox"/> Conditional Use Permit           | <input type="checkbox"/> Vacation (check only 1)       |
| <input type="checkbox"/> Conditional Use Modification (check only 1) | <input type="checkbox"/> Director                      |
| <input type="checkbox"/> Director                                    | <input type="checkbox"/> Commission                    |
| <input type="checkbox"/> Commission                                  | <input type="checkbox"/> Variance                      |
| <input type="checkbox"/> Development Agreement Modification          | <input type="checkbox"/> Other _____                   |
| <input type="checkbox"/> Final Plat                                  |  |

**Applicant Information**

Applicant name: FIG VILLAGE AT PARKSIDE LLC Phone: 801-649-3519  
 Applicant address: 295 WEST CENTER ST STE 201 Email: JAMES@IDPUTAH.COM  
 City: PROVO State: UT Zip: 84601

Applicant's interest in property:  Own  Rent  Optioned  Other \_\_\_\_\_  
 Owner name: 2FP LLC /MATHEW LABARON Phone: 801-649-3519  
 Owner address: 1002 N HAPPY VALLEY RD/1214 2ND ST Email: JAMES@IDPUTAH.COM  
 City: NAMPA/NAMPA State: ID/ID Zip: 83689/83651

Agent/Contact name (e.g., architect, engineer, developer, representative): KENT BROWN  
 Firm name: KENT BROWN PLANNING Phone: 208-871-6842  
 Agent address: 3161 E SPRINGWOOD DR Email: KENTLKB@GMAIL.COM  
 City: MERIDIAN State: ID Zip: 83642

Primary contact is:  Applicant  Owner  Agent/Contact

**Subject Property Information**

Location/street address: 3880 & 3882 FRANKLIN RD Township, range, section: 3N 1W SEC 10  
 Assessor's parcel number(s): S1210347123 S1210438803 Total acreage: 18.18 Zoning district: RUT

Project/subdivision name: ENTRATA FARMS SUBDIVISION

General description of proposed project/request: 238 UNIT MULTI FAMILY DEVELOPMENT WITH ANNEXATION TO R-15

Proposed zoning district(s): R-15

Acres of each zone proposed: 19.07ac

Type of use proposed (check all that apply):

Residential  Office  Commercial  Employment  Industrial  Other \_\_\_\_\_

Who will own & maintain the pressurized irrigation system in this development? ENTRATA FARMS HOA

Which irrigation district does this property lie within? NAMPA MERIDIAN IRRIGATION DISTRICT

Primary irrigation source: NMID OWNED PUMP STATION Secondary: N/A

Square footage of landscaped areas to be irrigated (if primary or secondary point of connection is City water): \_\_\_\_\_

**Residential Project Summary (if applicable)**

Number of residential units: 238 Number of building lots: 67

Number of common lots: 3 Number of other lots: \_\_\_\_\_

Proposed number of dwelling units (for multi-family developments only):

1 bedroom: 0 2-3 bedrooms: 238 4 or more bedrooms: 0

Minimum square footage of structure (excl. garage): \_\_\_\_\_ Maximum building height: \_\_\_\_\_

Minimum property size (s.f.): 3080 Average property size (s.f.): 5373

Gross density (Per UDC 11-1A-1): 13.09 Net density (Per UDC 11-1A-1): 14.07

Acreage of qualified open space: 6.15 Percentage of qualified open space: 33.8

Type and calculations of qualified open space provided in acres (Per UDC 11-3G-3B): SEE OPEN SPACE MAP

Amenities provided with this development (if applicable): \_\_\_\_\_

Type of dwelling(s) proposed:  Single-family Detached  Single-family Attached  Townhouse

Duplex  Multi-family  Vertically Integrated  Other \_\_\_\_\_

**Non-residential Project Summary (if applicable)**

Number of building lots: \_\_\_\_\_ Common lots: \_\_\_\_\_ Other lots: \_\_\_\_\_


Gross floor area proposed: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Hours of operation (days and hours): \_\_\_\_\_ Building height: \_\_\_\_\_

Total number of parking spaces provided: \_\_\_\_\_ Number of compact spaces provided: \_\_\_\_\_

**Authorization**

Print applicant name: KENT BROWN

Applicant signature:  Date: 10/24/18

# KENT BROWN PLANNING SERVICES

October 29, 2018

Planning and Zoning,  
City Council  
Meridian City Hall  
33 E. Broadway Ave  
Meridian, ID 83642

**RE: Annexation of Entrata Farms Subdivision**

Dear Commissioners and Council Members:

Fig Village at Parkside LLC, respectfully request the City of Meridian's approval to annex 19.07 acres into the City of Meridian. This property is located at 3880 & 3882 W Franklin Road and is currently zoned RUT in Ada County. The property is contiguous to the city limits on the south and east sides of the site. On the south side of Franklin Road adjacent to the site the property is zoned R-8 residential. The property adjacent to and east of the site is zoned R-15 and LO. We are seeking an R-15 residential zone.

**BACK GROUND**

Multi-family development on this site was recently denied by the City Council for the following concerns:

1. The project was previously proposed to be developed in one phase. The City Council was concerned the one phase development would have an overwhelming impact on Police and Fire resources.
2. The project was proposed to have multiple owners and multiple management companies, which were to handle all the leasing and maintenance of the overall development.
3. There was concern that the site design was lacking a street appeal due the design having many long, straight streets.
4. The development had many outdoor amenities but did not have any indoor amenities.
5. Along Franklin Road there were tall 20-plex buildings, which the City Council believed were the wrong fit for this area and this development.

In response to the City Council's above stated concerns, we have completely redesigned the site to address each one of the Council's design issues. We also addressed their other concerns by dividing the site into two construction phases; thus, preventing all of the buildings being built at one time.

We held meetings with representatives from both the Police and Fire departments. We addressed concerns presented from the Council that would impact those departments. With feedback from the Police and Fire departments, design changes were made. By extending the construction into two phases, the impact on these departments will be more sustainable and greatly reduced. Also included in these design changes, the pedestrian paths are now more visible. The streets are now more accessible for Fire and Police emergencies as requested by those departments.

We are also proposing to have one Management Company to handle leasing and maintenance of the entire project. This will ensure better overall management for the development.

### **SPECIAL REQUEST**

The applicant is requesting approval of a “step down” in density from HDR 15 + units per acre to MHDR 8-15 units per acre as allowed in the Meridian Comprehensive Plan (page 21). Medium High Density is defined in the Comprehensive Plan as having a range from 8 to 15 dwellings units per acre. This request is also consistent with the other existing and proposed uses surrounding this site. By removing the large 20-plex buildings along Franklin Road and making other site design changes, which were requested by the City Council, the overall density has decreased. With these changes, density for Entrata Farms has been reduced to 13.09 dwelling units per acre which is consistent with the R-15 zone.

This property is excellent for this type of development. The proximity to Ten Mile Road and future commercial and employment centers between I-84 and Franklin Road will provide much needed housing options for future residents. Ten Mile and Franklin Roads have been improved in the surrounding area, addressing common concerns of traffic generated by multi-family developments.

We look forward to your approval of this application for annexation and zoning to the City of Meridian.

Sincerely,

A handwritten signature in black ink, appearing to read "Kent Brown". The signature is stylized with a large, sweeping initial "K" and "B".

Kent Brown  
Planner

# KENT BROWN PLANNING SERVICES

October 29, 2018

Planning and Zoning,  
City Council  
Meridian City Hall  
33 E. Broadway Ave  
Meridian, ID 83642

**RE: Request for Preliminary Plat, and Conditional Use and Private Street approval for Entrata Farms Subdivision**

Dear Commissioners and Council Members:

Fig Village at Parkside LLC, respectfully request the City of Meridian's approval of the Entrata Farms neighborhood. Entrata Farms is located on the North side of W. Franklin Road at 3880 & 3882, between the Kennedy Lateral and the Purdam Drain. It has a key location near Ten Mile Road, a major access corridor for the City. This corridor allows for easy Southern access to the (I-84) freeway and Northern access to the West side of Meridian.

Existing improvements consist of water and sewer services stubbed to the property. Also all major street improvements have been completed on W. Franklin Road in front of the site and from the Ten Mile Road interchange to Blackcat Road.

## **SITE DESIGN**

The Fig Village Design Team has put a great amount of effort into designing a multi-family neighborhood that is attractive and enhances the surrounding properties. The Team's desire has been to design and construct high quality multi-family neighborhoods. Some attention to the design can be seen in specific buildings that have been located in the Entrata Farms neighborhood. For example, surrounding all of Entrata Farms parks, the buildings have been oriented to place the front doors of all of the buildings facing the parks. This allows each of the residents to have an attractive park environment in which they live. From their front doors these residents are connected to the entire neighborhood, via community pathway systems which connect the entire overall neighborhood together.

Analysis of the existing and proposed multi-family developments in the surrounding Ten Mile Interchange shows all of the other developments have chosen to use traditional multi-story apartment buildings. Traditional multi-story apartment building place individual apartment's one on top of another. This design requires "seas" of asphalt for resident and guest parking.

To provide variety, while maintaining high integrity in the style of the neighborhood, the Design Team has chosen to use three of their townhouse style buildings in the Entrata Farms neighborhood. The buildings are a mixture of two and three stories tall and have rear and front loaded garages for each resident. This neighborhood will be well sought after because each unit will have its own one or two car private garage.

The Entrata Farms neighborhood is proposed with the following amenities:

1. Clubhouse with an indoor fitness room and a meeting gathering space.
2. Outdoor pool with restroom facilities
3. Two open grassy play fields exceeding 100' x 50' in dimension
4. Two Tot playground equipment areas
5. A Five Station Fitness Outdoor Area
6. Two covered picnic areas with free standing barbeques and picnic tables
7. Half Size Basketball Court
8. Multiple micro pathways' that connect future residents to all the amenities throughout the Entrata Farms neighborhood.

#### **WAIVER**

The developer requests approval from City Council to eliminate the requirement of piping both the Purdam Drain and Kennedy Lateral. This request is due to the capacity and location of this drain and lateral.

#### **PRIVATE STREET**

The developer is proposing private streets throughout the Entrata Farms neighborhood to improve any possible concerns of finding addresses in the neighborhood.


The developer has coordinated with Valley Regional Transit to locate a commuter ride pad near the southwest corner of site: along the north side of W. Franklin Road.

#### **SUMMARY**

Fig Village at Parkside LLC and their Design Team has endeavored to create a high quality multi-family neighborhood. The unique quality of the design, for the Entrata Farms Subdivision, promotes the feeling of living in a single family neighborhood. Multiple buildings face into a park, creating a park like atmosphere. The design has many high end and desirable amenities, such as: swimming pool, clubhouse, tot lots with play equipment, covered picnic areas with barbeques, outdoor fitness area's and a network of micro pathway's connecting the entire neighborhood.

33.8 % of the site is qualified open space. This far exceeds comparable single family developments in Meridian. We look forward to your approval of our applications to the City of Meridian.

Sincerely,



Kent Brown  
Planner





**T-O ENGINEERS**

Project No: 170270  
Date: March 26, 2018  
Page 1 of 1

**ANNEXATION DESCRIPTION** (R-15 zone)  
For the City of Meridian

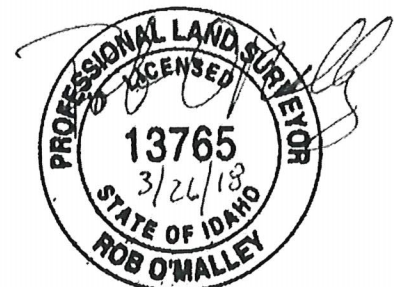
A parcel of land located in the SW1/4 of the SE1/4 and the E1/2 of the SW1/4 of Section 10, Township 3 North, Range 1 West, Boise Meridian, City of Meridian, Ada County, Idaho, more particularly described as follows:

**BEGINNING** at the South one-quarter corner of said Section 10; thence, along the south boundary of said SW1/4 of the SE1/4,

- 1) S.89°15'22"E., 932.21 feet; thence,
- 2) N.00°44'38"E., 25.00 feet to the centerline of the Kennedy Lateral and the southwest corner of Lot 1, Block 1 of Umbria Subdivision, recorded in Book 101 of Plats, at Pages 13200-13204, records of Ada County, Idaho; thence, along said centerline and the exterior boundary of said Umbria Subdivision the following courses:
  - 3) N.41°38'41"W., 299.97 feet; thence,
  - 4) N.40°50'41"W., 300.00 feet; thence,
  - 5) N.38°41'41"W., 490.01 feet; thence,
  - 6) N.32°21'41"W., 690.01 feet; thence,
  - 7) N.42°57'41"W., 99.59 feet; thence, leaving said centerline and said exterior boundary,
  - 8) S.00°34'38"W., 1499.39 feet to the south boundary of said E1/2 of the SW1/4; thence along said boundary,
  - 9) S.89°15'36"E., 221.76 feet to the **POINT OF BEGINNING**.

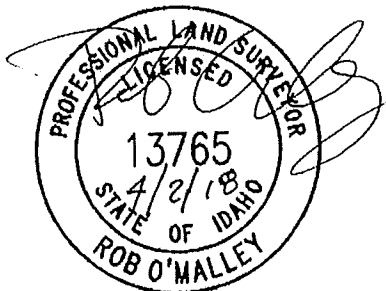
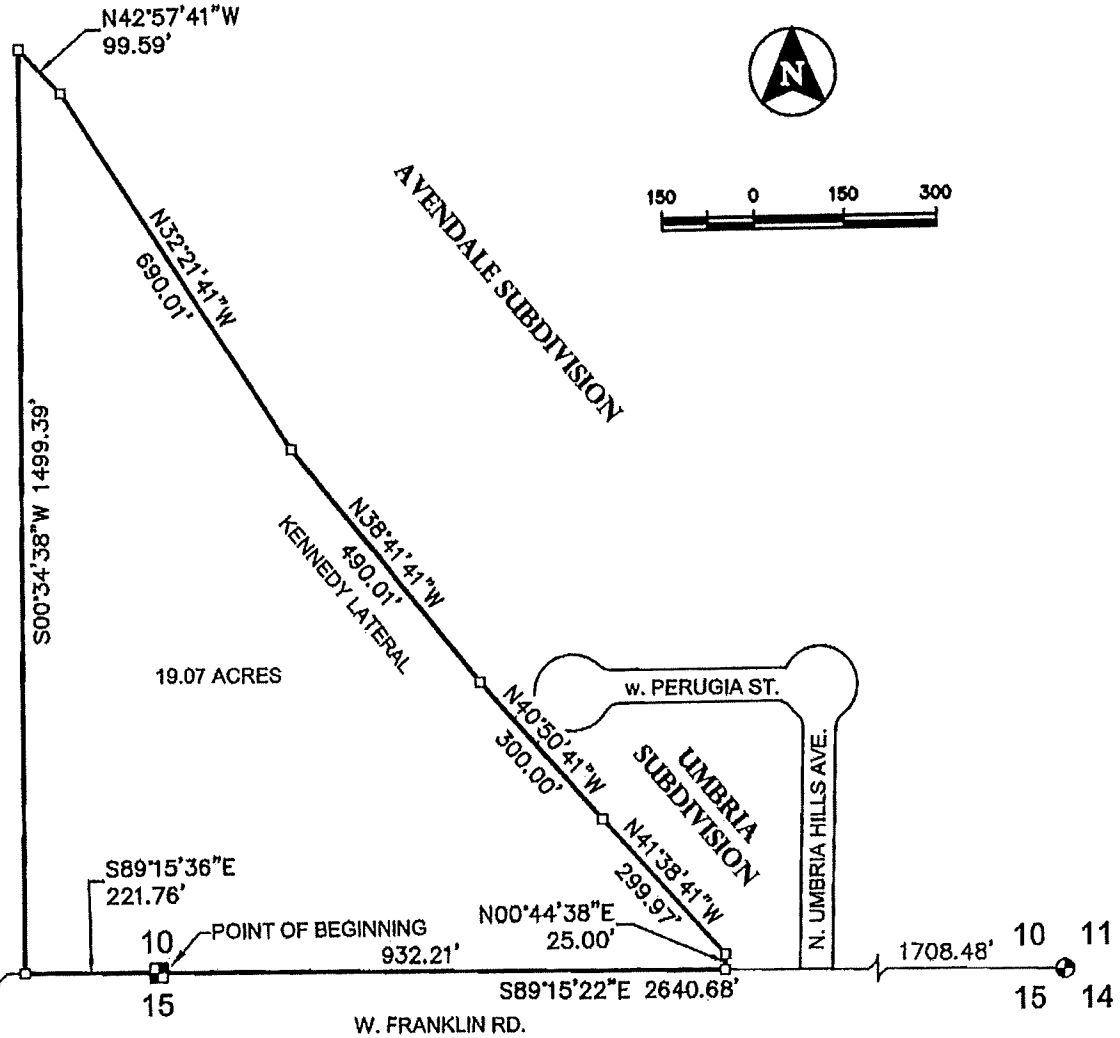
**CONTAINING:** 19.07 acres, more or less.

**SUBJECT TO:** all Record Documents.



# ANNEXATION EXHIBIT SKETCH

LOCATED IN THE SW1/4 OF THE SE1/4 AND THE E1/2 OF THE SW1/4 OF SECTION 10,  
TOWNSHIP 3 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO  
2018



**T-O ENGINEERS**  
332 N. BROADMORE WAY  
NAMPA, IDAHO 83687-5123  
PHONE: (208) 442-6300 FAX: (208) 466-0944  
E-FILE: 170270-V-XB\_Annexation DATE: April 2018 JOB: 170270

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Closure\_Annexation.txt

Name: Annex

North: 707189.227' East: 2441299.343'

Segment #1 : Line

Course: N89°15'36"W Length: 221.760'  
North: 707192.091' East: 2441077.601'

Segment #2 : Line

Course: N00°34'38"E Length: 1499.392'  
North: 708691.407' East: 2441092.707'

Segment #3 : Line

Course: S42°57'41"E Length: 99.591'  
North: 708618.525' East: 2441160.579'

Segment #4 : Line

Course: S32°21'41"E Length: 690.010'  
North: 708035.681' East: 2441529.912'

Segment #5 : Line

Course: S38°41'41"E Length: 490.007'  
North: 707653.237' East: 2441836.250'

Closure\_Annexation.txt

Segment #6 : Line

Course: S40°50'41"E      Length: 300.005'  
North: 707426.287'      East: 2442032.456'

Segment #7 : Line

Course: S41°38'41"E      Length: 299.974'  
North: 707202.123'      East: 2442231.792'

Segment #8 : Line

Course: S00°44'38"W      Length: 25.001'  
North: 707177.124'      East: 2442231.467'

Segment #9 : Line

Course: N89°15'22"W      Length: 932.208'  
North: 707189.227'      East: 2441299.338'

Perimeter: 4557.948'      Area: 830843.951 Sq. Ft.  
Error Closure:              0.005      Course: S88°30'11"W  
Error North:                -0.0001      East: -0.0050

Precision 1: 911589.600



**T-O ENGINEERS**

Project No: 170270  
Date: October 31, 2018  
Page 1 of 1

**PRELIMINARY PLAT DESCRIPTION**  
Of Entrata Subdivision

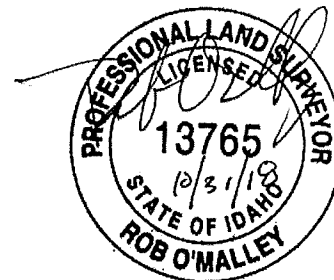
A parcel of land located in the SW1/4 of the SE1/4 and the E1/2 of the SW1/4 of Section 10, Township 3 North, Range 1 West, Boise Meridian, City of Meridian, Ada County, Idaho, more particularly described as follows:

**COMMENCING** at the South one-quarter corner of said Section 10; thence,

- A) N.00°44'38"E., 33.88 feet to the north right-of-way of W. Franklin Road and the **POINT OF BEGINNING**; thence, along said right-of-way,
- 1) N.89°15'36"W., 221.86 feet; thence,
  - 2) N.00°34'38"E., 1465.51 feet to the centerline of the Kennedy Lateral and the southwesterly boundary of Umbria Subdivision, recorded in Book 101 of Plats, at Pages 13200-13204, records of Ada County, Idaho; thence, along said centerline and boundary the following courses:
    - 3) S.42°57'41"E., 99.59 feet; thence,
    - 4) S.32°21'41"E., 690.01 feet; thence,
    - 5) S.38°41'41"E., 490.01 feet; thence,
    - 6) S.40°50'41"E., 300.00 feet; thence,
    - 7) S.41°38'41"E., 287.95 feet to said north right-of-way; thence, leaving said southwesterly boundary, along said right-of-way,
  - 8) N.89°15'22"W., 924.10 feet to the **POINT OF BEGINNING**.

**CONTAINING:** 18.177 acres.

**SUBJECT TO:** all Record Documents.





100 10th Avenue South / Nampa, Idaho  
83687 / (208) 465-6655

ADA COUNTY RECORDER J. DAVID NAVARRO      AMOUNT 6.00      2  
BOISE IDAHO 09/30/08 04:23 PM  
DEPUTY Bonnie Oberbillig  
RECORDED - REQUEST OF  
Pioneer  
108109620

291113 - cum

200807655

**QUITCLAIM DEED**

For Value Received

Kratina R. LeBaron, spouse of Grantee herein

do(es) hereby convey, release, remise and forever quit claim unto

Matthew L. LeBaron, a married man as his sole and separate property

whose address is 3880 W Franklin Rd.

Meridian, Idaho 83642

the following described premises, to-wit:

See attached Exhibit A

together with their appurtenances.

Dated: September 25, 2008

Kratina R. LeBaron  
Kratina R. LeBaron

\_\_\_\_\_  
\_\_\_\_\_

State of Idaho

ss.

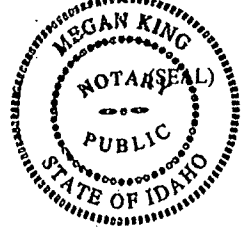
County of Canyon

On this 25<sup>th</sup> day of September, 2008, before me, the undersigned, a Notary Public, in and for said State, personally appeared Kratina R. LeBaron known to me, and/or identified to me on the basis of satisfactory evidence, to be the person(s) whose name is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS MY HAND AND OFFICIAL SEAL

Megan King

Notary Public  
Residing at: Nampa, ID  
Commission Expires: 5-17-10



**Exhibit A**

**BEGINNING** at the Southwest corner of the SE  $\frac{1}{4}$  of Section 10, Township 3 North, Range 1 West of the Boise Meridian, Ada County, Idaho;

Thence Easterly along the section line South  $89^{\circ}47'$  East 300.00 feet to the **REAL POINT OF BEGINNING**;

Thence North  $00^{\circ}03'$  West a distance of 290.00 feet;

Thence South  $89^{\circ}47'$  East a distance of 200.00 feet;

Thence South  $00^{\circ}03'$  East a distance of 290.00 feet to a point on the South section line;

Thence North  $89^{\circ}47'$  West along said section line 200 feet to the **REAL POINT OF BEGINNING**.

ELECTRONICALLY RECORDED - DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT.

ELECTRONICALLY RECORDED - DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT.

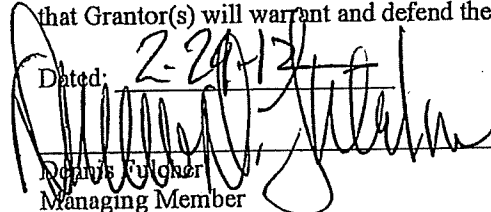
9A 11632

# WARRANTY DEED

FOR VALUE RECEIVED, **FL&M Associates, LLC**, an Idaho limited liability company, the Grantor(s), do(es) hereby grant, bargain sell and convey unto, **2FP LLC** an Idaho limited liability company the Grantee, whose current address is **1002 North Happy Valley Road, Nampa, ID 83687** the following described premises, in Ada County, Idaho, TO WIT:

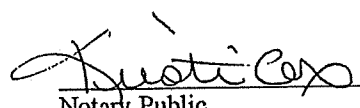
See attached Exhibit "A"

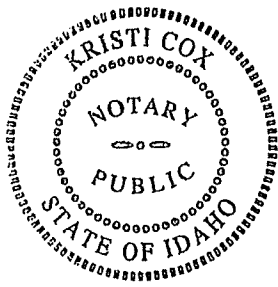
TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, heirs and assigns forever. And the said Grantor(s) do(es) hereby covenant to and with the said Grantee(s), that (s)he is/are the owner(s) in fee simple of said premises; that they are free from all encumbrances EXCEPT: Subject to all existing patent reservations, easements, right(s) of way, protective covenants, zoning ordinances, and applicable building codes, laws and regulations, general taxes, assessments, including irrigation and utility easements (if any) for the current year, which are not due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: 2-29-12  
  
Dennis D. Fulcher  
Managing Member

State of Idaho )  
                          ) S.S.  
County of Canyon

On this 29<sup>th</sup> day of February, in the year 2012, before me, the undersigned, a Notary Public, in and for said State, personally appeared Dennis D. Fulcher, known to me, and/or identified to me on the basis of satisfactory evidence, to be the Manager of the Limited Liability Company that executed the foregoing instrument, and acknowledged to me that such Limited Liability Company executed the same.

  
Notary Public  
Residing at \_\_\_\_\_  
My Commission Expires on \_\_\_\_\_



Residing in Middleton, Idaho  
Commission Expires: 03-11-14



EXHIBIT A

BEGINNING at the Southwest corner of the SE ¼ of Section 10, Township 3 North, Range 1 West of the Boise Meridian, in Ada County, Idaho, the POINT OF BEGINNING;  
Thence Easterly along the section line South 89°47' East 300.00 feet to a point;  
Thence North 00°03' West a distance of 290.00 feet;  
Thence South 89°47' East a distance of 200.00 feet;  
Thence South 00°03' East a distance of 290.00 feet to a point on the Southerly section line;  
Thence Easterly along the section line South 89°47' East a distance of 432.05 feet to a point being South 00°03' West 25 feet from the intersection with the center line of the Kennedy Lateral;  
Thence North 00°03' East 25 feet to a point on the centerline of said Kennedy Lateral;  
Thence along the centerline of the Kennedy Lateral the following bearings and distances:  
North 42°10' West 300 feet;  
Thence North 41°22' West 300 feet;  
Thence North 39°13' West 490 feet;  
Thence North 32°53' West 690 feet;  
Thence North 43°29' West 99.57 feet;  
Thence leaving said Lateral South 00°03' West 1499.60 feet to a point on the Southerly section line of said Section 10;  
Thence South 89°47' East 221.95 feet, to the PLACE OF BEGINNING.

EXCEPT that portion conveyed to the United States of America by deed recorded in Book 82 of Deeds at Page 90 as Instrument No. 27390.

EXCEPTING THEREFROM:

Beginning at the Southwest corner of the Southeast quarter of Section 10, Township 3 North, Range 1 West of the Boise Meridian, Ada County, Idaho,  
Thence Easterly along the section line South 89°47' East 300.00 feet to the REAL POINT OF BEGINNING;  
Thence North 00°03' West a distance of 290.00 feet;  
Thence South 89°47' East a distance of 200.00 feet;  
Thence South 00°03' East a distance of 290.00 feet to a point on the South section line;  
Thence North 89°47' West along said section line 200 feet to the REAL POINT OF BEGINNING.

**AFFIDAVIT OF LEGAL INTEREST**

STATE OF IDAHO )  
 )  
COUNTY OF ADA )

I, Matthew LeBaron, 3880 W Franklin Rd  
(name) (address)  
Meridian, Idaho, 83642  
(city) (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

James Dodin, 41685 S. Highland Dr. #202  
(name) Salt Lake City, Utah 84117  
(address)

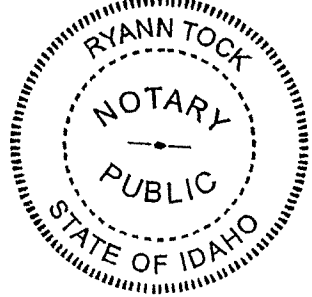
to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 28<sup>rd</sup> day of March, 20 18

[Signature]  
(Signature)

SUBSCRIBED AND SWORN to before me the day and year first above written.



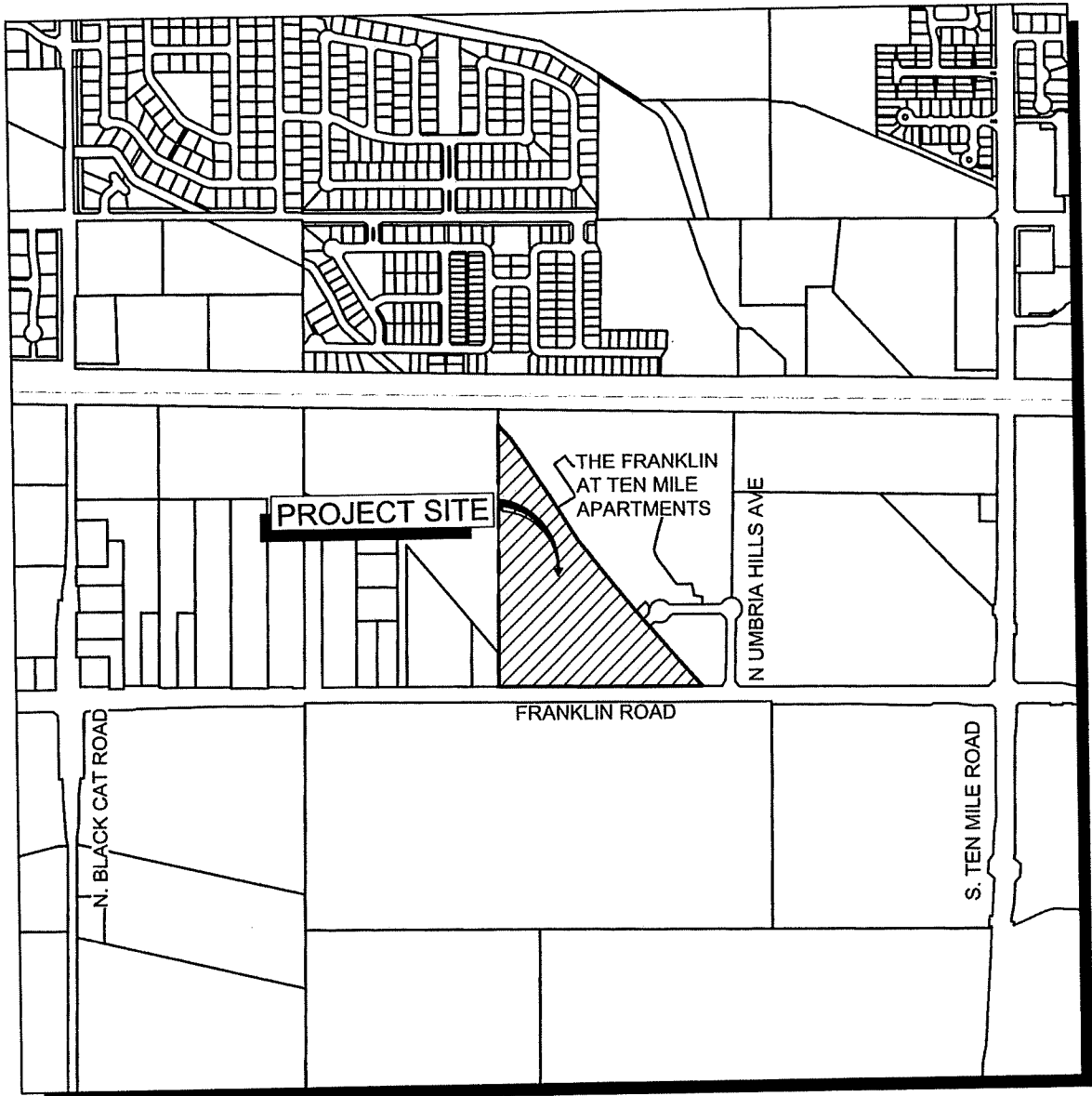
Ryann Toek  
(Notary Public for Idaho)

Residing at: 716 E Colorado Ave Nampa, ID 83686

My Commission Expires: 3-14-2014



# ENTRATA FARMS



## VICINITY MAP

SCALE: 1"=1000'



**T-O ENGINEERS**

332 N. BROADMORE WAY  
NAMPA, IDAHO 83687-5123

PHONE: (208) 442-6300

FAX: (208) 466-0944

E-FILE: 170270-VICINITY MAP-Lines.dwg

DATE: 1/23/2018

JOB: 170270

**Snyder, Jaime**

---

**From:** Stover, Abbey  
**Sent:** Tuesday, March 27, 2018 9:34 AM  
**To:** Snyder, Jaime  
**Subject:** Fwd: Entrata Subdivision

Hey Jaime- see below for approval for the Traffic impact study.

Get [Outlook for iOS](#)

---

**From:** Mindy Wallace <mwallace@achdidaho.org>  
**Sent:** Tuesday, March 27, 2018 7:03 AM  
**Subject:** Re: Entrata Subdivision  
**To:** Stover, Abbey <astover@to-engineers.com>  
**Cc:** Bill Parsons <bparsons@meridiancity.org>

Abby,

ACHD has reviewed and accepted the traffic impact study for Entrata Farms Subdivision.

Please let me know if you have any questions.

Mindy

Mindy Wallace, AICP  
Planner III  
Development Services

---

**From:** Stover, Abbey <astover@to-engineers.com>  
**Sent:** Monday, March 26, 2018 3:13 PM  
**To:** Mindy Wallace  
**Cc:** Christy Little; Carpenter, John  
**Subject:** Entrata Subdivision

Hi Mindy-

John mentioned that the Entrata Farms Subdivision TIS was accepted, can you send me a verification letter that we can submit to Meridian with our Preliminary Plat?  
Vicinity map attached for reference.

Thank you!

ABBIEY STOVER, EI | *Staff Engineer*



**T-O ENGINEERS**

332 N. Broadmore Way | Nampa, Idaho 83687

# CITY OF MERIDIAN

## PRE-APPLICATION MEETING NOTES

Project/Subdivision Name: Entrata Farms Subdivision Date: 10/16/18  
 Applicant(s)/Contact(s): John Carpenter, Kent Brown  
 City Staff: Sonya, Caleb, Cameron, Kenny, Tom, Brian, Stephanie  
 Location: 3882 W. Franklin Rd. Size of Property: 18.25  
 Comprehensive Plan FLUM Designation: HDR (TMISAP)  
 Existing Use: Rural residential/ag Existing Zoning: RUT  
 Proposed Use: MFR (238 units, 2&3 bedrooms, 2 & 3 stories in height, 13 units/acre) Proposed Zoning: R-15  
 Surrounding Uses: MFR (Silver Oaks); rural residential/ag  
 Street Buffer(s) and/or Land Use Buffer(s): 25' street buffer along W. Franklin Rd.; 5' detached sidewalk along collector/arterial streets  
 Open Space/Amenities/Pathways: comply with qualified open space & site amenity standards in UDC 11-4-3-27  
 Access/Stub Streets: A TIS is required; a collector street is designated across this site on the MSM; extend Perugia St. at east boundary (for access to the signal); only one access is allowed via Franklin Rd.; provide stub to west consistent w/MSM  
 Waterways/ Floodplain/Topography/Hazards: The Kennedy Lateral exists along east boundary; if proposed to be left open, request Council approval for a waiver to UDC 11-3A-6, which requires the waterway to be piped.  
 Additional Meeting Notes: Private streets are required for addressing purposes; comply with UDC 11-3F-4

- Annexation & zoning with R-15 zoning district; comply with dimensional standards in UDC Table 11-2A-7
- Preliminary Plat to subdivide property; comply with subdivision design & improvement standards listed in UDC 11-6C-3
- A CUP is required for MFR in the R-40 district; comply with specific use standards in UDC 11-4-3-27, Multi-family Developments.
- Development should be consistent with the High Density Residential designation in the Ten Mile Interchange Specific Area Plan:
  - Should include a mix of housing types (i.e. apartments, townhouses/row houses, live-work units) that achieve an overall density of 16-25 units/acre – if proposed density is less, request a "step" down in density (i.e. from HDR to MHDR)
- Meet Fire Dept. requirements for: secondary emergency access (separation between accesses); turn arounds for driveways exceeding 150'; turning radius' (28' inside, 48' outside); 3-story structures require sprinklers.
- Submit a phasing plan
- Contact Valley Regional Transit (Rhonda Jalbert rjalbert@valleyregionaltransit.org, 208-258-2707) regarding bus stop/facility.
- Structures and site design/landscaping should be consistent with Architectural Standards Manual.
- All structures shall comply with Building & Fire Code setback and separation requirements.

*Note: A Traffic Impact Study (TIS) will be required by ACHD for large commercial projects and any residential development with over 100 units. To avoid unnecessary delays & expedite the hearing process, applicants are encouraged to submit the TIS to ACHD prior to submitting their application to the City. Not having ACHD comments and/or conditions on large projects may delay hearing(s) at the City. Please contact Mindy Wallace at 387-6178 or Christy Little at 387-6144 at ACHD for information in regard to a TIS, conditions, impact fees and process.*

**Other Agencies/Departments to Contact:**

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Ada County Highway Dist. (ACHD) | <input type="checkbox"/> Nampa Meridian Irrigation Dist. (NMID) | <input type="checkbox"/> Public Works Department |
| <input type="checkbox"/> Idaho Transportation Dept. (ITD)           | <input type="checkbox"/> Settler's Irrigation District          | <input type="checkbox"/> Building Department     |
| <input type="checkbox"/> Republic Services                          | <input type="checkbox"/> Police Department                      | <input type="checkbox"/> Parks Department        |
| <input type="checkbox"/> Central District Health Department         | <input type="checkbox"/> Fire Department                        | <input type="checkbox"/> Other: _____            |

**Application(s) Required:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Administrative Design Review        | <input type="checkbox"/> Conditional Use Permit Modification/Transfer | <input type="checkbox"/> Rezone                   |
| <input type="checkbox"/> Alternative Compliance              | <input type="checkbox"/> Development Agreement Modification           | <input type="checkbox"/> Short Plat               |
| <input checked="" type="checkbox"/> Annexation               | <input type="checkbox"/> Final Plat                                   | <input type="checkbox"/> Time Extension – Council |
| <input type="checkbox"/> City Council Review                 | <input type="checkbox"/> Final Plat Modification                      | <input type="checkbox"/> UDC Text Amendment       |
| <input type="checkbox"/> Comprehensive Plan Amendment – Map  | <input type="checkbox"/> Planned Unit Development                     | <input type="checkbox"/> Vacation                 |
| <input type="checkbox"/> Comprehensive Plan Amendment – Text | <input checked="" type="checkbox"/> Preliminary Plat                  | <input type="checkbox"/> Variance                 |
| <input checked="" type="checkbox"/> Conditional Use Permit   | <input checked="" type="checkbox"/> Private Street                    | <input type="checkbox"/> Other                    |

**Notes:** 1) Applicants are required to hold a neighborhood meeting in accord with UDC 11-5A-5C prior to submittal of an application requiring a public hearing (except for a vacation or short plat); and 2) All applicants for permits requiring a public hearing shall post the site with a public hearing notice in accord with UDC 11-5A-5D.3 (except for UDC text amendments, Comp Plan text amendments, and vacations). The information provided during this meeting is based on current UDC requirements and the Comprehensive Plan. Any subsequent changes to the UDC and/or Comp Plan may affect your submittal and/or application. This pre-application meeting shall be valid for four (4) months.

ENTRATA FARMS Neighborhood Meeting

Start Time of Neighborhood Meeting: 6 PM \_\_\_\_\_

End Time of Neighborhood Meeting: 6:45PM \_\_\_\_\_

**Those in attendance please print your name and address. If no one attended, Applicant please write across this form "No one attended."**

**PRINTED NAME**

**ADDRESS, CITY, STATE, ZIP**

1. KENT BROWN 3161 E SPRINGWOOD MERIDIAN ID 83642

2. \_\_\_\_\_

3. \_\_\_\_\_

4. \_\_\_\_\_

5. \_\_\_\_\_

6. \_\_\_\_\_

7. \_\_\_\_\_

8. \_\_\_\_\_

9. \_\_\_\_\_

10. \_\_\_\_\_

11. \_\_\_\_\_

12. \_\_\_\_\_

13. \_\_\_\_\_

14. \_\_\_\_\_

15. \_\_\_\_\_

16. \_\_\_\_\_

17. \_\_\_\_\_

18. \_\_\_\_\_

19. \_\_\_\_\_

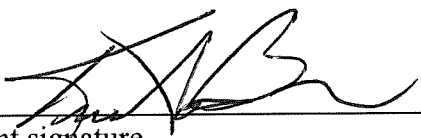
## COMMITMENT OF PROPERTY POSTING

Per Unified Development Code (UDC) 11-5A-5D, the applicant for all applications requiring a public hearing (except for a UDC text amendment, a Comprehensive Plan text amendment and/or vacations) shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice of the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in UDC 11-5A-5.

  
\_\_\_\_\_  
Applicant/agent signature

10/24/18  
\_\_\_\_\_  
Date





Community Development  
Department

Meridian City Hall, Suite 102  
33 E. Broadway Avenue  
Meridian, Idaho 83642  
208.887.2211

## Parcel Verification

Date: **3/20/18**

The parcel information below has been researched and verified as correct by the City of Meridian Community Development Department.

Project Name: **Entrata Farms Subdivision**

T/R/S: **3N 1W 10**

Parcel Numbers: **S1210347123 (17.08 Acres)**

Property Owner: **2FP LLC  
1002 N Happy Valley Rd  
Nampa, ID 83689**

Parcel Numbers: **S1210438803 (1.175 Acres)**

Property Owner: **Matthew Lebaron  
1214 2nd St S  
Nampa, ID 83651**

# ENTRATA FARMS

QUALIFIED OPEN SPACE



QUALIFIED OPEN SPACE	
①	0.86 AC
②	1.53 AC
③	0.31 AC
④	1.02 AC
⑤	0.23 AC
⑥	0.66 AC
⑦	0.38 AC
⑧	0.52 AC
⑨	0.43 AC
⑩	0.01 AC
⑪	0.20 AC
TOTAL QUALIFIED OPEN SPACE	6.15 ACRES
% OF TOTAL SITE	33.8%



**T-O ENGINEERS**

332 N. BROADMORE WAY  
NAMPA, IDAHO 83687-5123

PHONE: (208) 442-6300

FAX: (208) 466-0944

E-FILE: 170270-Open Space.dwg

DATE: 10/9/18

JOB: #####

# Amenities

The amenity package for the development include the following items (pictures/illustrations for a few of the amenity items are included):

1. Outdoor Pool Complex with restroom facilities – **Recreation Category**
2. Dual Slope Pavilion – 16' x 20' DS16X20M with picnic tables and BBQ stations (3) (to be installed in common activity area – **Quality of Life Category**)
3. Playground Equipment – Step By Step 350-1802 – **Recreation Category**
4. Single Zipline – Step By Step ZZXX1145 – **Recreation Category**
5. 5 Station Fitness Station- Playworld Design; Energi Prime Complete 5 Station System – **Recreation Category**
6. Full Size Basketball Court – **Recreation Category**
7. Dog Park – Best In Show RECF0021XX – **Quality of Life Category**
8. Open grassy play field with minimum dimensions of 100'x50' (maintained in common activity area) – **Open Space Category**
9. Open grassy play field with minimum dimensions of 100'x50' (maintained in Multi-Family Townhome common space) – **Open Space Category**
10. Pathways- Micro paths are provided through the Multi-Family common spaces as well as linkages to the existing Franklin Road sidewalk – **Quality of Life Category**

## Playground



## Fitness Stations

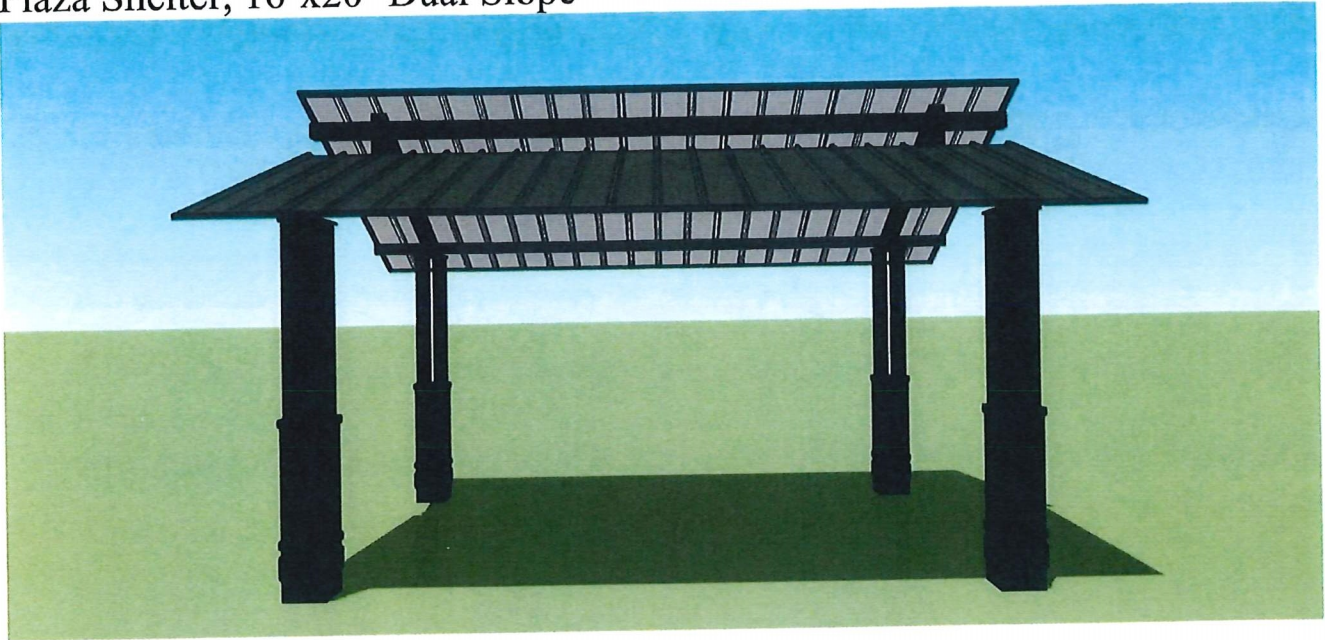


## Zipline



\*\*\*Development amenity package includes single zipline only

Plaza Shelter, 16'x20' Dual Slope



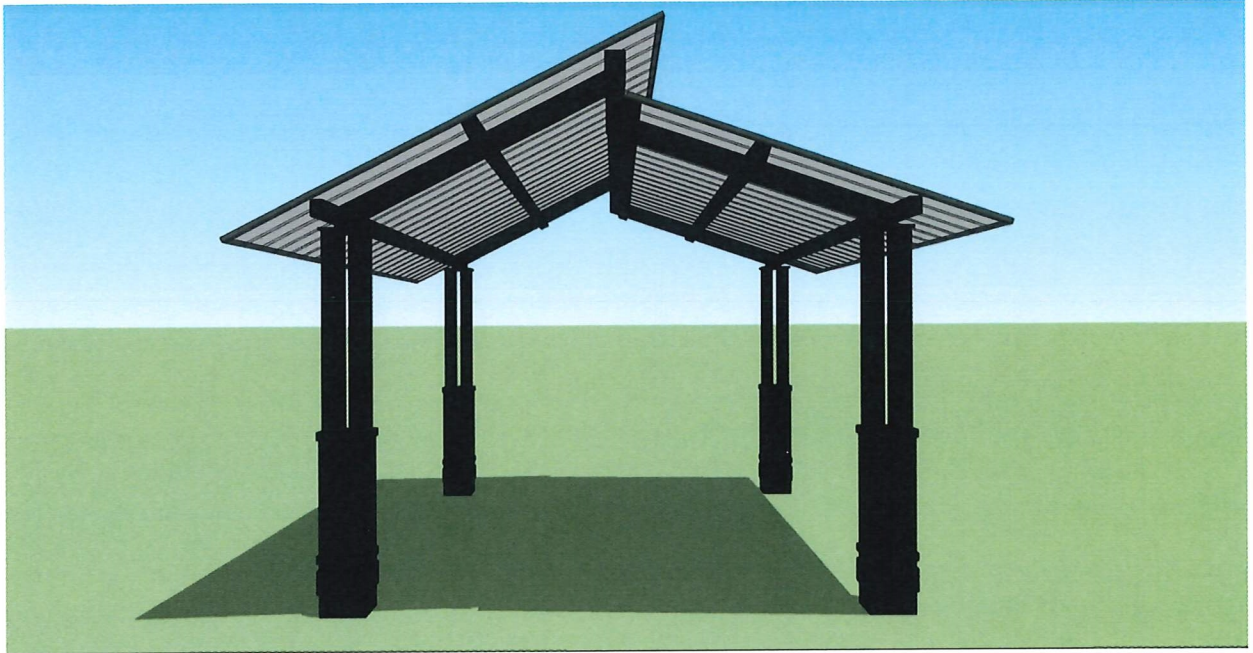
- **Play Structure - Large**
  - Item No. 350-1802 Step-By-Step
  - Area Needed: 36' x 47'



- **Play Structure - Small**
  - Item No. 350-1737 Step-By-Step



- **16'x20' Pavilion – All Steel**
  - Ideal Concrete Pad Size: 22' x 18'

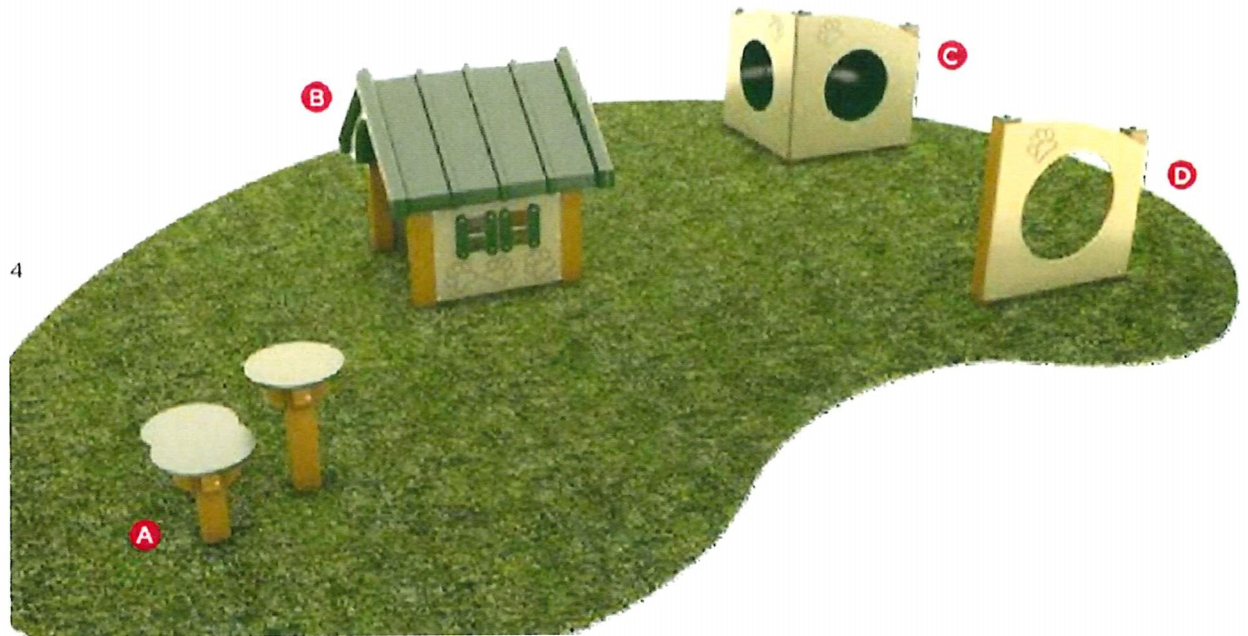


- **20'x20' Pavilion – Sail Shade**
  - Item No. SRP Sail Shade 0120840 Dual Sail



- **Dog Park**

- SRP Pawsitively Playful Dog Park Equipment
- Item No. RECF0019XX
- Space Needed 35' x 64'



- **Picnic Tables**

- Item No. ZZPQ106Q: 6' x 6'





- **BBQ Grill**

- Item No. ZZPQG05N: 1'6" x 3'5"



- **Park Benches (typical park bench)**

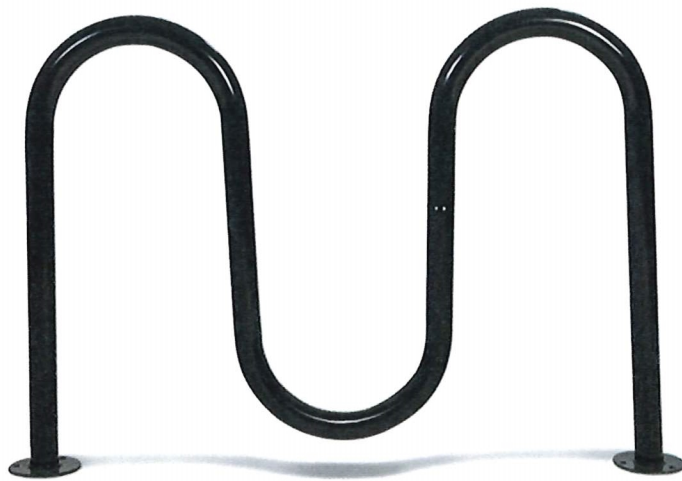
- Item No. ZZPQ300Q: 6' x 1'3"



- **Trash Receptacle** (typical park trash receptacle)
  - Item No. ZZPQL32Q: 2'9" Tall x 2'1" Diameter



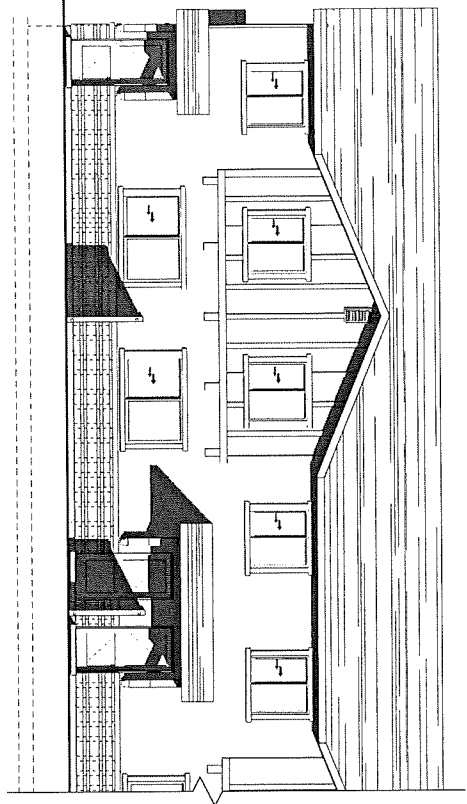
- **Bike Rack** (typical multi loop style)
  - Item No. ZZPQBKRS: 4'2" Long x 3'2" Tall x 2" Thick



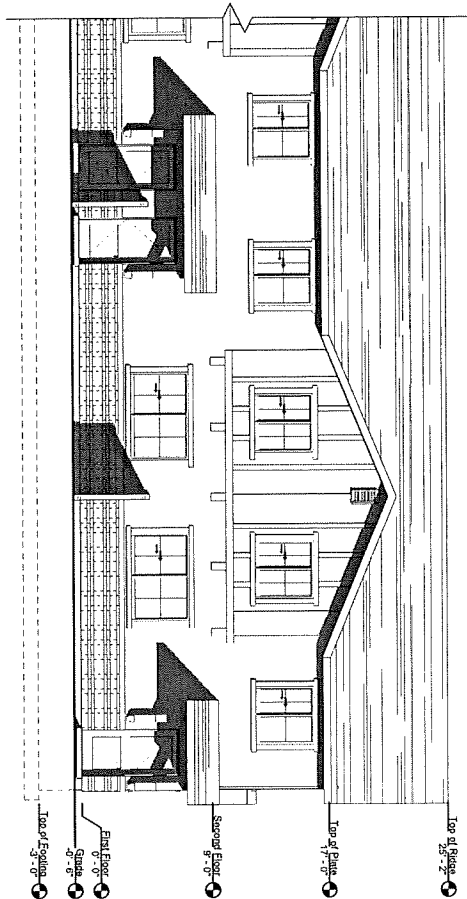
- **½ Basketball Court**
  - Model #1590 – 6" Square Adjustable Basketball System



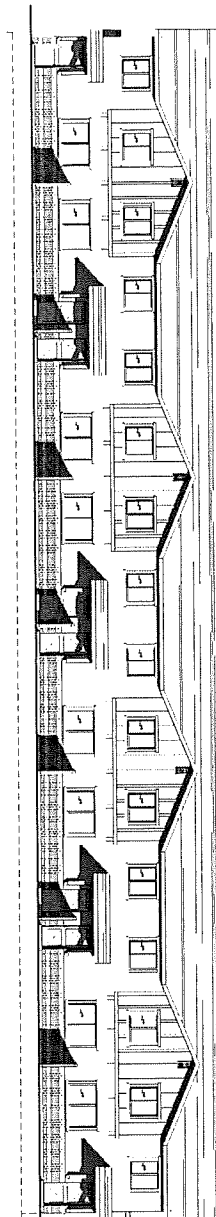




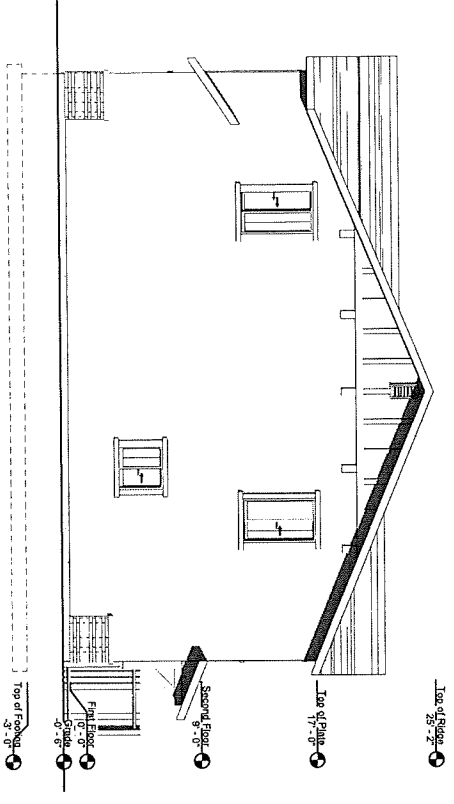
② Back - Left Half  
1/4" = 1'-0"



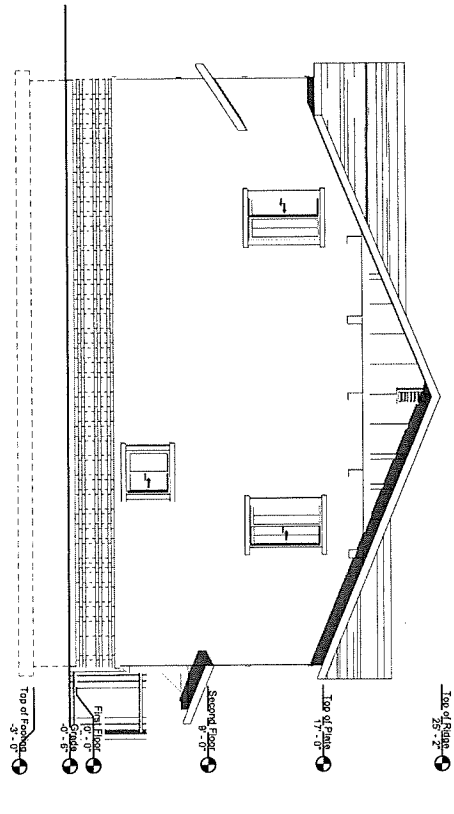
③ Back - Right Half  
1/4" = 1'-0"



① Back  
1/8" = 1'-0"

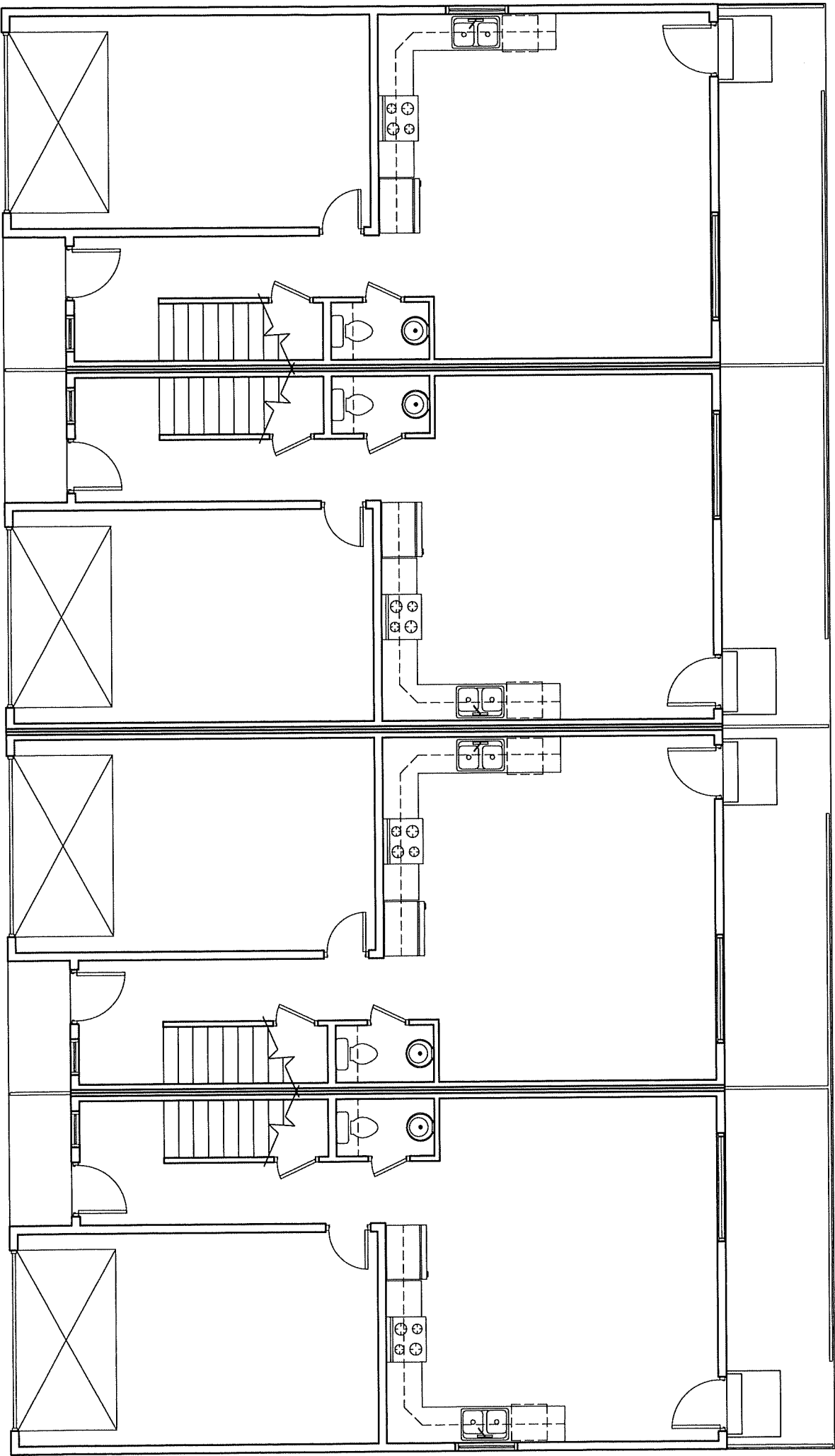


④ Right - Inverted Lot  
1/4" = 1'-0"

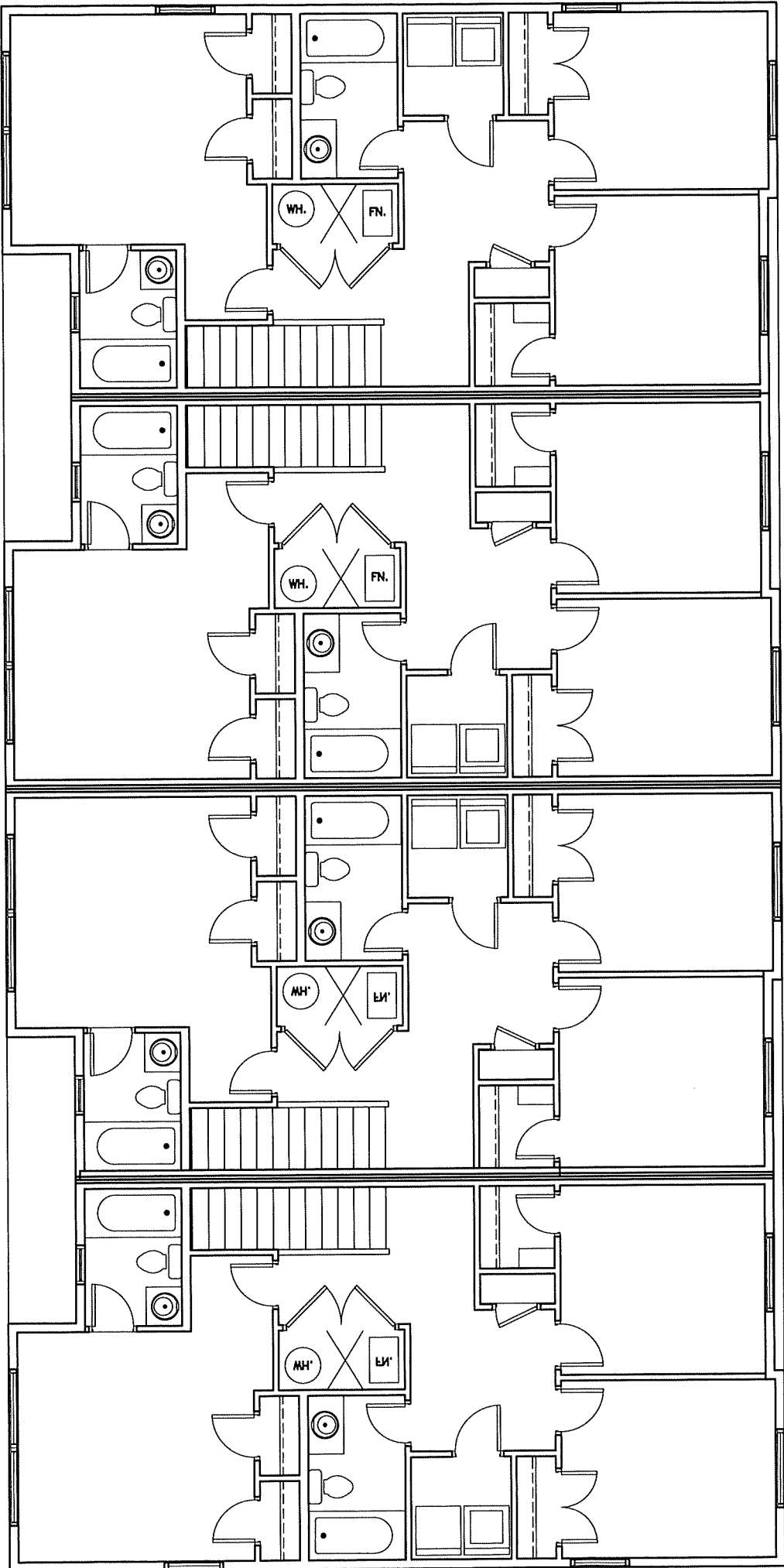


⑤ Right - Corner Lot  
1/4" = 1'-0"

<p>DATE: A7 10/18/2018</p>		<p>REVISIONS:</p> <ol style="list-style-type: none"> <li>08-03-10</li> <li>02-03-10</li> <li>04-03-10</li> </ol>	<p>DESIGNED BY: [Name]</p>	<p>PROJECT: Vollkommen Construction Delinda 8-Plex</p>	<p>DATE: [Date]</p>
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DELINDA FLOOR 1

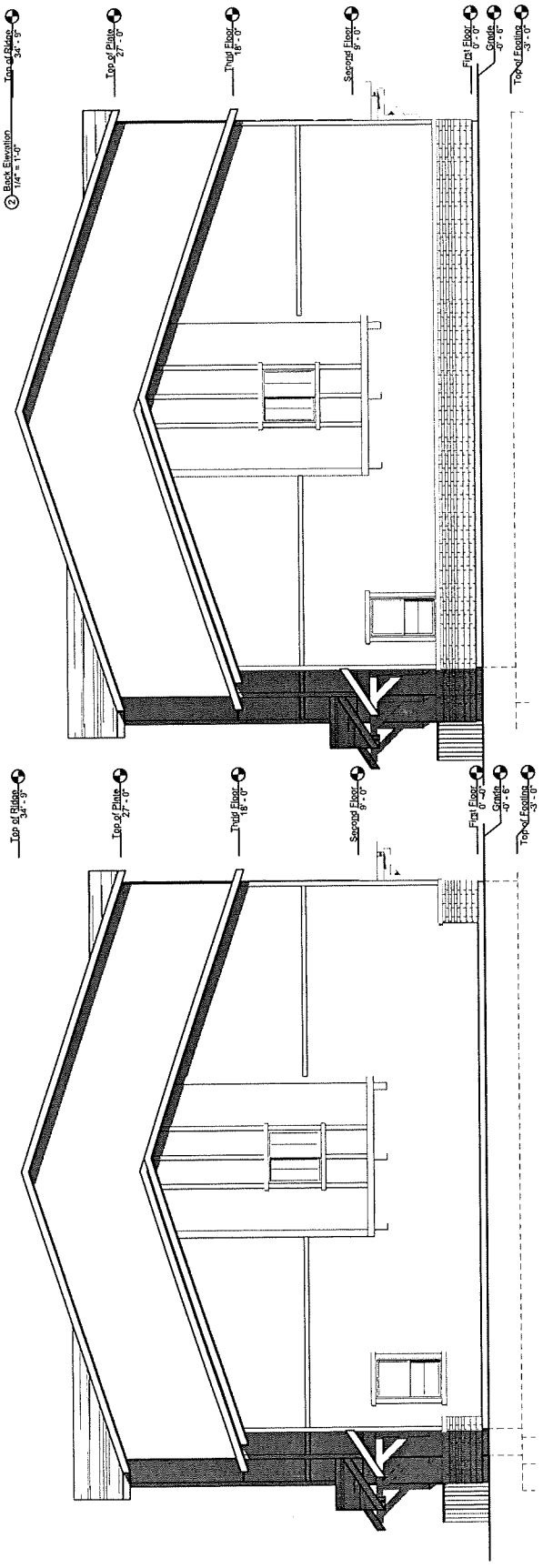
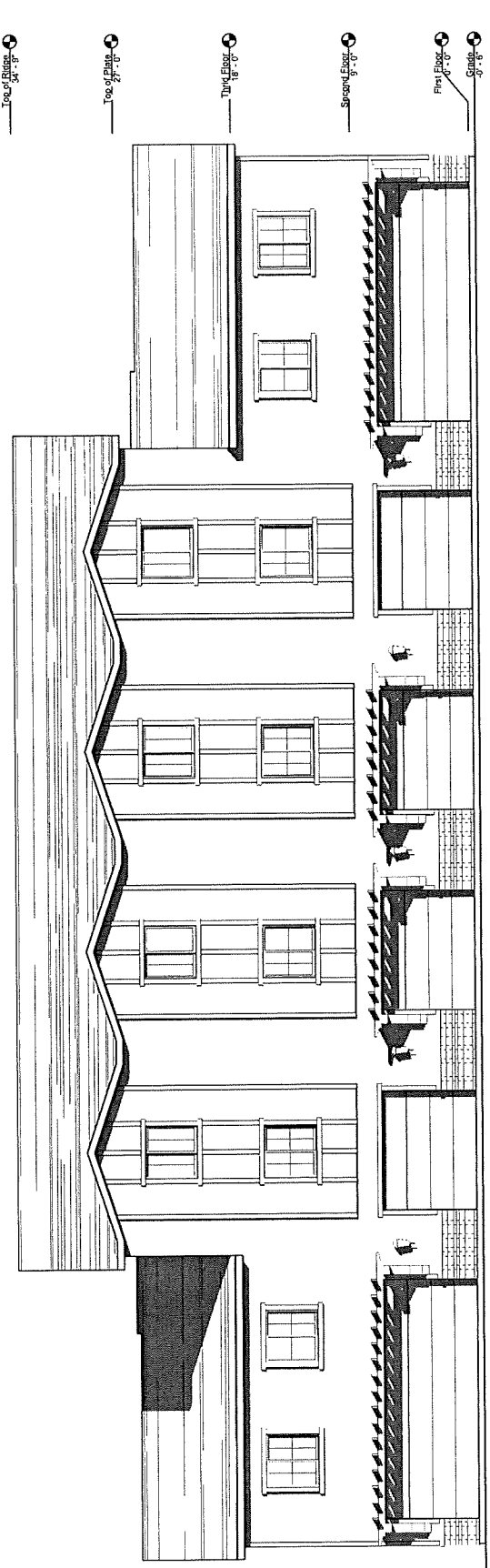


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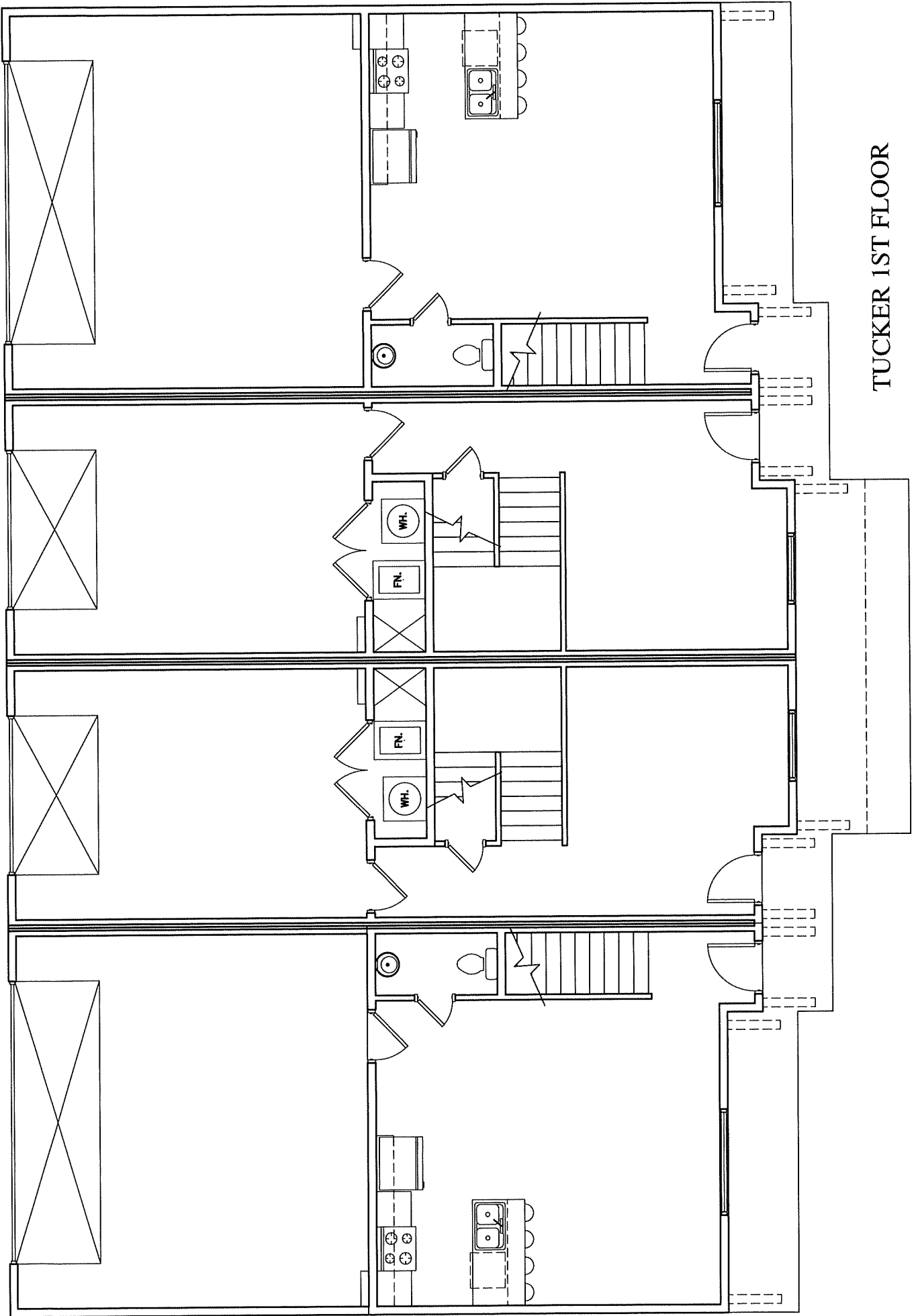


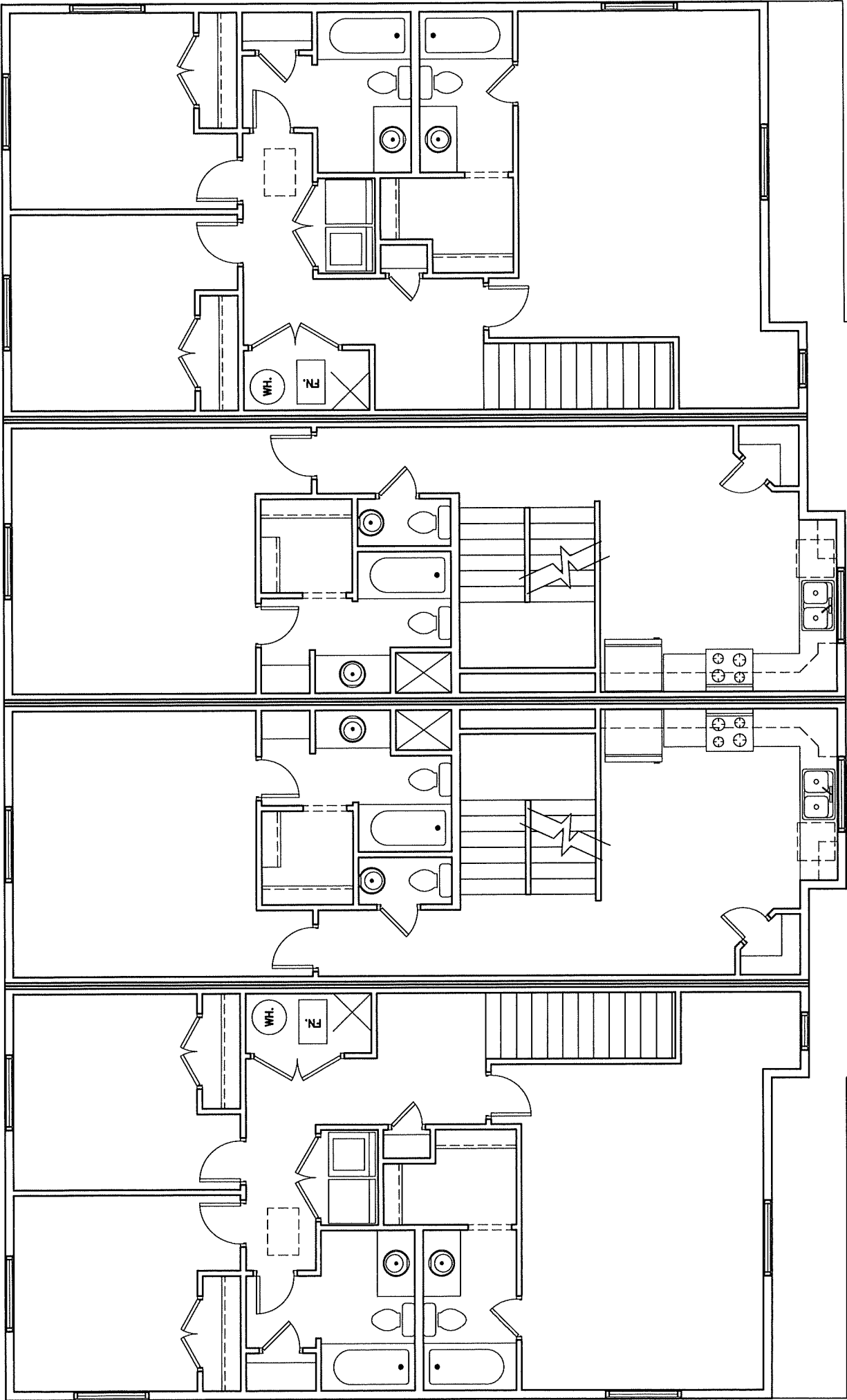


Volkmen Construction  
Tucker 6-Flex



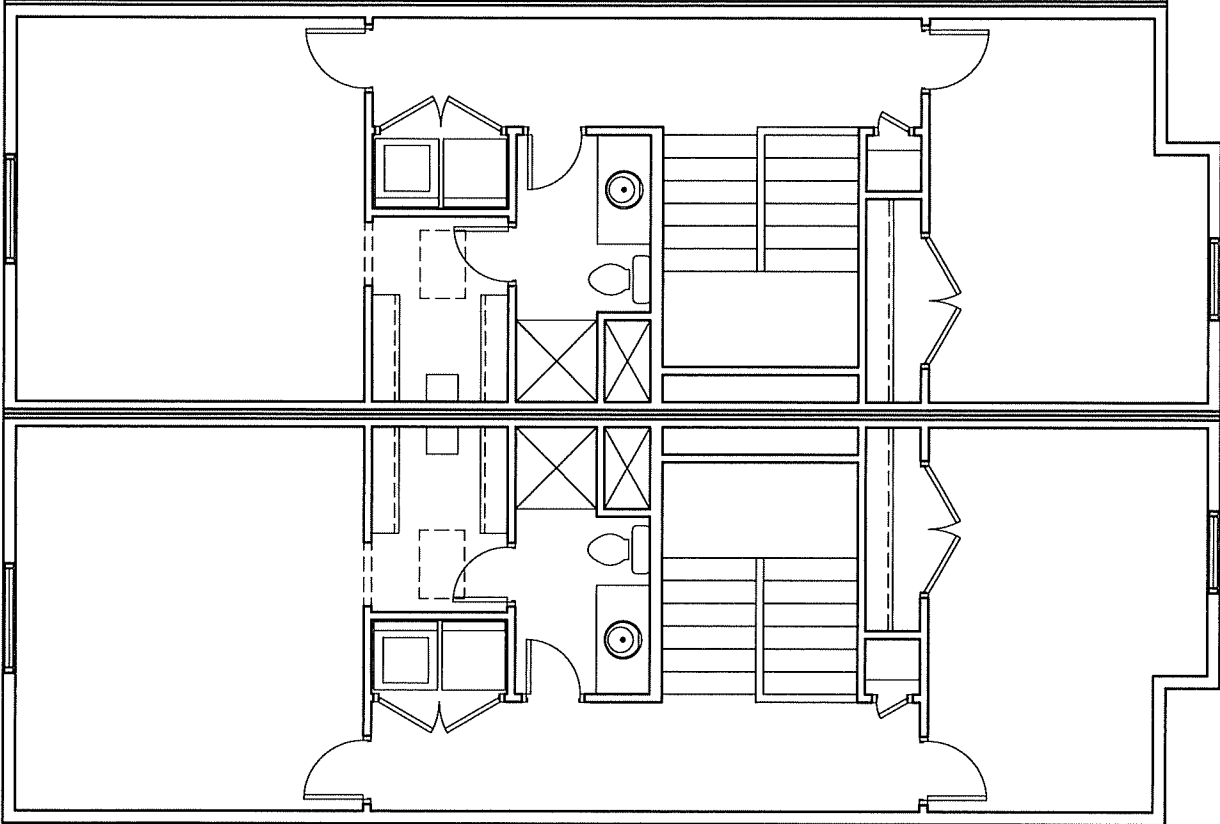
TUCKER 1ST FLOOR

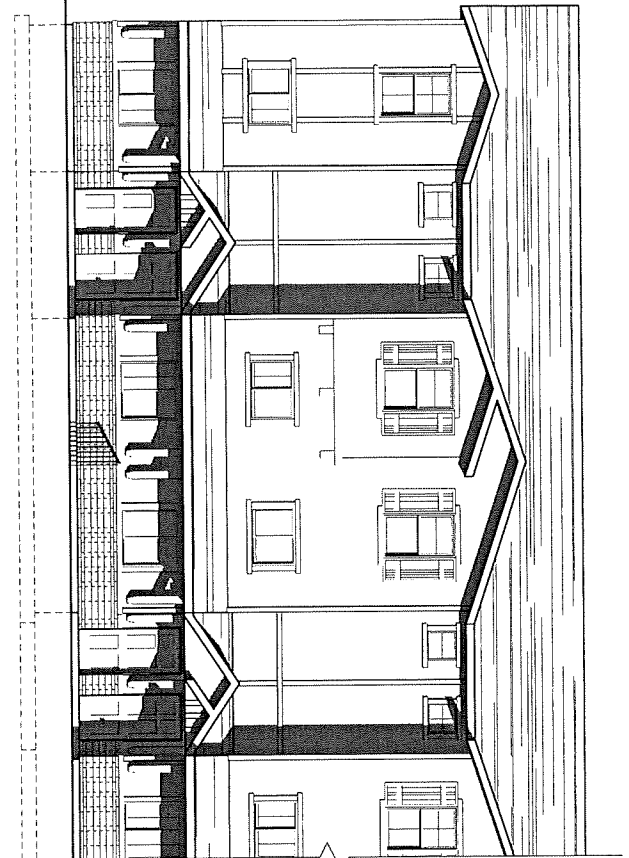




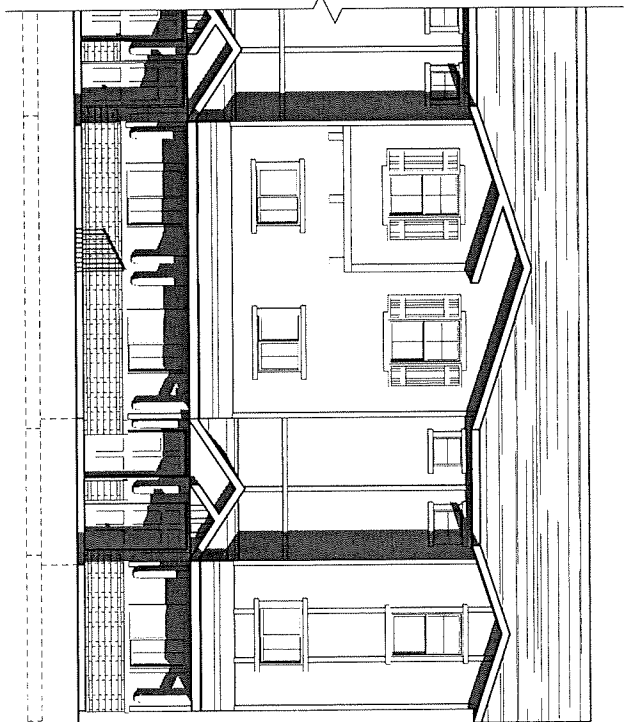
TUCKER 2ND FLOOR

TUCKER 3RD FLOOR

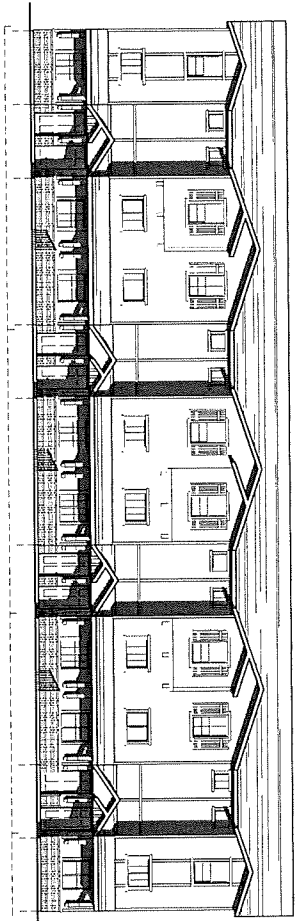




① Front Elevation - Left Half  
1/8" = 1'-0"



② Front Elevation - Right Half  
1/8" = 1'-0"



③ Front Elevation  
1/8" = 1'-0"

- Top of Ridge 34'-9"
- Top of First Floor 27'-0"
- Third Floor 19'-0"
- Second Floor 12'-0"
- First Floor 5'-0"
- Ceiling 4'-8"
- Top of Foundation 3'-10"

- Top of Ridge 34'-9"
- Top of First Floor 27'-0"
- Third Floor 19'-0"
- Second Floor 12'-0"
- First Floor 5'-0"
- Ceiling 4'-8"
- Top of Foundation 3'-10"

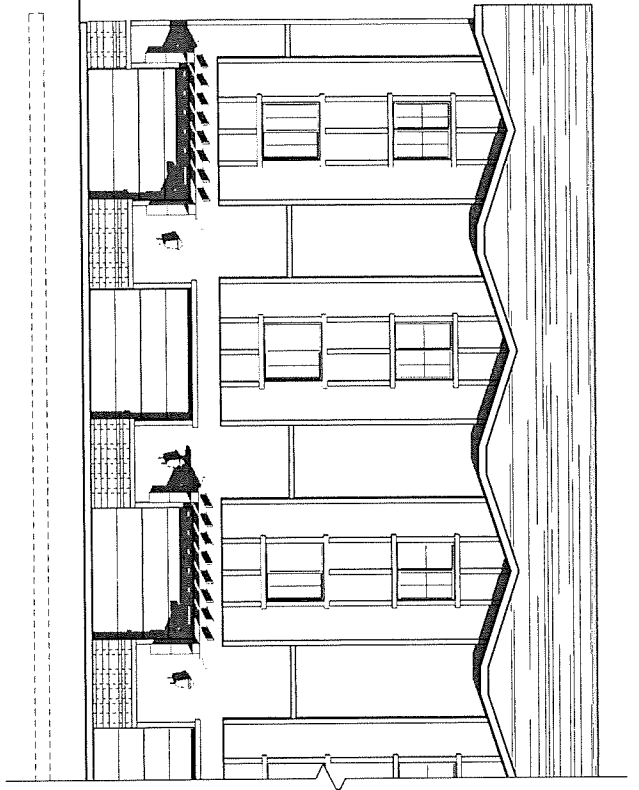
# PAYTON 8-PLEX

Vollkommen Construction  
Payton 8-Plex

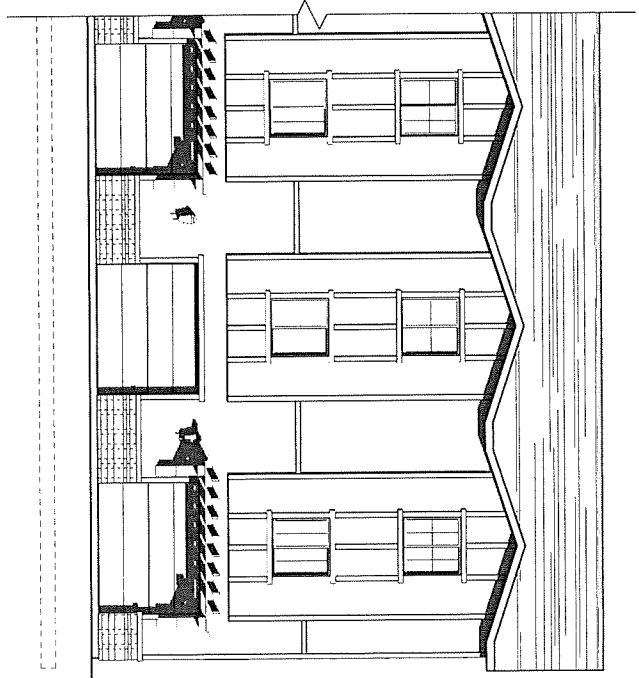
DATE  
SCALE

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2	00-00-00
3	00-00-00

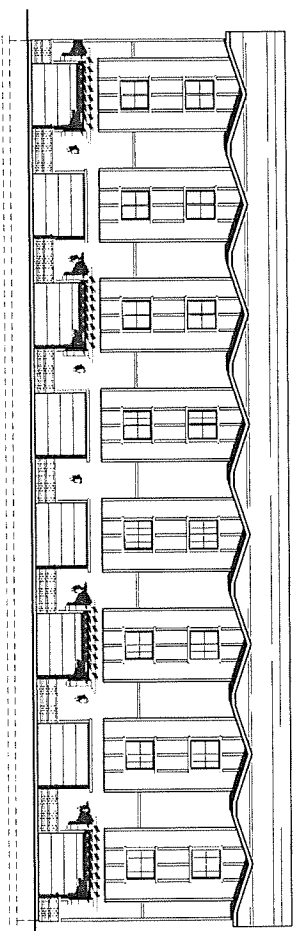
SCALE  
A6  
10/19/2018



① Back Elevation - Left Half  
1/4" = 1'-0"



② Back Elevation - Right Half  
1/4" = 1'-0"



③ Back Elevation  
1/8" = 1'-0"

- Top of Ridge 3'-4" ④
- Top of First 2'-0" ⑤
- Top of Second 1'-6" ⑥
- Second Floor ⑦
- First Floor 0'-7 1/2" ⑧
- Grade 0'-0" ⑨
- Top of Foundation 3'-0" ⑩

- Top of Ridge 3'-4" ④
- Top of First 2'-0" ⑤
- Top of Second 1'-6" ⑥
- Second Floor ⑦
- Third Floor 18'-0" ⑧
- Top of Foundation 3'-0" ⑩

Vollkommen Construction  
Payton 8-Plex

DATE  
10/18/2018

SCALE  
A7

NO.	DATE	DESCRIPTION
1	08-01-00	
2	08-01-00	
3	08-01-00	

DATE  
10/18/2018



① Right - Interior Elev  
1/4" = 1'-0"

② Left - Interior Elev  
1/4" = 1'-0"



③ Right - Exterior Elev  
1/4" = 1'-0"

④ Left - Exterior Elev  
1/4" = 1'-0"

DATE: 10/12/2018  
A8

1	00-00-00
2	00-00-00
3	00-00-00

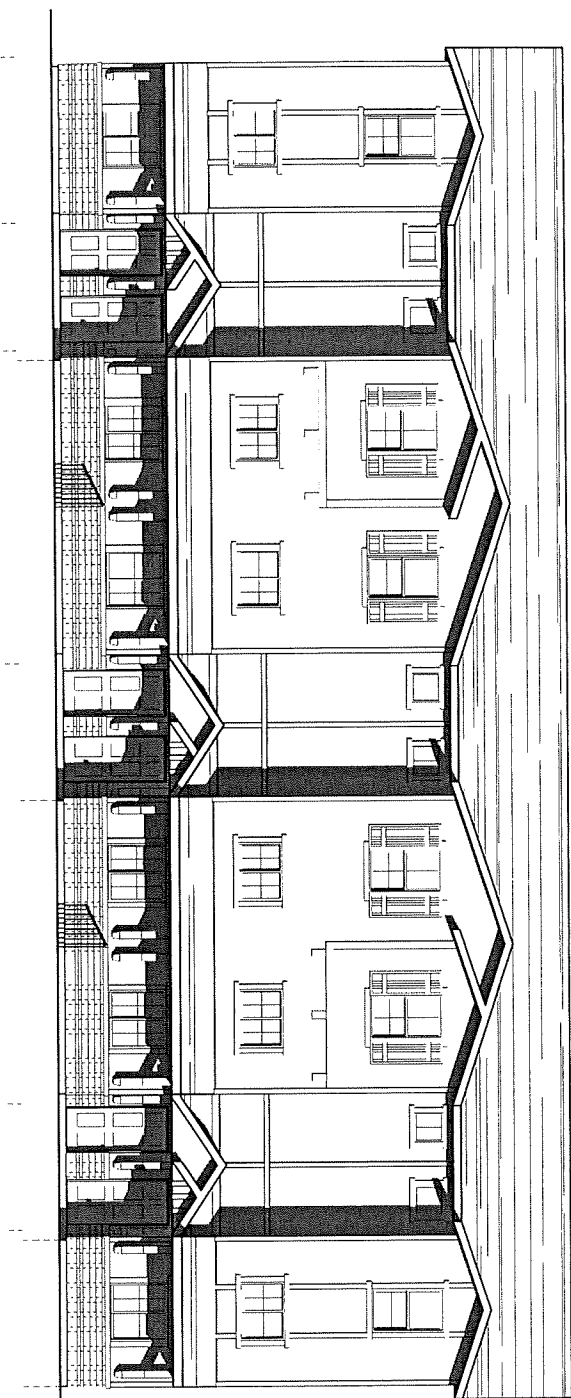
DATE: 10/12/2018

DATE: 10/12/2018

Vollkommen Construction  
Payton 8-Plex

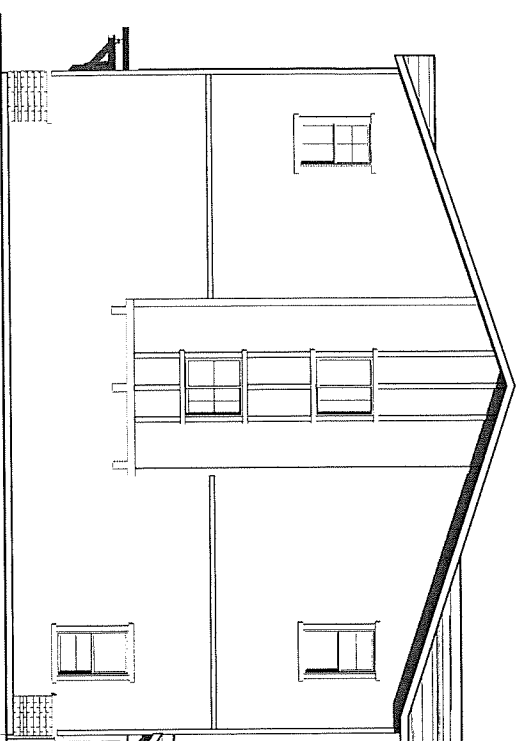
DATE: 10/12/2018

DATE: 10/12/2018



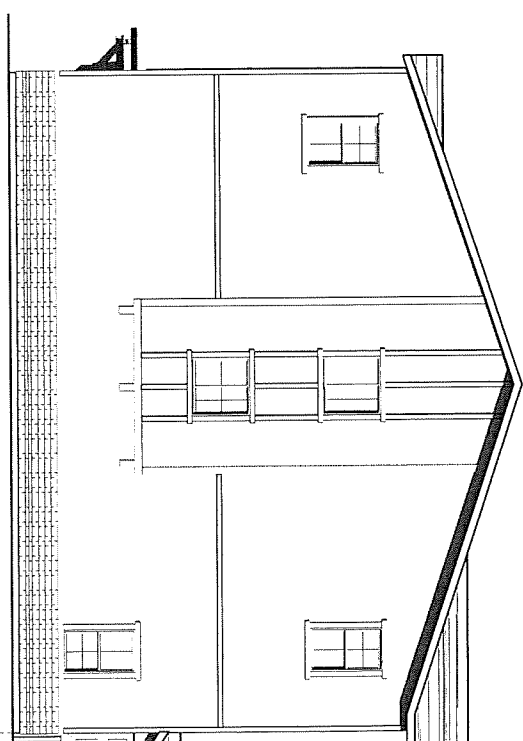
Top of Ridge 3'-0"  
 Top of Pine 2'-7"  
 Third Floor 0'-0"  
 Second Floor 0'-0"  
 First Floor 0'-0"  
 Top of Foundation 4'-0"  
 Top of Foundation 3'-0"

③ Front Elevation  
1/4" = 1'-0"



Top of Ridge 0'-0"  
 Top of Pine 2'-7"  
 Third Floor 0'-0"  
 Second Floor 0'-0"  
 First Floor 0'-0"  
 Top of Foundation 4'-0"  
 Top of Foundation 3'-0"

① Left Interior Lobe  
1/4" = 1'-0"



Top of Ridge 0'-0"  
 Top of Pine 2'-7"  
 Third Floor 0'-0"  
 Second Floor 0'-0"  
 First Floor 0'-0"  
 Top of Foundation 4'-0"  
 Top of Foundation 3'-0"

② Right Corner Lobe  
1/4" = 1'-0"

# PAYTON 6-PLEX

SHEET  
**A6**  
 10/18/2018

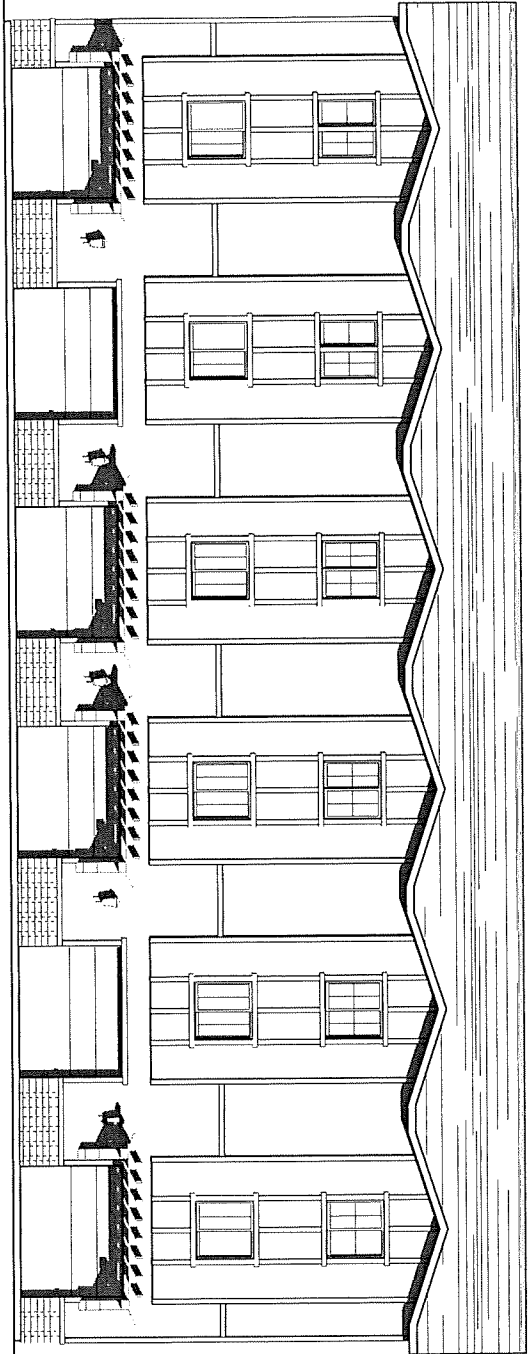
REVISIONS  
 1 08-03-18  
 2 08-03-18  
 3 08-03-18

DRAWN BY  
 SMM/ML

CHECKED BY  
 SMM/ML

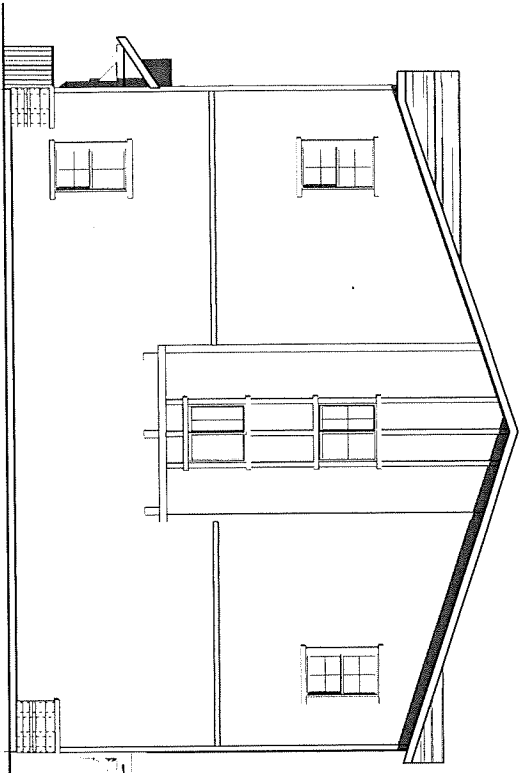
Vollkommen Construction  
 Payton 6-Plex





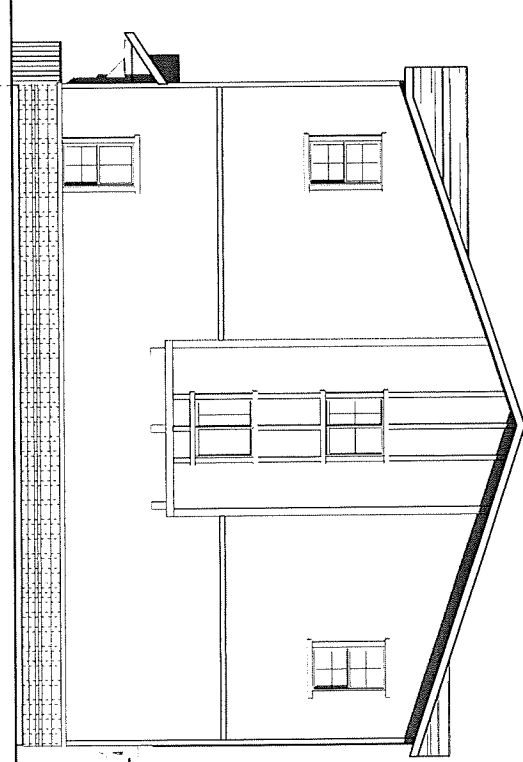
Top of Ridge  
 Top of Parapet  
 Third Floor  
 Second Floor  
 First Floor  
 Ground

2 Back Elevation  
 1/4" = 1'-0"



Top of Ridge  
 Top of Parapet  
 Third Floor  
 Second Floor  
 First Floor  
 Ground

3 Right - Interior Lot  
 1/4" = 1'-0"



Top of Ridge  
 Top of Parapet  
 Third Floor  
 Second Floor  
 First Floor  
 Ground

1 Right - Corner Lot  
 1/4" = 1'-0"

1	04-04-00
2	04-04-00
3	04-04-00

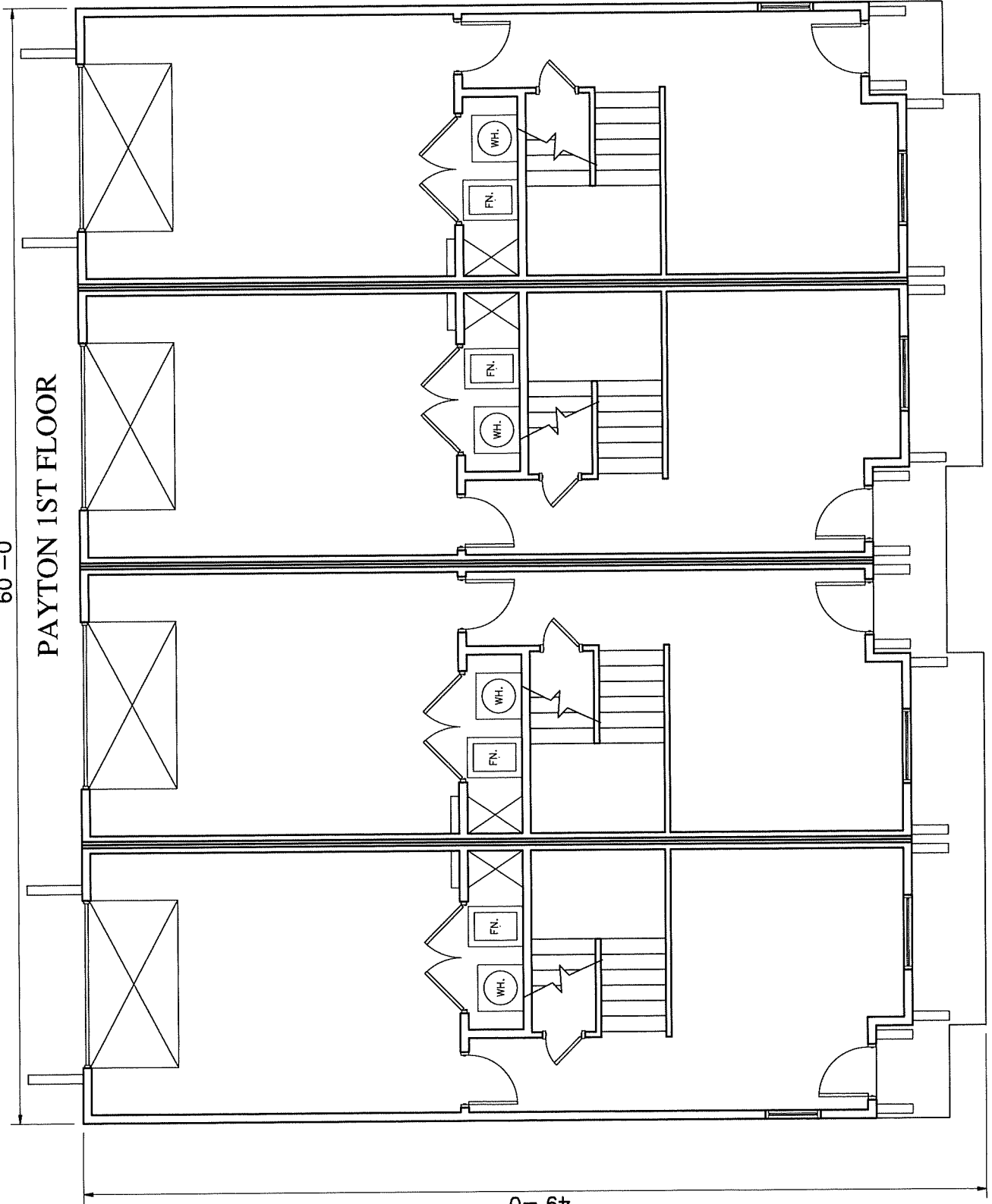
DATE	SCALE
A7	

10/18/2018
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Vollkommen Construction  
 Payton 6-Plex

60'-0"

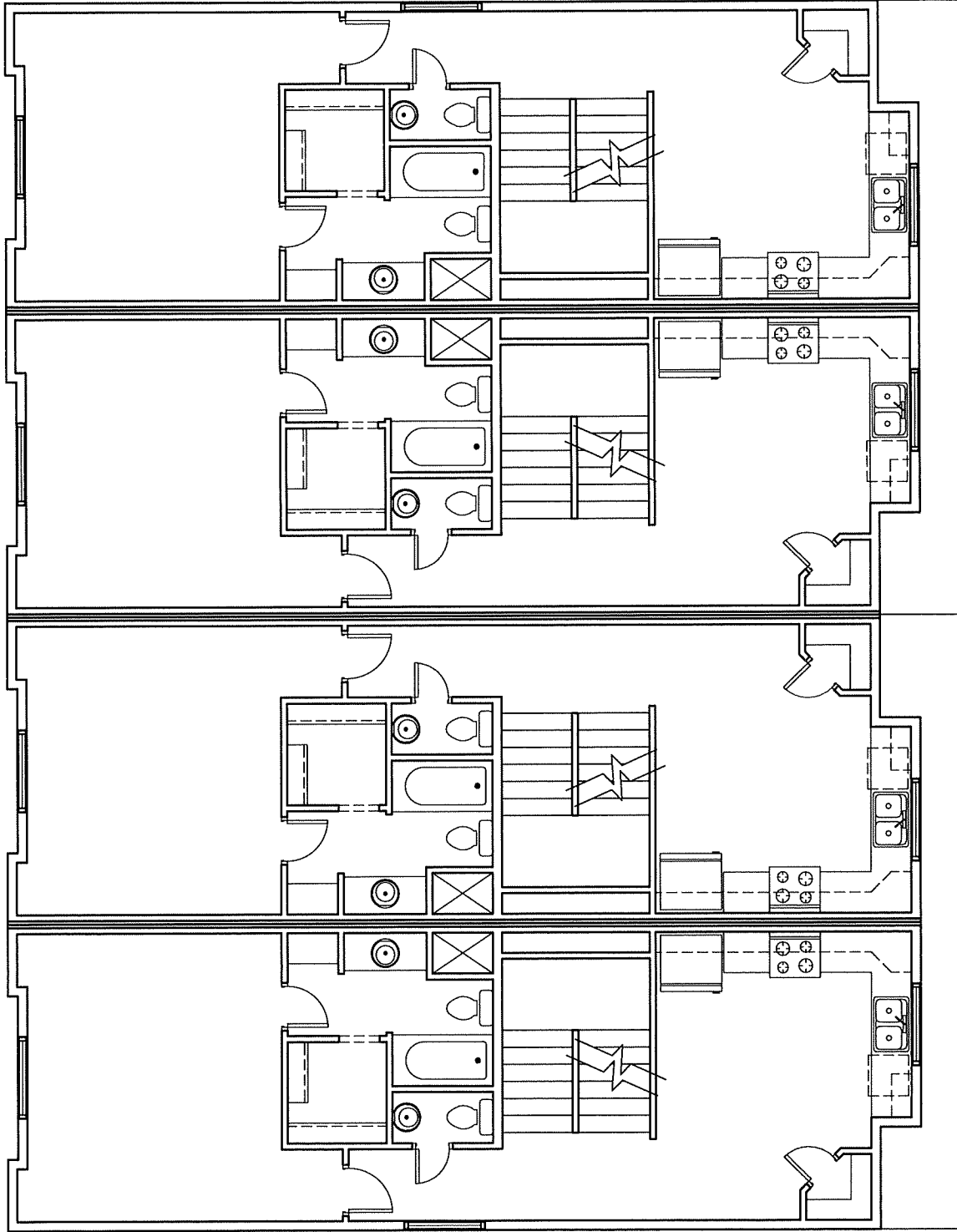
PAYTON 1ST FLOOR



49'-0"

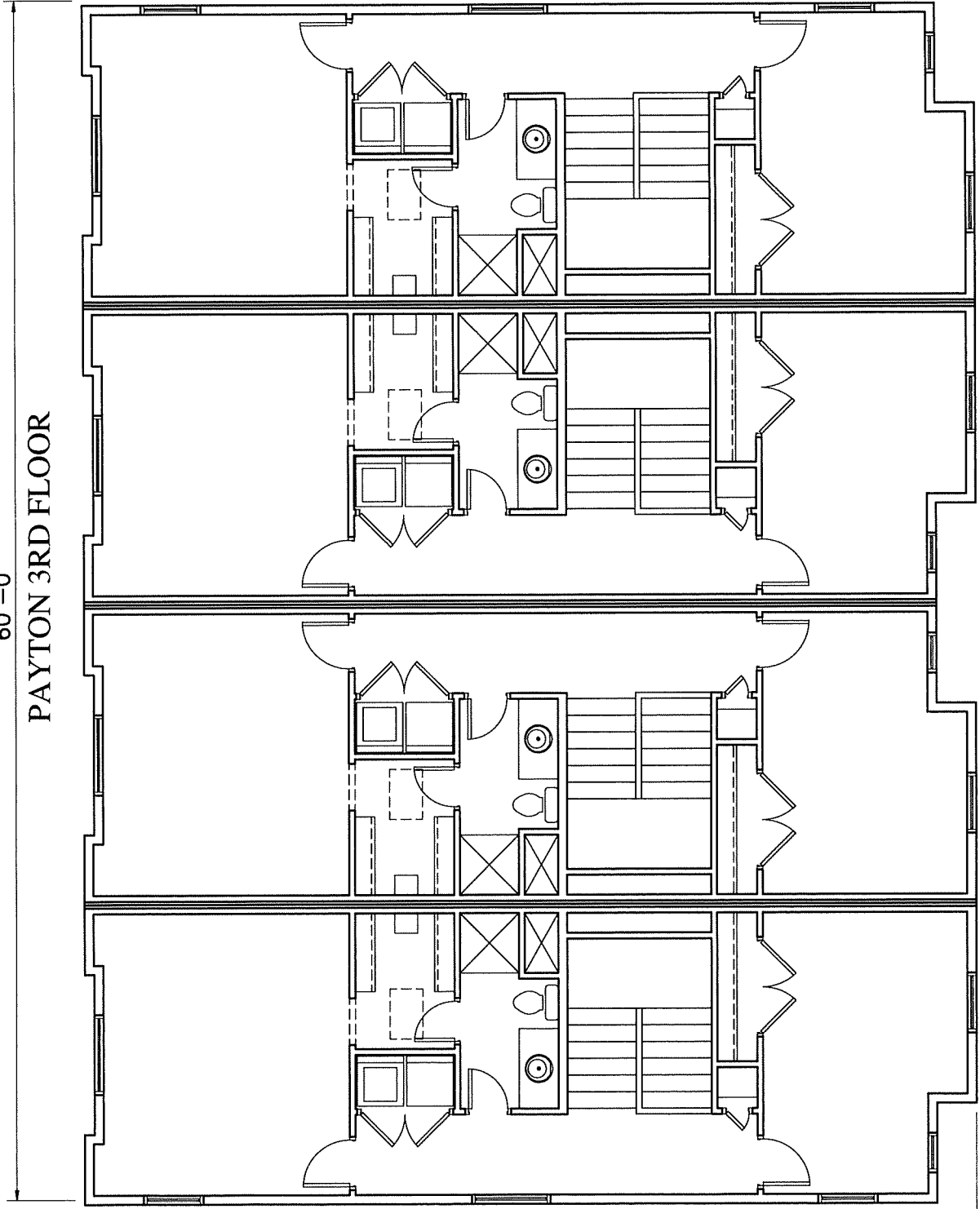
60'-0"

PAYTON 2ND FLOOR



49'-0"

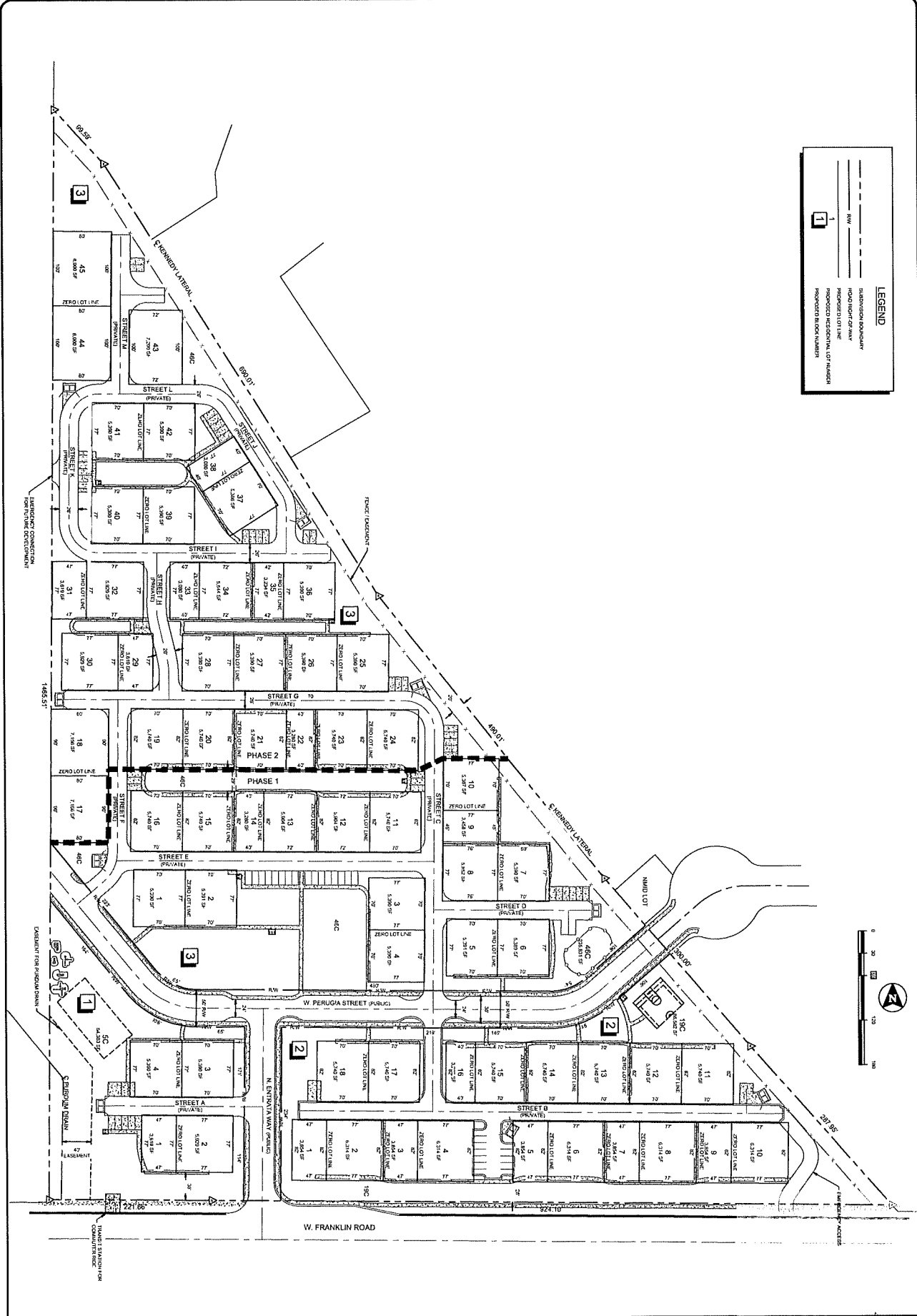
60'-0"  
PAYTON 3RD FLOOR



45'-0"

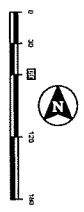






**LEGEND**

- SUBDIVISION BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- PROPOSED ACCESSION LOT NUMBER
- PROPOSED BLOCK NUMBER



ATTENTION: 1  
 IF THIS DOCUMENT IS TO BE REPRODUCED OR COPIED, THE ORIGINAL MUST BE REFERENCED AND THE DATE OF REVISION MUST BE INDICATED.  
 PROJECT: Entrata Farms Subdivision  
 SHEET: 3 OF 4

**PRELIMINARY PLAT**  
**ENTRATA FARMS SUBDIVISION**  
**LOT DIMENSIONS**

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 332 N. BROADMORE WAY  
 NAMP, IDAHO 83687-5123  
 PHONE: (208) 442-8300 FAX: (208) 416-0244  
 OFFICES ALSO IN COOKS & BURNS, IDAHO  
 MERRICK, IDAHO  
 SPOKANE, IDAHO  
 BOISE, IDAHO

REVISIONS		DATE	BY

DATE	BY	DESCRIPTION









GeoTek, Inc.  
320 East Corporate Drive Suite 300 Meridian, ID 83642-3511  
(208) 888-7010 (208) 888-7924 www.geotekusa.com

October 25, 2017  
Project No. 1905-ID3

## **LAND DEVELOPMENT PARTNERS, LLC**

4685 S. Highland Dr., Suite 202  
Salt Lake City, Utah 84117

Attention: Mr. James Doolin

Subject: **Geotechnical Evaluation** for "Franklin and Ten Mile" - a 17.7± Acre Multi-Family Residential Located West of N. Ten Mile Road and North of W. Franklin Road, Meridian, Idaho

In accordance with your request, GeoTek, Inc. (GTI) has completed a geotechnical evaluation of the subject property for the construction of a multi-family residential development and associated improvements. The purpose of our study was to evaluate the soils underlying the site and to provide recommendations for project design and construction based on our findings. This report outlines the geotechnical conditions of the site based on current data, and provides earthwork and construction recommendations with respect to those conditions.

### **SCOPE OF SERVICES**

The scope of our services has included the following:

1. Review of soils and geologic reports and maps for the site (Appendix A).
2. Site reconnaissance.
3. Review of aerial photographs.
4. Excavating and logging of five (5) exploratory test pits (Appendix B).
5. Obtaining samples of representative soils, as the exploratory test pits were advanced.
6. Performing laboratory testing on representative soil samples (Appendix D).
7. Assessment of potential geologic constraints.
8. Engineering analysis regarding foundation design/construction, foundation settlement, and site preparation.
9. Preparation of this report.

### **SITE DESCRIPTION**

The project site consists of irregularly shaped parcels totaling approximately 17.7± acres that is generally bound by W. Franklin Road to the south, the Kennedy Lateral to the north and east, and undeveloped agricultural land to the west in the City of Meridian, Ada County, Idaho (Figure 2). Access to the Site is possible from W. Franklin Road. The property is mainly undeveloped agricultural land with a single family residence with improvements and animal corrals. A roadway exists on the Site allowing access to the animal corrals, which is located in the southern section of the property. Irrigation laterals exist along the eastern border and an irrigation lateral running east to west bisects the Site. From topographic maps, the site's elevation is approximately 2,555+ to 2,570+ feet above mean sea level. Natural drainage at the Site is interpreted to be downward to the south-southwest for the southern half of the Site, and to the north on the northern section of the Site, conforming to the natural topography in the area. Due to ongoing irrigation practices, standing water was observed on the Site on the date of our reconnaissance.

### **PROPOSED DEVELOPMENT**

It is our understanding that site development would consist of performing typical cut and fill earthwork to attain the desired graded configuration(s) for the construction of multiple one to two-story residential structures. It is further assumed that final site grade will be within 3 feet of existing site grade.

### **FIELD STUDIES**

Subsurface conditions at the site were explored by using a rubber-tired backhoe. Five (5) test pits were advanced onsite. A log of each exploration is included with this report in Appendix B. Two (2) percolation tests were also performed on the subject site (Appendix C). Two (2) ground water measurement standpipe piezometers were installed onsite. Field studies were completed during October of 2017 by our field personnel who conducted field excavation location mapping, logged the excavations, and obtained samples of representative soils for laboratory testing. The approximate locations of the explorations are indicated on the enclosed Site Exploration Plan (Figure 2). The Unified Soil Classification System (USCS) Classification was used to visually classify the onsite soils during the field evaluation.

### **REGIONAL GEOLOGY**

The subject site is situated within the western portion of the Boise River Valley, which comprises the northwestern portion of the Snake River Plain physiographic province. The western portion of the Snake River Plain is aligned in a northwest-southeast direction and generally divides the Owyhee mountains to the south from the Central Idaho mountains toward the north (Wood and Clemens, 2004). The headwaters of the Boise River are located in the Central Idaho mountains east of Boise, Idaho. The river leaves the central mountains and enters the Snake River Plain near Barber and drains toward the west into the Snake River near Parma. The Owyhee mountains and the Central Idaho

Mountains are composed predominantly of volcanic and igneous rocks. The western portion of the Snake River Plain is a northwest trending complex graben formed by extension and regional uplift along the northern boundary of the basin and range province (Wood and Clemens, 2004). The graben generally forms a basin which has been partially filled with younger sedimentary and volcanic rocks (Malde, 1991).

The Boise River Valley is bounded on the northeast by the Boise Front, which is a northwest trending topographic high extending generally from Boise to Emmett, Idaho. The Boise Front consists of Cretaceous aged granitic and metamorphic rocks cut by Tertiary aged rhyolite and overlain with Miocene aged lake sediments (Wood and Clemens, 2004). These units have been cut by northwest trending faults which down drop these units toward the southwest. The faults also provide conduits for Quaternary aged basalt intrusions and flows (Malde, 1991).

The depositional environment for the valley floor is dominantly lake laid deposits of sand, silt and clay. These materials were deposited during two periods of lake activity, one during the Miocene and the other during the Pleistocene. This valley infilling process has been subsequently truncated by down faulting within the valley ranging in height from a few feet to over 50 feet. Younger alluvium has been, and continues to be, transported dominantly by water and deposited on the basins gently sloping valley floor and within low-level flood plains. Portions of the alluvial deposits are being down cut by intermittent streams to the flood plain, and as a result stream terraces are being formed.

## **SITE SOILS**

### **Artificial Fill**

Based on our field studies, some spread fills were observed along the perimeter of the site and near the interior roadway and agricultural structures. This fill is generally associated with the construction of the roadway and nearby residential developments. This spread fill shall be considered artificial fill. The majority of the property has been cultivated for agricultural use, the upper 12 inches of material has been disturbed and consists of a sandy silt with a moderate amount of organics and roots, this shall be considered artificial fill. Deeper fills may be encountered onsite. The "Artificial Fills" are soft and contain organics/roots and are not considered suitable for support of foundations. All artificial fill material should be removed as described in the "Removals" section of this report.

### **Native Alluvial Soils**

Alluvial soils encountered generally consisted of surficial layers of sandy silt and silt underlain by poorly graded sand and silts with varying amounts of sand content. The moisture content within the alluvial materials was generally slightly moist to moist near surface and moist to saturated at depth. The consistency of these soils ranged from soft to firm near surface and medium dense to dense/stiff at depth. We anticipate that the onsite soils can be excavated with conventional earthwork equipment. Thin partially cemented lenses of soils were encountered in one of our excavations; however, we anticipate that the onsite soils can be excavated with conventional earthwork equipment equivalent to CAT D9R dozers and CAT 235 excavators. Special excavation equipment and techniques may be necessary dependent upon if harder materials are encountered during construction.

After artificial fill is removed, the upper 12 inches of the alluvium will require, at a minimum, some removal and/or processing efforts to be considered suitable for the support of the proposed site improvements. Locally deeper processing/removals may be necessary. Refer to the "Recommendations Earthwork Construction" section of this report for specific site preparation recommendations.

### **SURFACE & GROUND WATER**

Ground water was encountered during our field investigation at a depth of 3.8' and 13.2' below existing ground surface in the northern portion of the property. Irrigation ditches exist adjacent to the site and they transmit water on a periodic basis. Generally, irrigation ditches and canals will locally influence ground water during the irrigation season (i.e., May through October). If encountered, wet materials should be spread out and air-dried or mixed with drier soils to reduce their moisture content as appropriate for fill placement. Ground water is not anticipated to adversely affect planned development, provided that earthwork construction methods comply with recommendations contained in this report or those made subsequent to review of the improvement plan(s). GTI assumes that the design civil engineer of record will evaluate the site for potential flooding and set grades such that the improvements are adequately protected. These observations reflect conditions at the time of this investigation and do not preclude changes in local ground water conditions in the future from natural causes, damaged structures (lines, pipes etc.), or heavy irrigation. The groundwater monitoring results obtained are depicted in a table format in Appendix C and in a location map is presented in Figure 2.

### **TECTONIC FAULTING AND REGIONAL SEISMICITY**

The site is situated in an area of active as well as potentially active tectonic faults, however no faults were observed during our field evaluation. There are a number of faults in the regional area, which are considered active and would have an affect on the site in the form of ground shaking, should they be the source of an earthquake. It is reasonable to assume that structures built in this area will be subject to at least one seismic event during their life, therefore, it is recommended that all structures be designed and constructed in accordance with the International Building Code (IBC). Based on our experience in the general vicinity, references in our library, field evaluation of the site, a Seismic Design Site Class Designation of 'D' may be used for seismic design.

#### **Secondary Seismic Constraints**

The following list includes other potential seismic related hazards that have been evaluated with respect to the site, but in our opinion, the potential for these seismically related constraints to affect the site is considered negligible.

- \* Liquefaction
- \* Dynamic Settlements
- \* Surface Fault Rupture
- \* Ground Lurching or Shallow Ground Rupture

**Summary:**

It is important to keep in perspective that if a seismic event were to occur on any major fault, intense ground shaking could be induced to this general area. Potential damage to any settlement sensitive structures would likely be greatest from the vibrations and impelling force caused by the inertia of the structures mass than that created from secondary seismic constraints. Considering the subsurface soil conditions and local seismicity, it is estimated that the site has a low risk associated with the potential for these phenomenon to occur and adversely affect surface improvements. These potential risks are no greater at this site than they are for other structures and improvements developed on the alluvial materials in this vicinity.

**RESULTS OF LABORATORY TESTING**

Laboratory tests were performed on representative samples of the onsite earth materials in order to evaluate their physical and chemical characteristics. The tests performed and the results obtained are presented in Appendix D.

**CONCLUSIONS**

Based on our field exploration, laboratory testing and engineering analyses, it is our opinion that the subject site is suited for development from a geotechnical engineering viewpoint. The recommendations presented herein should be incorporated into the final design, grading, and construction phases of development. The engineering analyses performed concerning site preparation and the recommendations presented below, have been completed using the information provided to us regarding site development. In the event that the information concerning proposed development is not correct, the conclusion and recommendations contained in this report shall not be considered valid unless the changes are reviewed and conclusions of this report are modified or approved in writing by this office.

**RECOMMENDATIONS - EARTHWORK CONSTRUCTION**

**General**

All grading should conform to the International Building Code (IBC) and the requirements of the City of Meridian and/or Ada County except where specifically superseded in the text of this report. During earthwork construction, all removals, drain systems, slopes, and the general grading procedures of the contractor should be observed and the fill selectively tested.

Based on the classification of the site soils encountered, we recommend that site construction be undertaken during the dry weather seasons. If grading is undertaken during the wet periods of the year, pumping and rutting of the site soils is anticipated. If pumping and rutting conditions occur, and loose saturated disturbed areas are created, the soils shall be removed to undisturbed soil or be replaced/recompacted to structural fill requirements. If further soil stabilization techniques are required during future grading activities, GTI can provide further recommendations at that time. If unusual or unexpected conditions are exposed in the field, they should be reviewed by this office and

Private Street Maintenance Agreement

The undersigned, being owners of real property as set forth on the Attached Exhibit \_\_\_\_ on which property is an existing private streets for Entrata Farms Subdivision, Meridian, Ada County, Idaho, in consideration of the following agreements herein contained, agree as follows:

Any of the undersigned shall be permitted to do any and all maintenance or improvements that such person deems acceptable to said road and at any reasonable time.

The person or persons performing the maintenance or improvements shall provide all equipment, labor, and materials required for the maintenance and improvements to the road that such person deems appropriate and at the sole expense of the person performing said work.

The person performing such maintenance or making the improvements shall be solely responsible for the cost of such maintenance or improvements and agrees to timely pay all expenses associate therewith and to hold the other owners or users to this agreement harmless from any mechanic's or labor liens or encumbrances as a result of said improvements or maintenance.

Any alterations, improvements or maintenance performed on the road shall result in road being in at least as good a condition when completed as when the work was commenced.

No party to this agreement has the right or authority to bind any other party to this agreement to nay expense for such maintenance without such party's written consent.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_



NO.	DATE	DESCRIPTION
1	12/20/19	PRELIMINARY
2	01/15/20	REVISED
3	02/28/20	REVISED
4	03/10/20	REVISED
5	03/25/20	REVISED
6	04/10/20	REVISED
7	04/25/20	REVISED
8	05/10/20	REVISED
9	05/25/20	REVISED
10	06/10/20	REVISED
11	06/25/20	REVISED
12	07/10/20	REVISED
13	07/25/20	REVISED
14	08/10/20	REVISED
15	08/25/20	REVISED
16	09/10/20	REVISED
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98	02/10/24	REVISED
99	02/25/24	REVISED
100	03/10/24	REVISED

T.O. ENGINEERS  
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 2411 S. TITANUM PLACE  
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 SAN DIEGO, CA  
 SAN ANTONIO, TX  
 HOUSTON, TX  
 AUSTIN, TX  
 DALLAS, TX  
 DENVER, CO  
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 BOSTON, MA  
 NEW YORK, NY  
 PHILADELPHIA, PA  
 WASHINGTON FIELD OFFICE  
 1100 K STREET, N.W.  
 WASHINGTON, DC 20004

PRELIMINARY PLANT LANDSCAPE PLAN FOR:  
 ENTRATA FARMS SUBDIVISION  
 COVER SHEET

DATE:	05/10/2024
PROJECT:	ENTRATA FARMS SUBDIVISION
SCALE:	AS SHOWN
PROJECT NO.:	2024-001
DATE:	05/10/2024
PROJECT:	ENTRATA FARMS SUBDIVISION
SCALE:	AS SHOWN
PROJECT NO.:	2024-001

**MASTER PLANTING SCHEDULE**

Key	Common Name	Botanical Name	Measure Size (HxW)	Min. Spacing Size	Water Zone (0-4)	Class Height
1	CHANTICLEER FLOWERING PEAR	<i>Pyrus calleryana</i> 'Chanticleer'	25X20	2' cal.	3	17' / I
2	GREEN MOUNTAIN SUGAR MAPLE	<i>Acer saccharum</i> 'Green Mountain'	50X50	2' cal.	3	II
3	PRINCESS DIANA SERVICEBERRY	<i>Amelanchier x grandiflora</i> 'Princess Diana'	20X18	2' cal.	3	I
4	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos</i> var. 'Inermis Skyline'	40X35	2' cal.	1	II
5	KARL FUCHS CEDAR	<i>Cedrus deodora</i> 'Karl Fuchs'	15X5	6'-7" H	3	EVERGREEN
6	VANDERWOLF PINE	<i>Pinus taeda</i> 'Vanderwolf's Pyramid'	25X15	6'-7" H	3	EVERGREEN
7	EMERALD GREEN ARBORVITAE	<i>Thuja occidentalis</i> 'Emerald'	15X4	6'-7" H	3	EVERGREEN
8	DWARF ENGLISH BOXWOOD OR 'GREEN MOUNTAIN BOXWOOD'	<i>Buxus sempervirens</i> 'Suffruticosa' or <i>Buxus x 'Green Mountain'</i>	4X3	2-3 gal.	2	EVERGREEN
9	BRANDYWINE VIBURNUM OR SNOWMOUND SPIREA	<i>Viburnum nudum</i> 'Balk' or <i>Spiraea nipponica</i> 'Snowmound'	6X8	2-3 gal.	2	SHRUB
10	GREEN MOUND CURRENT OR LIMBING SPIREA	<i>Rhus glabra</i> 'Green Mound' or <i>Spiraea bumalda</i> 'Mound'	3X4	2-3 gal.	2	SHRUB
11	GRO LO SUMAC OR CORAL BEAUTY COTONEASTER	<i>Rhus typhina</i> 'Coral' or <i>Cotoneaster coccineus</i> 'Coral Beauty'	2X6	2-3 gal.	1	SHRUB
12	FLOWERCARPET PINK ROSE OR PINK BEAUTY POTENTILLA	<i>Rosa x 'NOVAZORBIS'</i> or <i>Potentilla fruticosa</i> 'Umbra' or 'Pink Beauty'	3X3	2-3 gal.	2	SHRUB
13	HIDCOTE SUPERBERRY OR HONEYSPUR LANGSEDER	<i>Lonicera sargentiana</i> 'Hidcote Superberry' or <i>Hamamelis x 'Langseder'</i>	1.5X1.5	1 gal.	1	SEMI DECIDUOUS PERENNIAL
14	HAMELI DWARF FOUNTAIN SPYRUS	<i>Pennisetum glaberrimum</i> 'Hamel Dwarf Fountain Spyrus'	2.5X2	1 gal.	1	GRASS
15	KARL FUCHS WEATHER REED GRASS	<i>Calamagrostis canadensis</i> 'Karl Fuchs Weather Reeder'	4X2	1 gal.	1	GRASS

NOTE: ALL PLANTS SHALL BE SUPPLIED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE SUPPLIED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE. ALL PLANTS SHALL BE SUPPLIED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE. ALL PLANTS SHALL BE SUPPLIED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE. ALL PLANTS SHALL BE SUPPLIED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE.

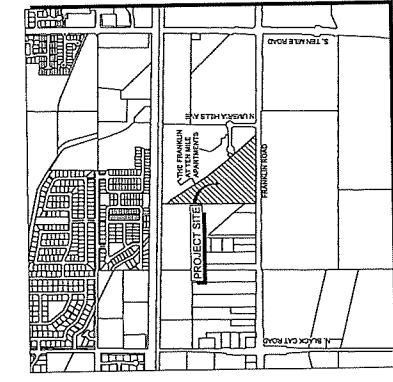
- by Landscape Architect. Unapproved plant substitutes will be replaced at Contractor's expense.
- Trees shall not be placed within the 10' clear zone of all ACHD (San Joaquin Highway) storm drain pipe, structures, or facilities.
  - Trees shall not be planted within other vision triangles.
  - No trees shall be placed within 50' of stop sign.
  - Seepage beds must be protected from any area and contamination during the construction and installation of the landscape irrigation system.
  - All plant material shall be guaranteed for a period of 30 days after installation. If any plant material is found to be dead or unhealthy plant material immediately with same type and size at no cost to the Owner.
  - All landscape shall be irrigated with an automatic irrigation system operated by one controller, and designed with hydro-zones that function well within the water service provided for healthy growth of plant material. Year-round pressure irrigation system is required.
  - The irrigation system shall be designed and installed with the following specifications:
    - Coverage for different hydro-zones:
      - Lawns - Pop-up rotor sprinklers or MP rotor sprinklers with 100% double coverage.
      - Planting Beds - Drip Irrigation
    - Sprinkler heads shall have matched precipitation rates within each central valve circuit.
    - Separate hydro-zones shall be used for lawns and trees/shrub/ground cover areas.
    - Sprinklers shall not overwater onto impervious surfaces, building or structures in calm wind conditions.
  - Contractor shall submit shop drawings of design/build irrigation system and/or any materials or product substitute to Owner's Representative for approval prior to installation. Contractor shall provide all necessary materials, labor, and equipment for the installation of the irrigation system, including but not limited to: valves, locators, and supply line size and location.
  - Irrigation Contractor to coordinate with General Contractor for all shoves that need to be installed to allow efficient irrigation piping.
  - Irrigation controllers shall be installed mounted in planting beds within a lockable, exterior rated box. Controller locations shall be easily accessible, but visibly discrete.
- LANDSCAPE NOTES:**
- All excavator work shall be conducted in accordance with ISPMVC (Idaho Standard Public Works Construction), 2013, and City of Meridian, ID codes, standards and state and local regulations.
  - All structures, site improvements and underground utilities shall be located prior to construction and protected. Call Digline (811) to locate underground utilities. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
  - Coordinate with civil engineering drawings for paving, utilities and grading information.
  - Prepare site for planting by grubbing and replacing weeds. If necessary, remove topsoil (minimum 4" depth) and replace with a certified topsoil. Remove rocks and other materials over 3".
  - All lawn areas shall have min 1" of topsoil and fill (top 10" of topsoil with 5% organic material, top 1" of topsoil with 5% to 7% a minimum of 5% organic material, top of slopes 1 inch or larger or any other extensive material). It is acceptable to salvage and store native soils on site. Any fill material intended to meet this report shall be approved by the Engineer.
  - Work is to be done between the months of March to May, then receiving grass sod, prior to planting.
  - Berms and grading as shown on plans shall have gradual transitions to existing or engineer prepared grades. Grading shall not change flow or direction of surface drainage swales as shown on Engineer's plans. Grading shall be approved by the Engineer. Erosion control measures shall be installed as shown on Engineer's plans.
  - Surface water shall be contained within each lot unless otherwise approved by approved engineering plans.
  - Contractor shall be responsible for all quantity estimates.
  - Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
  - Lay sod within 24 hours of receiving. Lay sod to form a solid mass with tightly fitted joints and even grades.
  - Contractor responsible for keeping landscaped areas clean. Remove all debris, spots and trash from site for disposal at approved landfill or waste disposal site.
  - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
  - Initial only specified plants. Plant substitutes must be approved

**TABLE OF CONTENTS**

SHEET NUMBER	SHEET NAME
L1	LANDSCAPE COVER SHEET
L2	EXISTING CONDITIONS & MITIGATION
L2.1	LANDSCAPE MATERIALS PLAN
L3	PLANTING PLAN
L3.1	TYPICAL MULTIFAMILY UNIT PLANTING PLAN
L3.2	TYPICAL MULTIFAMILY UNIT PLANTING PLAN
L4	LANDSCAPE DETAILS

**LANDSCAPE CALCULATIONS**

Street Buffer: N. Franklin Way, 25' Landscape Buffer; 1002 L.F. of Hardscape on an 8' x 10' minimum inset. 31 Total Trees Shown. (31 Required, 1 per 25' L.F.)
Street Buffer: Traill Blvd, N. Franklin Rd., 21 trees shown, with a mix of 4 species. (31 trees required with a minimum 4 species).
Total for Submittal: Traill Blvd, N. Franklin Rd., 21 trees shown, with a mix of 4 species. (31 trees required with 50 or more trees)
Tree Mitigation: 113' total, existing caliper removed mitigated with 113' caliper within Typical Multifamily Landscapes. (31 trees @ 2' tree cal.)
Common Open Space Trees: 40 deciduous shade trees provided. (40 trees @ 8' x 10' @ 1" @ 2" deciduous shade trees required)
Common Open Space Acacia: 4.4 acres
Residential Subdivision Trees (Typical Multifamily Landscapes): 113 trees



VICINITY MAP  
 SCALE: 1"=1000'



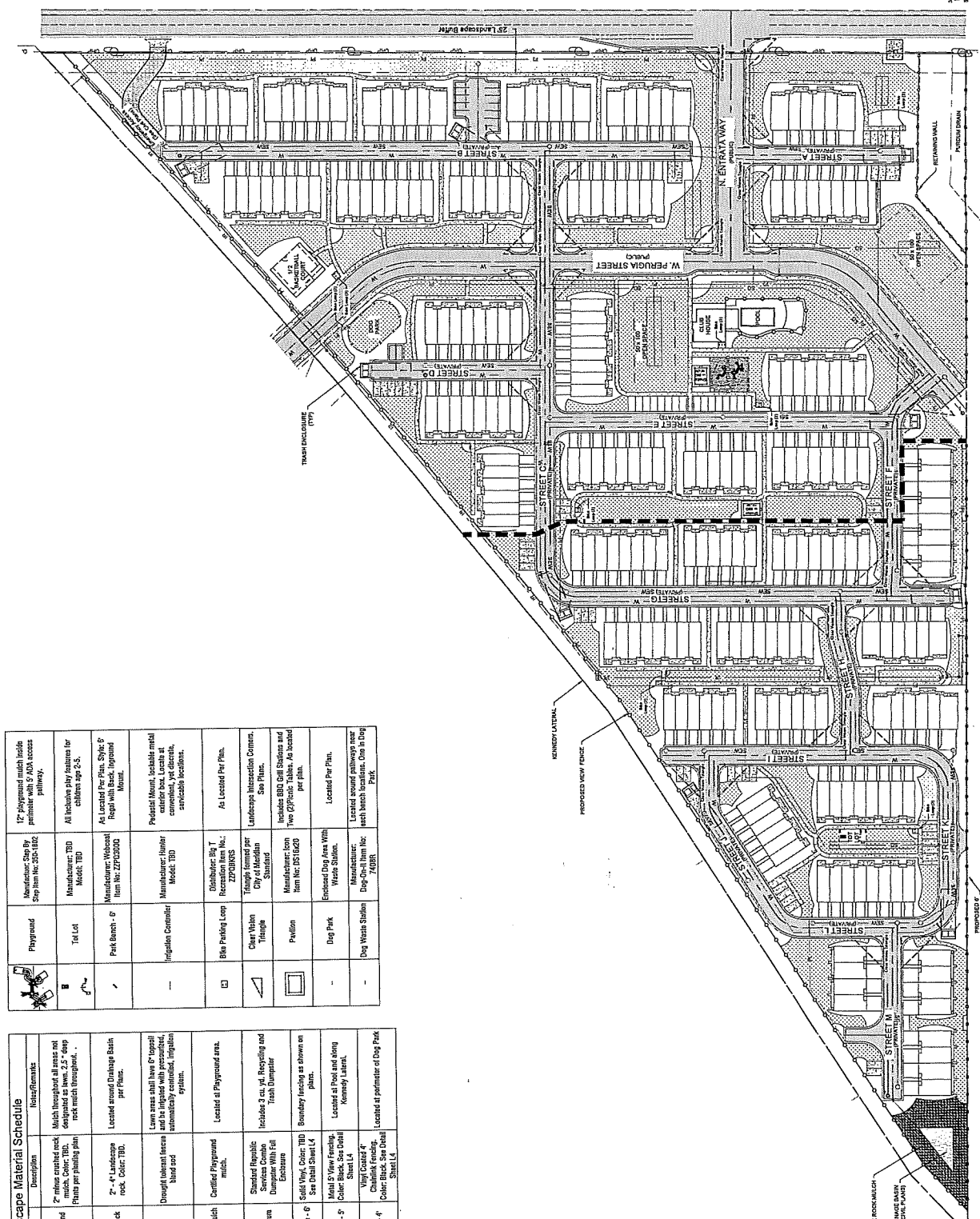
REVISED	DATE	BY	APPROVED

T-O ENGINEERS  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MIDDLEBURY, IOWA 52052-2173  
 PHONE: (319) 232-2154  
 FAX: (319) 232-2155  
 WWW.T-OENGINEERS.COM  
 800.258.0840

# ENTRATA FARMS SUBDIVISION

## PRELIMINARY PLAT LANDSCAPE PLAN FOR MATERIALS PLAN

SHEET 121 OF 170  
 DATE: OCTOBER 24, 2021  
 PROJECT: ENTRATA FARMS SUBDIVISION  
 100% PRELIMINARY  
 NOT FOR CONSTRUCTION  
 ANY CHANGES MUST BE MADE BY THE CLIENT AND NOTIFIED TO THE ENGINEER



Playground	Manufacturer: Ship By Ship Item No. ZP01802	Description
[Symbol]	Manufacturer: TBD Model: TBD	12' playground much inside perimeter with 5' ADA access pathway.
[Symbol]	Manufacturer: TBD Model: TBD	All inclusive play features for children age 0-5.
[Symbol]	Manufacturer: Woburn Item No. ZP03000	A1 Located Per Plan, Ship & Reput with equipment Mount.
[Symbol]	Manufacturer: Woburn Model: TBD	Pedest Mount, include metal structure, picnic table, bench, water fountain, and other amenities at suitable locations.
[Symbol]	Distributor: B&T ZP01802	A1 Located Per Plan. Landscape Interpretation Center.
[Symbol]	Manufacturer: B&T Item No. ZP01802	Triangle formed per City of Middleburg Standard
[Symbol]	Manufacturer: Icon Item No. DS1620	Includes B&T Grill Stations and New 60" x 60" table. No mounted per plan.
[Symbol]	Enclosed Dog Area With Waste Station	Located Per Plan.
[Symbol]	Manufacturer: Dog-On-It Item No. 740BR	Located around perimeter of each bench location. One in Dog Park.

Key	Description	Notes/Remarks
[Symbol]	Planting	2' minimum circular rock mulch throughout all areas not depicted as lawn. 2.5' deep rock mulch throughout.
[Symbol]	Landscaping	2-4' Landscape rock. Color: TBD.
[Symbol]	Lawn Area	Downspout located beneath stormwater system. Located at perimeter of Dog Park.
[Symbol]	Playground	Located at Playground area.
[Symbol]	Trash Enclosure	Includes 3 cu. yd. Recycling and Trash Dumpster.
[Symbol]	Privacy Fence - 6'	6' Solid Wood. Color: TBD. See Detail Sheet L4.
[Symbol]	New Fence - 5'	Wood or Vinyl. See Detail Sheet L4.
[Symbol]	Chainlink - 4'	4' Vinyl Coated. See Detail Sheet L4.

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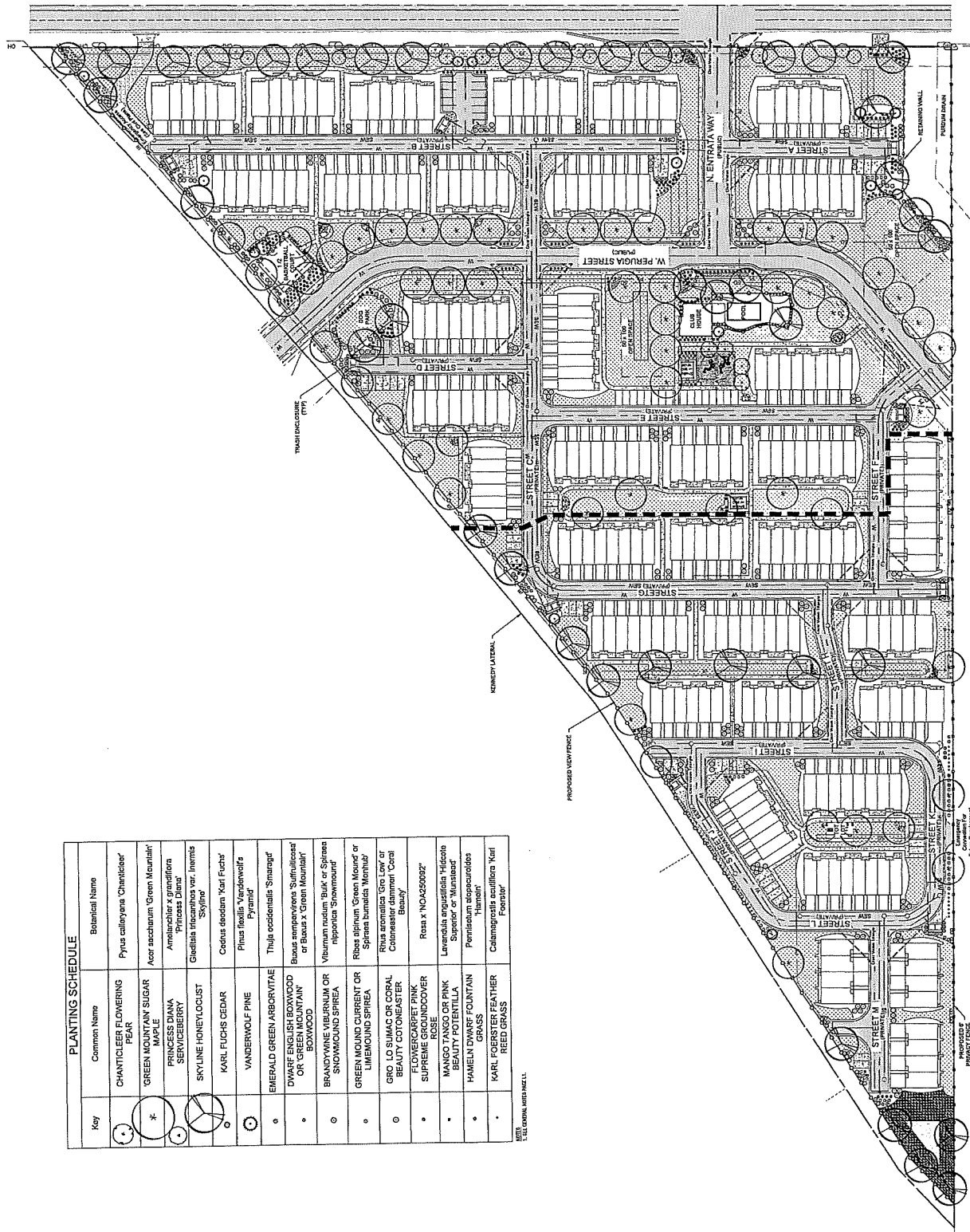
**PRELIMINARY PLANT LANDSCAPE PLAN FOR:  
 ENTRATA FARMS SUBDIVISION  
 PLANTING PLAN**

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM PLACE  
 MENDOTA, ILLINOIS 60130  
 PHONE: (630) 232-1234  
 FAX: (630) 232-1234  
 COOPER & ALLEN, DVM  
 HENRIK, DVM  
 BOISE, DVM



NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMITS		
2	REVISED		
3	REVISED		
4	REVISED		
5	REVISED		
6	REVISED		
7	REVISED		
8	REVISED		
9	REVISED		
10	REVISED		

Key	Common Name	Botanical Name
○	CHANTICLEER FLOWERING PEAR	<i>Pyrus calleryana 'Chanticleer'</i>
*○	GREEN MOUNTAIN SUGAR MAPLE	<i>Acer saccharum 'Green Mountain'</i>
○	PRINCESS DIANA SERVICEBERRY	<i>Amelanchier x grandiflora 'Princess Diana'</i>
○	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos var. Inermis 'Skyline'</i>
○	KARL FUCHS CEDAR	<i>Cedrus deodara 'Karl Fuchs'</i>
○	VANDERWOLF PINE	<i>Pinus feealis 'Vanderwolf's Pyramid'</i>
○	EMERALD GREEN ARBORVITAE	<i>Thuja occidentalis 'Smaragd'</i>
○	DWARF ENGLISH BOXWOOD OR 'GREEN MOUNTAIN' BOXWOOD	<i>Buxus sempervirens 'Suffruticosa' or Buxus x 'Green Mountain'</i>
○	BRANDYWINE VIBURNUM OR SNOWGLOBE SPIREA	<i>Viburnum nudum 'Bull' or Spiraea nipponica 'Snowmound'</i>
○	GREEN MOUND CURRENT OR LIMBOLD SPIREA	<i>Ribes alpinum 'Green Mound' or Spiraea limboldii 'Hortus'</i>
○	GRO LO SIMAC OR CORAL BEAUTY COTONEASTER	<i>Rosa aromatica 'Gro Lo' or Cotoneaster 'Coral Beauty'</i>
○	FLOWERCABRET PINK SUPREME GROUNDCOVER ROSE	<i>Rosa x 'NOA280002'</i>
*	MANGO TANGO OR PINK BEAUTY POTENTILLA	<i>Lampyris ternstroemia 'Tango' or Potentilla 'Pink Beauty'</i>
○	HAMELTON POUNTAIN GRASS	<i>Pennisetum setaceum 'Hampden'</i>
*	KARL FUCHS FEATHER REED GRASS	<i>Colymbopoda scalliana 'Karl Fuchs'</i>





REVISIONS	DATE	DESCRIPTION
1		
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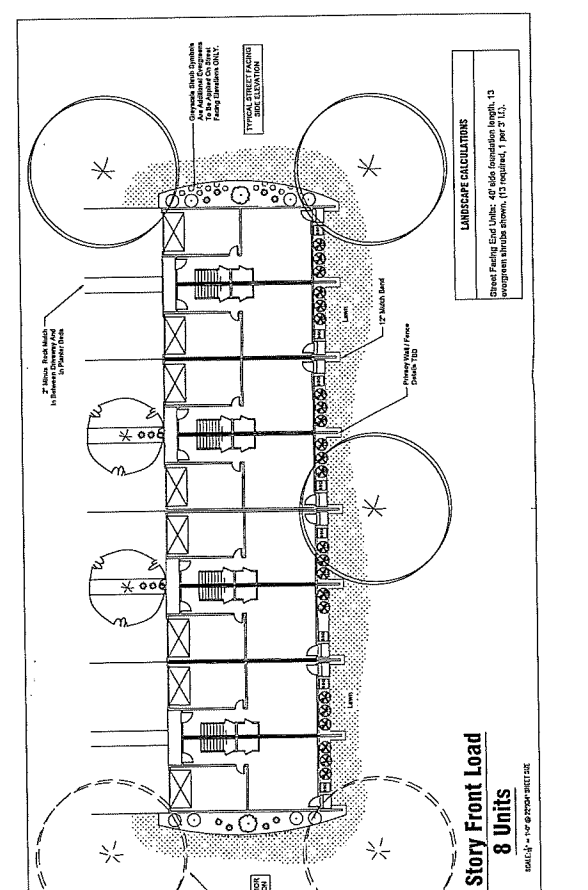
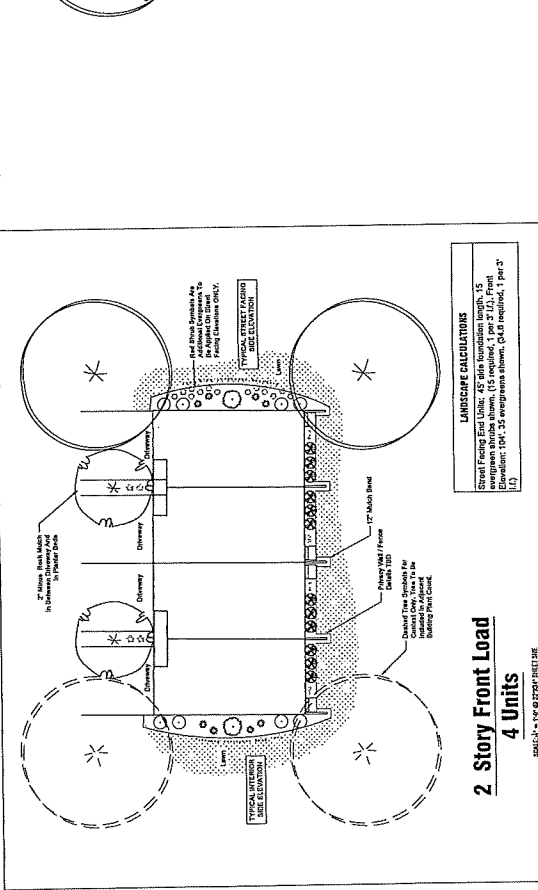
**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANUM ROAD  
 ANN ARBOR, MI 48106  
 PHONE: (734) 333-2343  
 FAX: (734) 333-2344  
 ROSE (248) 852-1000  
 ROSE (248) 852-1000

PRELIMINARY PLAT LANDSCAPE PLAN FOR:  
**ENTRATA FARMS SUBDIVISION**  
 TYP MULTIFAMILY BLDG PLANTING PLANS

ATTENTION:  
 THIS PLAN IS A PRELIMINARY PLANTING PLAN AND IS NOT TO BE USED FOR CONSTRUCTION.  
 DATE: OCTOBER 24, 2018  
 PROJECT: TYP  
 SHEET 13.2 OF 7

**MULTIFAMILY UNIT TYPICAL PLANTING SCHEDULE**

Key	Common Name	Description	Min. Planting Size
+	GREEN MOUNTAIN MAPLE	Class III	2" cal.
+	JAPANESE LILAC TREE	Class I	2" cal.
+	CHANTICLEER FLOWERING PEAR	Class I	2" cal.
+	BLOODY OR SINKY DELIGHT EUCONYMIUS	Evergreen Shrub	2-3 gal.
+	DWARF ENGLISH BOXWOOD OR GREEN MOUNTAIN BOXWOOD	Evergreen Shrub	2-3 gal.
+	BRANDYWINE VIRGINIUM OR SNOWMOUND SPIREA	Deciduous Shrub	2-3 gal.
+	CHARLES JOLY OR LUDWIG SPAETH LILAC	Deciduous Shrub	2-3 gal.
+	GREEN MOUND CURRANT OR LIME MOUND SPIREA	Deciduous Shrub	2-3 gal.
+	FLOWER CARPET PINK ROSE	Deciduous Shrub	2-3 gal.
+	MANGO TANGO OR PINK BEAUTY POTENTILLA	Deciduous Shrub	2-3 gal.
+	KARL FOERSTER FEATHER REED GRASS	Ornamental Grass	2-3 gal.

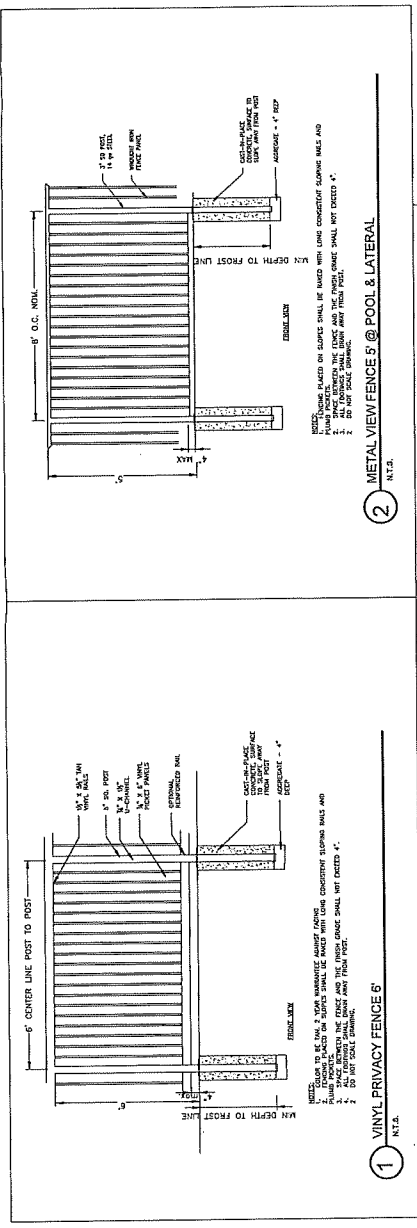
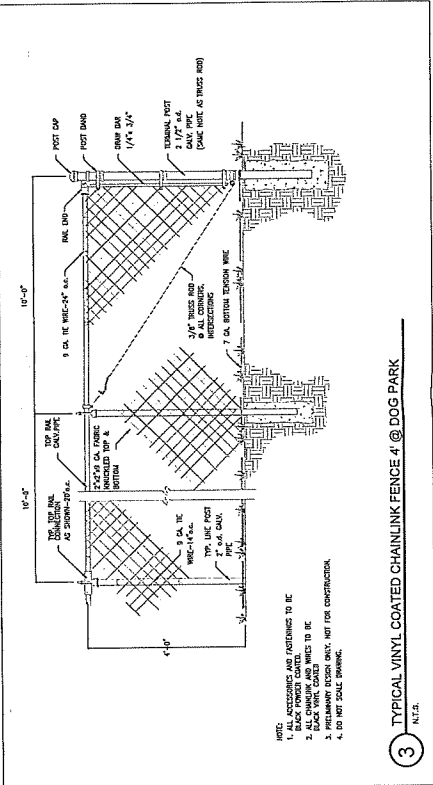


PRELIMINARY PLAT LANDSCAPE PLAN FOR:  
**ENTRATA FARMS SUBDIVISION**  
 DETAILS

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2474 S. TITANUM PLACE  
 MERRILL, IDAHO 83402  
 PHONE: (208) 333-3338  
 FAX: (208) 333-3338  
 OFFICES ALSO IN:  
 BOISE, IDAHO  
 SPOKANE, WA  
 COEUR D'ALENE, IDAHO

NO.	REVISIONS	DATE

DATE: 02/14/2018  
 DRAWN BY: J. CAMPBELL  
 CHECKED BY: J. CAMPBELL  
 APPROVED BY: J. CAMPBELL





kent brown <kentlkb@gmail.com>

**Entrata Farms**

3 messages

**Joe Bongiorno** <jbongiorno@meridiancity.org>  
To: "kentlkb@gmail.com" <kentlkb@gmail.com>  
Cc: Sonya Allen <sallen@meridiancity.org>

Wed, Oct 31, 2018 at 9:10 AM

Kent – thanks for meeting with me yesterday. I am in agreement that private streets will be required for ease of addressing the complex.

Also – I would like to see the east emergency access on the front road moved in and tied into one of the parking areas. Knock over bollards will be required.

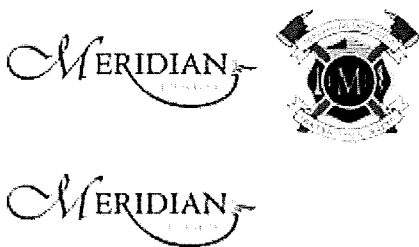
**Joe Bongiorno CFI, CFEI**

**Deputy Chief – Fire Marshal**

Meridian Fire

33 E. Broadway Ave., Ste. 210, Meridian, ID 83642

(Direct) 208-489-0458 (Cell) 208-936-9554



***Dedication-Loyalty-Tradition***

*All e-mail messages sent to or received by City of Meridian e-mail accounts are subject to the Idaho law, in regards to both release and retention, and may be released upon request, unless exempt from disclosure by law.*

**image002.png**  
39K



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**Sonya Allen** <sallen@meridiacity.org>  
To: "kentlkb@gmail.com" <kentlkb@gmail.com>  
Cc: Joe Bongiorno <jbongiorno@meridiacity.org>

Wed, Oct 31, 2018 at 10:16 AM

Kent,

Please make the revision Joe requested and print a copy of his email and submit with your application.

Thanks,

Sonya

---

**From:** Joe Bongiorno  
**Sent:** Wednesday, October 31, 2018 9:10 AM  
**To:** kentlkb@gmail.com  
**Cc:** Sonya Allen  
**Subject:** Entrata Farms

[Quoted text hidden]



image006.png  
39K

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**kent brown** <kentlkb@gmail.com>  
To: "Carpenter, John" <jcarpenter@to-engineers.com>

Wed, Oct 31, 2018 at 1:23 PM

[Quoted text hidden]

--  
Kent Brown

**Kent Brown Planning Services**  
3161 E. Springwood Drive  
Meridian, ID 83642  
P: 208-871-6842

**From:** Sub Name Mail <[subnamemail@adaweb.net](mailto:subnamemail@adaweb.net)>  
**Date:** February 1, 2018 at 10:15:13 AM PST  
**To:** James Doolin <[james@ldputah.com](mailto:james@ldputah.com)>, "O'Malley, Rob" <[romalley@to-engineers.com](mailto:romalley@to-engineers.com)>  
**Subject:** Entrata Farms Sub Name Reservation

February 1, 2018

Rob O'Malley, T-O Engineers  
James Doolin, Land Development Partners

RE: Subdivision Name Reservation: **ENTRATA FARMS SUBDIVISION**

At your request, I will reserve the name **Entrata Farms Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



**Jerry L. Hastings, PLS 5359**  
**County Surveyor**  
**Deputy Clerk Recorder**  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7912 office  
(208) 287-7909 fax

**From:** James Doolin [<mailto:james@ldputah.com>]  
**Sent:** Tuesday, January 30, 2018 4:41 PM  
**To:** Sub Name Mail  
**Subject:** RE: Request for new subdivision name and public street name

Glen,

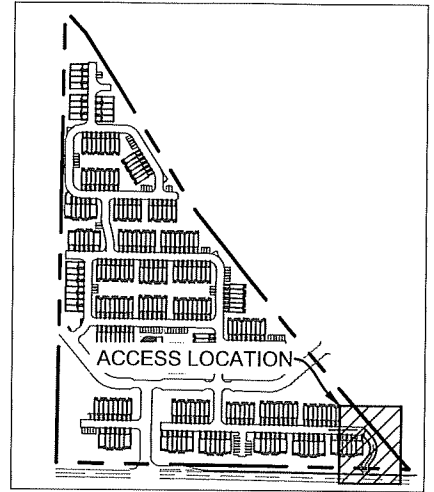
Below please find the requested information:

1. The Surveyor's information is listed below:

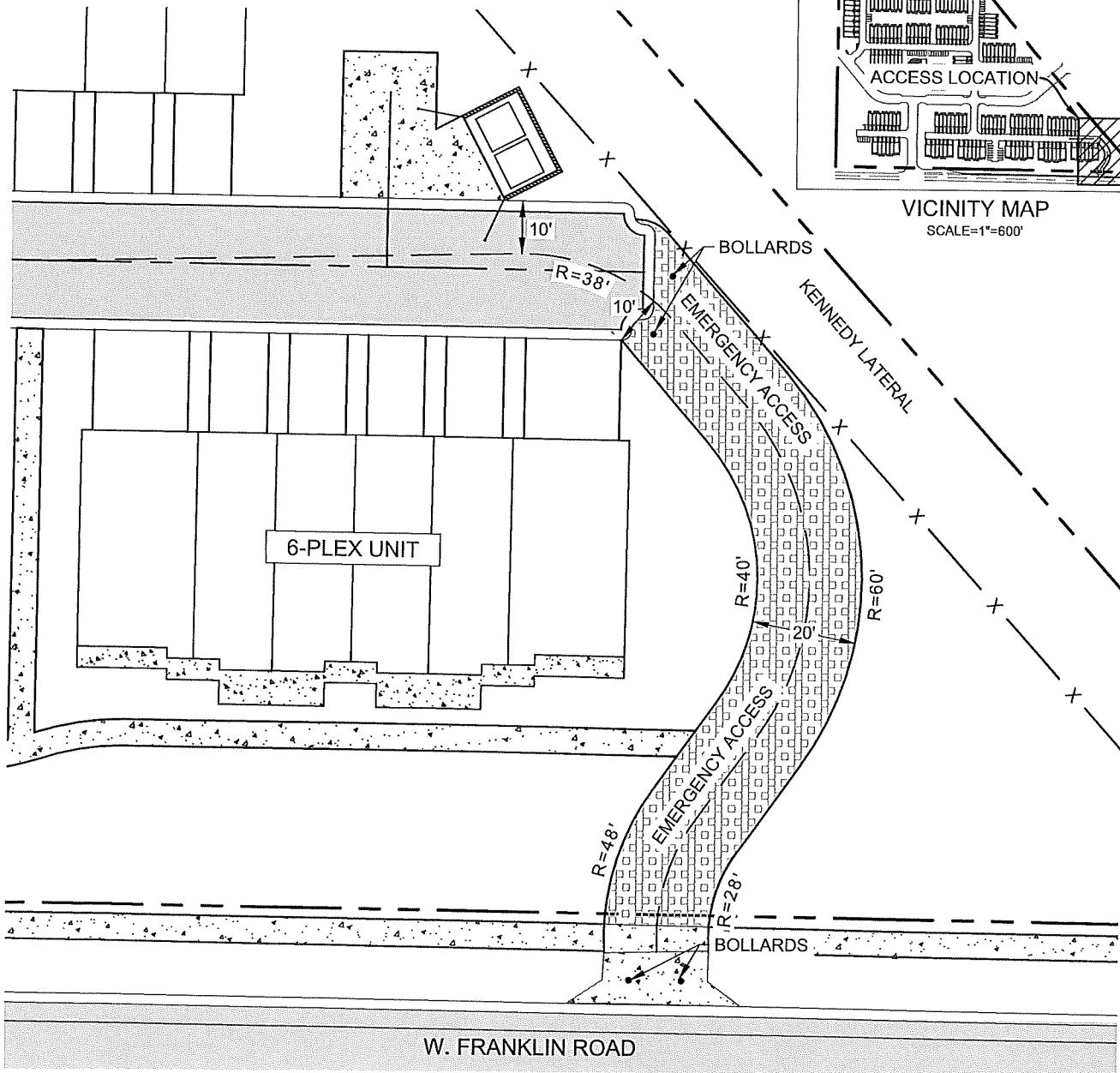
Rob O'Malley, PLS  
T-O Engineers

# ENTRATA FARMS SUBDIVISION

## EMERGENCY ACCESS DRIVE



VICINITY MAP  
SCALE=1"=600'



W. FRANKLIN ROAD



**T-O ENGINEERS**

332 N. BROADMORE WAY  
NAMPA, IDAHO 83687-5123

PHONE: (208) 442-6300

FAX: (208) 466-0944

E-FILE: 170270-Emergency Access Exhibit.dwg

DATE: 10/31/18

JOB: #####