

MEMO

Date: May 23, 2022

To: Robb MacDonald, Engineering Department
T.J. Frans, Engineering Department
Steve Pendleton, Engineering Department
Alan Perry, Fire Marshal
Chris Bryant, Building Department
Dave Wright, Police Department
Dave Marston, Mapping Department
Angie Hopf, Mapping Department
Baily Barnes, Mapping Department
Vallivue School District
Pioneer Irrigation District
Caldwell Lateral Irrigation
Compass Idaho
Caldwell Transportation
Canyon Highway District #4
Idaho Transportation Department
Valley Regional Transit
Canyon County Development Services
Idaho Power
Intermountain Gas
Bureau of Reclamation, Snake River Area Office
USPS Caldwell

From: Emma Hill, Associate Planner
Caldwell P & Z Department

RE: Case Number ANN22-000005/CPM22-000002/SUP22-000005 Karcher Village

Please review the attached application and information and provide us with your written input. We request that you e-mail any comments as soon as possible but no later than **Friday, June 3, 2022**.

E-mail: P&Z@cityofcaldwell.org

Case Number CMP22-000002 ANN22-000005 SUP22-000005: A request by developer Nexio Capital (Justin Christiansen), to amend the 2040 Comprehensive Plan Map from Highway Corridor to High Density Residential with a request for annexation of parcels R32786 & R32785010, 4.95 acres more or less, with an "R3" (High Density Residential) zoning designation and concurrently a request for approval of a special use permit for a 96 unit multi-family development with a gross density of 19.39 units per acre. The subject properties are located on the northeast corner of Celeste Avenue and Karcher Road at 12492 Karcher Road, Nampa, ID.

This case is scheduled to be presented before the **Caldwell Planning & Zoning Commission on Tuesday, June 14, 2022 at 7:00 pm.**

We will assume that you have no objections, concerns or comments if you do not reply to this request within the requested timeframe. If you have any questions, you may contact me at 208-455-4594.



CITY OF Caldwell, Idaho

Planning &
Zoning
Hearing
Review
Application

Type of Review Requested

- Annexation/Deannexation
- Appeal/Amendment
- Comprehensive Plan Map Change
- Design Review
- Ordinance Amendment
- Rezone
- Special Use Permit
- Subdivision- Preliminary Plat
- Subdivision- Final Plat
- Subdivision- Short Plat
- Time Extension
- Variance
- Other _____

STAFF USE ONLY:	
File Number(s):	<u>Ann22-000005 / CPM 22-000002 / Sep 22-000005</u>
Project Name:	<u>Karcher Village</u>
Date Filed:	_____ Date Complete: _____
Related Files:	_____

Subject Property Information

Address: 12492 KARCHER RDCALDWELL, ID 83605 Parcel Number(s): R3278600000

Subdivision: ___ Block: ___ Lot: ___ Acreage: 2.78 Zoning: _____

Prior Use of the Property: _____

Proposed Use of the Property: _____

Applicant Information

Applicant Name: Nicolette Womack Phone: _____

Address: 1100 W. Idaho Street, Suite 210 City: Boise State: ID Zip: 83702

Email: Nicolette.Womack@kimley-horn.com Cell: _____

Owner Name: PLUCINSKI JAMES E Phone: _____

Address: 2945 1ST LN E City: PARMA State: ID Zip: 83660-6152

Email: _____ Cell: _____

Agent Name: (e.g., architect, engineer, developer, representative) _____

Address: _____ City: _____ State: _____ Zip: _____

Email: _____ Cell: _____

Authorization

Print Applicant Name: Nicolette Womack

Applicant Signature: _____ Date: 03/31/2022



CITY OF
Caldwell, Idaho

Planning & Zoning

HEARING REVIEW APPLICATION

Type of Review Requested (check all that apply)

- Annexation/Deannexation
- Appeal/Amendment
- Comprehensive Plan Map Change
- Design Review
- Ordinance Amendment
- Rezone
- Special Use Permit
- Subdivision- Preliminary Plat
- Subdivision- Final Plat
- Subdivision- Short Plat
- Time Extension
- Variance
- Other _____

STAFF USE ONLY:
 File number(s): Ann 22-000005/kpm 22-00002/
Sup 22-000005
 Project name: Karcher Village
 Date filed: _____ Date complete: _____
 Related files: _____

Subject Property Information

Address: 12492 & 0 Karcher Rd Parcel Number(s): R3278600000 & R3278501000
 Subdivision: _____ Block: _____ Lot: _____ Acreage: 4.95 Zoning: R-3 Requested
 Prior Use of the Property: Single-Family Residential
 Proposed Use of the Property: Multi-Family Residential

Applicant Information:

Applicant Name: Nicolette Womack - Kimley-Horn Phone: 208-207-8477
 Address: 1100 W. Idaho Street, Suite 210 City: Boise State: ID Zip: 83702
 Email: nicolette.womack@kimley-horn.com Cell: _____
 Owner Name: James Plucinski Phone: _____
 Address: 2945 1ST LN E City: Parma State: ID Zip: 83660
 Email: _____ Cell: _____
 Agent Name: (e.g., architect, engineer, developer, representative) Justin Christensen - Developer w/ Nexio Capital
 Address: 454 West 1600 South City: Springville State: UT Zip: 84663
 Email: justin@nexiocapital.com Cell: _____

Authorization

Print applicant name: Nicolette Womack
 Applicant Signature: Nicolette Womack Date: 3-31-2022

AI



CITY OF Caldwell, Idaho

Planning &
Zoning
Hearing
Review
Application

Type of Review Requested

- Annexation/Deannexation
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- Other _____

STAFF USE ONLY:	
File Number(s):	<u>Ann 22-00005/cpma 22-00002/</u> <u>Sup 22-00005</u>
Project Name:	<u>Karcher Village</u>
Date Filed:	_____ Date Complete: _____
Related Files:	_____

Subject Property Information

Address: 12492 KARCHER RDCALDWELL, ID 83605 Parcel Number(s): R3278600000
 Subdivision: ___ Block: ___ Lot: ___ Acreage: 2.78 Zoning: H-3
 Prior Use of the Property: _____
 Proposed Use of the Property: 96 multi-family units

Applicant Information

Applicant Name: Nicolette Womack Phone: _____
 Address: 1100 W. Idaho Street, Suite 210 City: Boise State: ID Zip: 83702
 Email: Nicolette.Womack@kimley-horn.com Cell: _____
 Owner Name: PLUCINSKI JAMES E Phone: _____
 Address: 2945 1ST LN E City: PARMA State: ID Zip: 83660-6152
PARMA, ID 83660-6152
 Email: _____ Cell: _____
 Agent Name: (e.g., architect, engineer, developer, representative) Kimley-Horn
 Address: 950 W Bannock Street, Suite 1100 City: Boise State: ID Zip: 83702
 Email: Nicolette.Womack@kimley-horn.com Cell: _____

Authorization

Print Applicant Name: Nicolette Womack
 Applicant Signature: _____ Date: 03/31/2022

AI



CITY OF Caldwell, Idaho

Planning &
Zoning
Hearing
Review
Application

Type of Review Requested

- Annexation/Deannexation
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- Design Review
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- Special Use Permit
- Subdivision- Preliminary Plat
- Subdivision- Final Plat
- Subdivision- Short Plat
- Time Extension
- Variance
- Other _____

STAFF USE ONLY:	
File Number(s)	<u>Ann 22-000005 / cp m 22-000002 /</u> <u>sup 22-000005</u>
Project Name:	<u>Karcher Village</u>
Date Filed:	_____ Date Complete: _____
Related Files:	_____

Subject Property Information

Address: 12492 KARCHER RDCALDWELL, ID 83605 Parcel Number(s): R3278600000
 Subdivision: _____ Block: _____ Lot: _____ Acreage: 2.78 Zoning: H-C
 Prior Use of the Property: _____
 Proposed Use of the Property: 96 multi-family units

Applicant Information

Applicant Name: Nicolette Womack Phone: _____
 Address: 1100 W. Idaho Street, Suite 210 City: Boise State: ID Zip: 83702
 Email: Nicolette.Womack@kimley-horn.com Cell: _____
 Owner Name: PLUCINSKI JAMES E Phone: _____
 Address: 2945 1ST LN E City: PARMA State: ID Zip: 83660-6152
PARMA, ID 83660-6152
 Email: _____ Cell: _____
 Agent Name: (e.g., architect, engineer, developer, representative) Kimley-Horn
 Address: 950 W Bannock Street, Suite 1100 City: Boise State: ID Zip: 83702
 Email: Nicolette.Womack@kimley-horn.com Cell: _____

Authorization

Print Applicant Name: Nicolette Womack
 Applicant Signature: _____ Date: 03/31/2022

AI



CITY OF
Caldwell, Idaho

Planning & Zoning
SPECIAL-USE PERMIT

Project Name: Karcher <i>village</i>	File #:
Applicant/Agent: Nicolette Womack - Kimley-Horn	

Applicant (v)	Please provide the following REQUIRED documentation:	Staff (v)
Done	Completed & signed Hearing Review Master Application	
Done	Narrative fully describing the proposed use/request	
Done	Recorded warranty deed for the subject property	
Done	Signed Property Owner Acknowledgement (if applicable)	
Done	Vicinity map, showing the location of the subject property	
Done	Site Plan The following are suggested items that may be shown on the site plan:	
	• Property boundaries of the site	
	• Existing buildings on the site	
	• Parking stalls and drive aisles	
	• Sidewalks or pathways (proposed and existing)	
	• Fencing (proposed and existing)	
Done	Floor Plan	
Done	Landscape Plan (if applicable)	
Done	Neighborhood Meeting sign-in sheet	
Done	All of the above items shall be submitted in 8 ½ x 11 paper format AND in electronic format (preferably PDF or Word) on either a jump drive or CD. Please be aware the jump drive or CD will become part of the file and will not be returned	
Electronic	Fee	

<u>STAFF USE ONLY:</u>
Date Application Received: _____
Received by: _____
Proposed Hearing Date: _____
Hearing Body: _____



May 20, 2022

Planning & Zoning
City of Caldwell
621 Cleveland Boulevard
Caldwell, ID 83605

RE: *Karcher Village Request*

On behalf of Nexio Capital, we are submitting the Karcher Village request for review and approval.

The subject property is located at 12492 & 0 Karcher Rd (Parcel No. R3278600000 & R3278501000) and consists of 4.95 acres. The existing site is partially developed and contains one dwelling unit. The property is currently within Canyon County and is requesting annexation into the City of Caldwell. The Future Land Use Map designates the site as 'Highway Corridor' which allows up to 40 units per gross acre of high density residential. However, a Comprehensive Plan Amendment is required as Chapter 5 of the Land Use Section recommends C-2 or C-3 zoning on HWY 55 between Lake Ave to Midway Road. within which multi-family is no longer permitted. The project is requesting 'R-3 – High Density Residential' zoning within which Caldwell requires a Special Use Permit for multi-family. This change will complement the surrounding area which has been developing with residential adjacent the highway.

The project includes a total of 96 units which includes 21 one-bedroom, 54 two-bedroom and 21 three-bedroom units. The units are organized into five buildings at three stories in height. The project is required to provide 144 total parking spaces, 1.5 per dwelling unit. The project includes 145 total parking spaces, 2 of which are EV equipped.

Vehicular site access will be off Celeste Ave, as access to Karcher is not permitted. A 26' wide internal service drive serves the site. The project will be internally connected via 5' wide sidewalks. A 30' wide landscape buffer is provided along HWY 55 (Karcher Rd) and a 15' wide landscape buffer is provided along Celeste Ave (collector roadway) adjacent the site. Attached sidewalks are provided along Celeste Ave. Additional right-of-way will be dedicated along both rights-of-way. Project amenities include a tot lot, pickle ball, BBQ area and dog park. The project provides 12.9% open space, exceeding the 10% required open space for multi-family. The project will utilize City water and sewer.

A traffic impact study was conducted and found that the addition of site traffic has minimal effect on current or projected future traffic operations. No mitigation improvements are recommended. It is important to note the ITD Project for SH-55, Farmway Road to Middleton Road includes improvements to the Karcher Road/Celeste Ave intersection to be completed in FY 2022-2028 ITIP.

The proposal is consistent with several *Goals, Objective, and Strategies* of the *2040 Comprehensive Plan for the City of Caldwell*, specifically:

- *Land Use Policy 2-4* calls for allowing higher density development as a means to support public transportation.
- *Land Use Goal 3* encourages creating communities that are more livable, affordable, connectable and sustainable.

- *Land Use Policy 3-2* calls for maximizing the use of land by encouraging high-density residential development in areas that have adequate services to act as a buffer between less dense residential and commercial uses and support public transit.
- *Land Use Goal 4* calls for creating communities that generate cost effective public services and infrastructure by annexing land provided with public services and only extending public systems to new development when annexed.
- *Housing Goal 2* calls for supporting enhanced housing standards that will improve the visual appearance of residential neighborhoods.
- *Housing Goal 1* calls for supporting adequate housing for a range of income levels and residential needs.

Agency requirements will be fully met and submitted for your review and comment as the project continues. Initial meetings indicate that agencies are in alignment and agreement for the proposed project; however, as additional needs arise, they will be mitigated and incorporated in the project design. The best engineering, architectural, and construction practices will be employed and implemented by the ownership and consultant team.

We greatly appreciate your time and review of our application submittal. In accordance with the submittal checklists, we are submitting electronically with all required information. Please contact me at (208) 207-8477 or Nicolette.Womack@kimley-horn.com should you have any questions.

Sincerely,

Nicolette Womack

Nicolette Womack, AICP
Planner

NO.	REV.	DATE	APP.

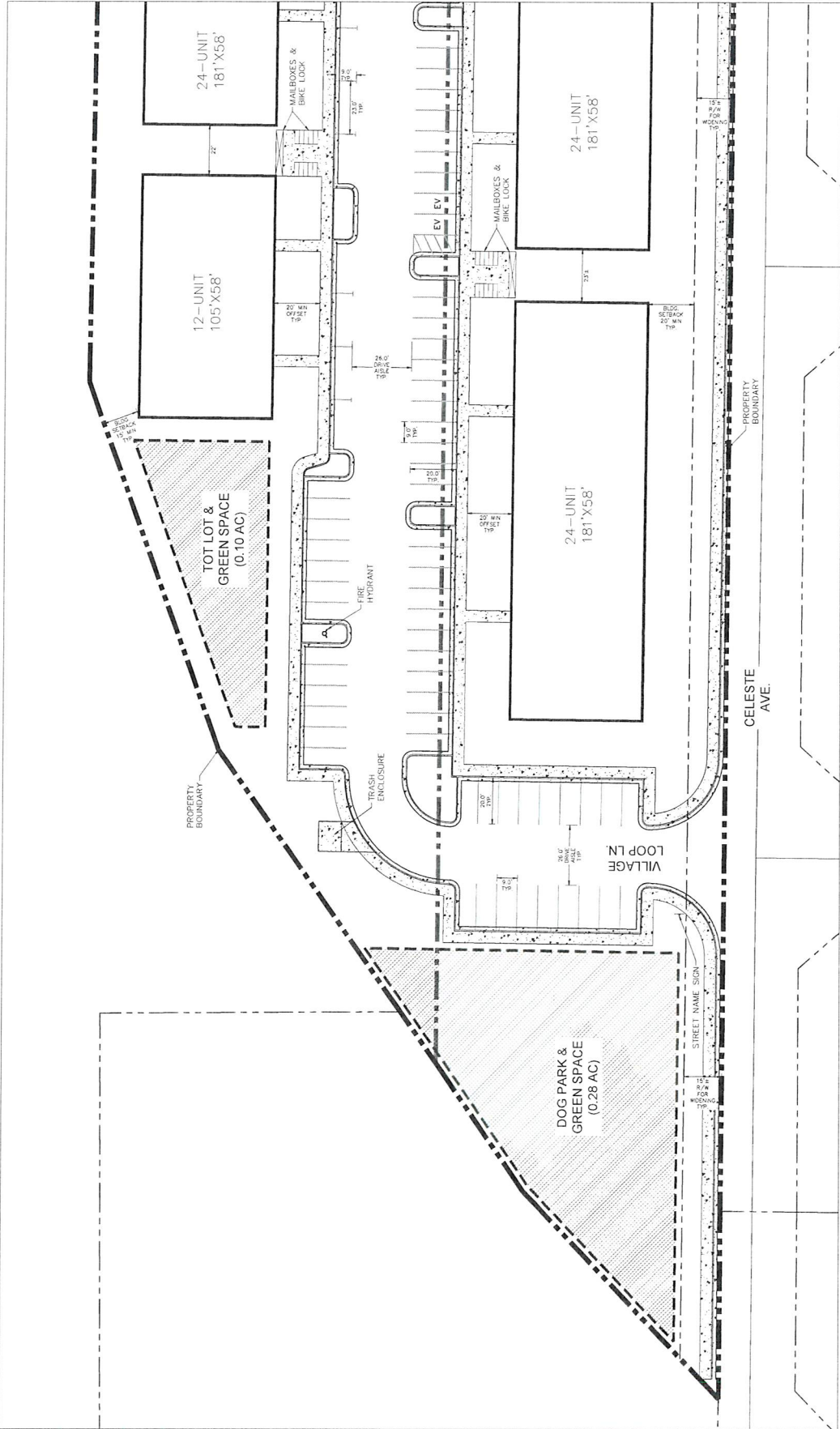
DATE: 5/18/2022
 DRAWN BY: AHN
 CHECKED BY: JPN
 PROJECT: 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 850 BRACKEN DRIVE, SUITE 1100
 BOISE, IDAHO 83702 (208) 297-2885

KARCHER VILLAGE
 SITE CONCEPT
 CALDWELL, CA
 COUNTY, IDAHO

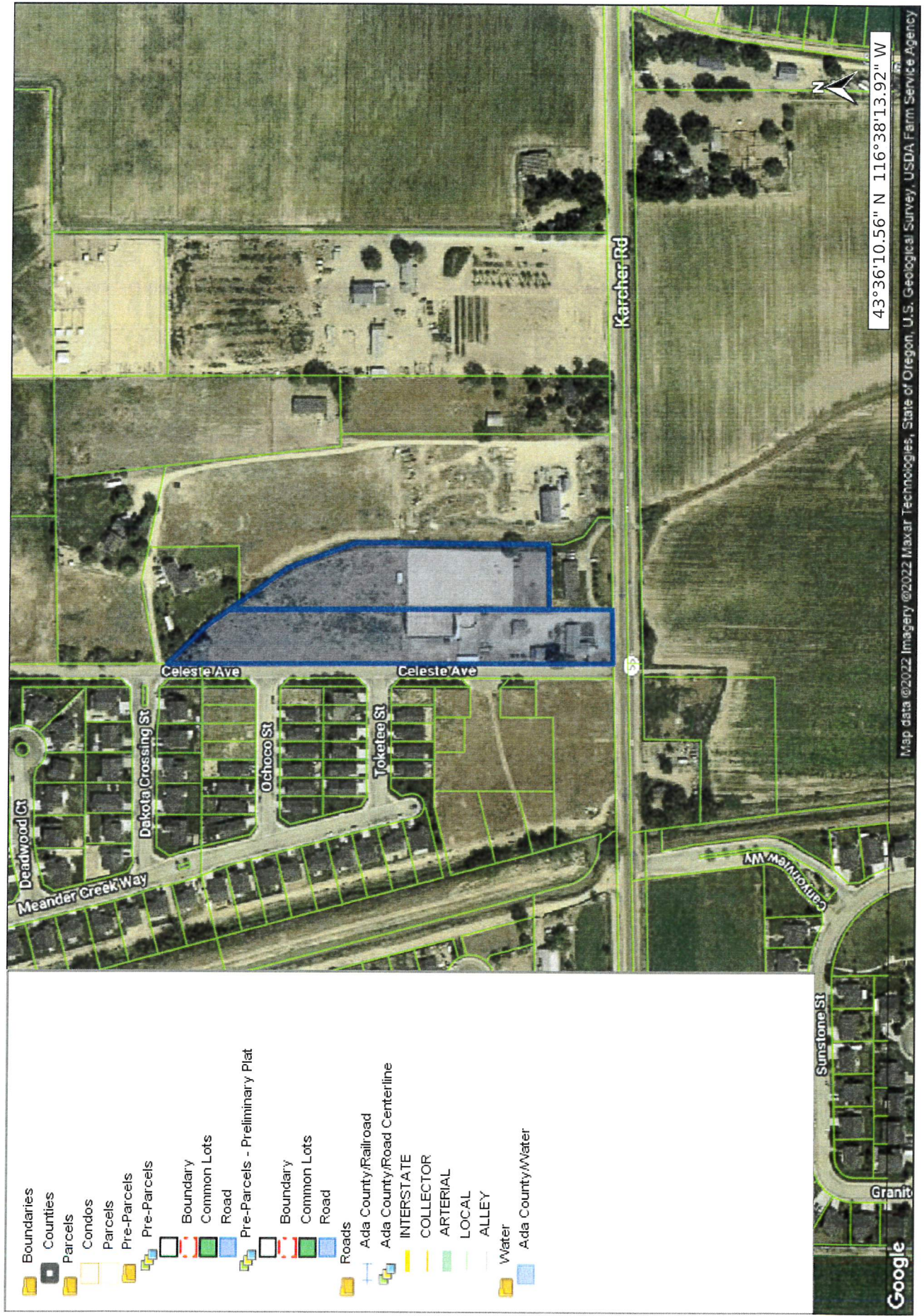
PROJECT NO.
 DRAWING NAME
 DRAWING DATE

01 of 02

SITE DATA
 • GROSS AREA: 4.95 AC
 • OPEN SPACE: 0.64 AC (12.9%)
 • DWELLING UNITS: 56 EA
 • PARKING STALLS: 145 EA



A3



NEIGHBORHOOD MEETING FORM
City of Caldwell Planning and Zoning Department
621 E. Cleveland Blvd., Caldwell, ID 83605
Phone: (208) 455-3021

Start Time of Neighborhood Meeting: 7:00 PM

End Time of Neighborhood Meeting: 8:45 PM

Those in attendance please print your name and address. If no one attended, Applicant please write across this form "No one attended."

<u>PRINTED NAME</u>	<u>ADDRESS, CITY, STATE, ZIP</u>
1. <u>William Jones</u>	<u>12544 Toketee St. Nampa, Id. 83651</u>
2. <u>Dyane Rigas</u>	<u>12402 Karcher Rd Nampa 83651</u>
3. <u>Eiji Katayama</u>	<u>12511 Toketee St, Nampa 83651</u>
4. <u>Colleen George</u>	<u>12543 Toketee St. 83651</u>
5. <u>Alma Hasse-Pucinski</u>	<u>2945 1st Ln E, Preroma 83660</u>
6.	
7.	
8.	
9.	
10.	
11.	
12.	
13.	
14.	
15.	
16.	
17.	
18.	
19.	

- 20. _____
- 21. _____
- 22. _____
- 23. _____
- 24. _____
- 25. _____

Neighborhood Meeting Certification:

Applicants shall conduct a neighborhood meeting for the following: special use permit applications; variance applications; annexation applications; planned unit development applications; preliminary plat applications that will be submitted in conjunction with an annexation, rezone or planned unit development application; and, rezone applications as per City of Caldwell Zoning Ordinance Section 10-03-12.

Description of the proposed project: **96 Unit Multifamily Project**

Date of Round Table meeting: **12/2/21**

Notice sent to neighbors on: **3/16/22**

Date & time of the neighborhood meeting: **3/29/22 - 7:00 PM**

Location of the neighborhood meeting: **Caldwell Library - 1010 Dearborn St, Caldwell, ID 83605**

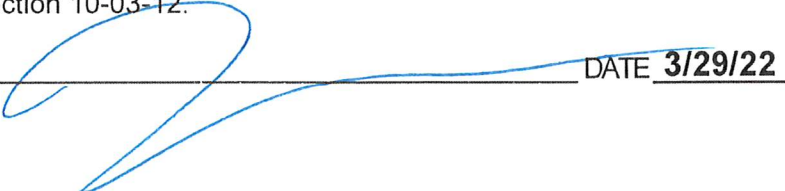
Developer/Applicant:

Name: **Justin Christensen**

Address, City, State, Zip: **454 W 1600 S, Springville, UT 84663**

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with City of Caldwell Zoning Ordinance Section 10-03-12.

DEVELOPER/APPLICANT SIGNATURE _____ DATE **3/29/22**





5680 East Franklin Road, Suite 250 / Nampa, Idaho
83687 / (208) 465-6655

REQUEST TYPE Warranty FEE 5
PIONEER - NAMPA

2006 JUN 10 PM 4 37
GISEL HILES
CANYON CNTY RECORDER
BY MH

RECORDED

200654795

200608340

WARRANTY DEED

For Value Received James E. Plucinski and Alma Plucinski, husband and wife
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Janelle M. Sullivan, an unmarried woman

hereinafter referred to as Grantee, whose current address is 215 East Sheridan Avenue, Nampa ID 83686
the following described premises, to-wit:

The West 65 feet of Lot 12, Block 69, KURTZ ADDITION to Nampa, Canyon County, Idaho,
according to the plat filed in Book 2 of Plats, Page 37, records of said County.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, his heirs
and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor
is the owner in fee simple of said premises; that said premises are free from all encumbrances except current
years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record,
and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims
whatsoever.

Dated: July 10, 2006

James E. Plucinski
James E. Plucinski

Alma Plucinski
Alma Plucinski

State of Idaho
County of Canyon

ss.

On this 10th day of July, 2006, before me, the undersigned, a Notary Public, in and for said State, personally
appeared James E. Plucinski and Alma Plucinski known to me, and/or identified to me on the basis of satisfactory
evidence to be the person(s) whose name is subscribed to the within instrument and acknowledged to me that
he/she/they executed the same.

WITNESS MY HAND AND OFFICIAL SEAL

Ann Fries-Roe
Notary Public
Residing at: Residing in Nampa, Idaho
Commission Expires: My Commission Expires 10/31/2008

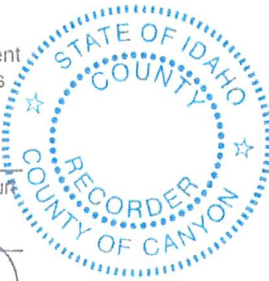


State of Idaho }
County of Canyon } ss.

I hereby certify that the foregoing instrument
is a true and correct copy of the original as
the same appears in this office.

DATED 1-20-2007
CHRIS YAMAMOTO, Clerk of the District Court
and Ex Officio Recorder

By [Signature]
Deputy



Al

A.

INSTRUMENT NO.

200214889

PC42349

QUITCLAIM DEED

FOR VALUE RECEIVED James F. Vincent and Linda L. Vincent, husband and wife do hereby convey, release, remise and forever quit claim unto Linda L. Vincent and James F. Vincent, wife and husband whose address is 12492 Karcher Road, Nampa, ID 83651 the following described premises, to-wit:

See attached Exhibit "A", which by this reference is made a part hereof and is comprised of one (1) page.

together with their appurtenances.

Dated: March 27, 2002

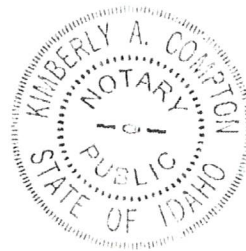
James F. Vincent
James F. Vincent

Linda L. Vincent
Linda L. Vincent

STATE OF IDAHO
COUNTY OF CANYON

On this 27th day of March in the year 2002, before me, a Notary Public, personally appeared James F. Vincent and Linda L. Vincent known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

Kimberly A. Compton
Notary Public
Residing at Wilder
My commission expires 1-27-05



PIONEER TITLE COMPANY OF CANYON COUNTY

610 SOUTH KIMBALL AVENUE
CALDWELL, IDAHO 83605

(208) 459-1651
FAX: (208) 455-1138

ALP

349

Exhibit "A"

PARCEL I:

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West of the Boise Meridian, Canyon County, Idaho, more particularly described as follows:

BEGINNING at the Southwest corner of said Southwest Quarter of the Southeast Quarter (South Quarter corner); thence North 89° 05' 01" East 125.00 feet along the South boundary of said Southwest Quarter of the Southeast Quarter; thence North 10' 24" East 922.03 feet; thence North 35° 21' 29" West 67.29 feet along the centerline of a drain ditch; thence North 43° 50' 29" West 123.58 feet along the centerline of a drain ditch; thence South 0° 10' 24" West 1,068.04 feet along the West boundary of said Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING.

PARCEL II:

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:

COMMENCING at the Southwest corner of the Southwest Quarter of the Southeast Quarter (South Quarter corner); thence North 89° 05' 01" East 125 feet along the South boundary of the Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING; thence continuing North 89° 05' 01" East 215 feet along the South boundary of the Southwest Quarter of the Southeast Quarter; thence North 0° 54' 59" West 63.30 feet; thence North 51° 37' 09" West 57 feet along the centerline of a drain; thence North 21° 02' 29" West 49.30 feet along the centerline of a drain; thence North 0° 37' 16" East 480.15 feet along the centerline of a drain; thence North 20° 10' 29" West 169.55 feet along the centerline of a drain; thence North 35° 21' 29" West 165.06 feet along the centerline of a drain; thence South 0° 10' 24" West 922.03 feet parallel with the West boundary of the Southwest Quarter of the Southeast Quarter to the BEGINNING.

EXCEPTING THEREFROM: The South 180 feet.

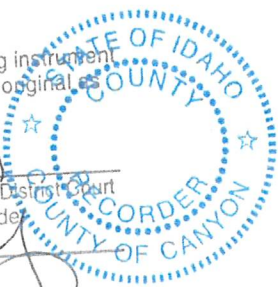
State of Idaho }
County of Canyon } ss.

I hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in this office.

DATED 1-20-2022

CHRIS YAMAMOTO, Clerk of the District Court and Ex. Officer Recorder

By [Signature] Deputy



REQUEST PIONEER - CALDWELL
TYPE Fee Fee Fee
G NOEL HALES
CANYON CNTY RECORDER
BY [Signature]

2022 APR 1 PM 4 38

RECORDED

200214889

AL6

A

INSTRUMENT NO. 200523826

PC64294

WARRANTY DEED

FOR VALUE RECEIVED Linda L. Vincent and James F. Vincent, wife and husband

the Grantors, do hereby grant, bargain, sell and convey unto James E. Plucinski, an unmarried man

the Grantee, whose address is X 40045 95th St W, Leond Valley, CA 93551

the following described premises, to-wit:

See attached Exhibit "A", which by this reference is made a part hereof and is comprised of one (1) page.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, their heirs and assigns forever. And the said Grantor do hereby covenant to and with the said Grantee, that they are the owners in fee simple of said premises; that said premises are free from all encumbrances; except for general taxes and assessments for the year 2005 and subsequent years, covenants, conditions, restrictions and easements of record; and that they will warrant and defend the same from all lawful claims whatsoever.

DATED: April 28, 2005

Linda L. Vincent
Linda L. Vincent

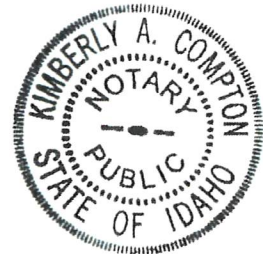
James F. Vincent
James F. Vincent

STATE OF IDAHO

COUNTY OF CANYON

On this 28th day of April in the year 2005, before me, a Notary Public, personally appeared Linda L. Vincent and James F. Vincent known or identified to me to be the persons whose names subscribed to the within instrument, and acknowledged to me that they executed the same.

[Signature]
Notary Public
Residing at Caldwell, ID Wilder KC
My Commission Expires 4/21/2010 1-27-11



PIONEER TITLE COMPANY OF CANYON COUNTY

100 10TH AVE SOUTH
NAMPA, IDAHO 83651

610 SOUTH KIMBALL
CALDWELL, ID 83605

PIONEER-CALDWELL
REQUEST _____
TYPE Quit FEE 600

2005 MAY 2 PM 4 48
RECORDED
CANYON COUNTY RECORDER
G. NOEL HALEES
P. [Signature]

200523826

Alc

Inst# 2005 - 23826

State of Idaho }
County of Canyon } ss.



I hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in this office.

DATED 1-20-2022
CHRIS YAMAMOTO, Clerk of the District Court
and Ex Officio Recorder

By *[Signature]*
Deputy

PC 63478

Exhibit "A"

PARCEL I:

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West of the Boise Meridian, Canyon County, Idaho, more particularly described as follows:

BEGINNING at the Southwest corner of said Southwest Quarter of the Southeast Quarter (South Quarter corner); thence North 89° 05' 01" East 125.00 feet along the South boundary of said Southwest Quarter of the Southeast Quarter; thence North 0° 10' 24" East 922.03 feet; thence North 35° 21' 29" West 67.29 feet along the centerline of a drain ditch; thence North 43° 50' 29" West 123.58 feet along the centerline of a drain ditch; thence South 0° 10' 24" West 1,068.04 feet along the West boundary of said Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING.

PARCEL II:

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:

COMMENCING at the Southwest corner of the Southwest Quarter of the Southeast Quarter (South Quarter corner); thence North 89° 05' 01" East 125 feet along the South boundary of the Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING; thence continuing North 89° 05' 01" East 215 feet along the South boundary of the Southwest Quarter of the Southeast Quarter; thence North 0° 54' 59" West 63.30 feet; thence North 51° 37' 09" West 57 feet along the centerline of a drain; thence North 21° 02' 29" West 49.30 feet along the centerline of a drain; thence North 0° 37' 16" East 480.15 feet along the centerline of a drain; thence North 20° 10' 29" West 169.55 feet along the centerline of a drain; thence North 35° 21' 29" West 165.06 feet along the centerline of a drain; thence South 0° 10' 24" West 922.03 feet parallel with the West boundary of the Southwest Quarter of the Southeast Quarter to the BEGINNING.

EXCEPTING THEREFROM: The South 180 feet.

92

INSTRUMENT NO. 9217951

PC05623

WARRANTY DEED

FOR VALUE RECEIVED L. T. Clay and Gertrude B. Clay, husband and wife

the Grantors, do hereby grant, bargain, sell and convey unto James F. Vincent and Linda L. Vincent, husband and wife

the Grantees, whose address is 12492 Karcher Rd., Nampa, ID 83651-8107

the following described premises, to-wit:

See attached Exhibit "A", which by this reference is made a part hereof and is comprised of one (1) page.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantees, their heirs and assigns forever. And the said Grantors do hereby covenant to and with the said Grantees, that they are the owners in fee simple of said premises; that said premises are free from all encumbrances, except for general taxes and assessments for the year 1992 and subsequent years, covenants, conditions, restrictions and easements of record, and that they will warrant and defend the same from all lawful claims whatsoever.

DATED: August 6, 1992

L. T. Clay
L. T. Clay

Gertrude B. Clay
Gertrude B. Clay

STATE OF IDAHO

COUNTY OF CANYON

On this 6th day of August in the year 1992, before me, a Notary Public, personally appeared L. T. Clay and Gertrude B. Clay known or identified to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

[Signature]
Notary Public
Residing at Caldwell
My commission expires 1-27-93

PIONEER TITLE COMPANY
OF CANYON COUNTY

100 10TH AVE SOUTH
NAMPA, IDAHO 83651

423 SOUTH KIMBALL
CALDWELL, ID 83605

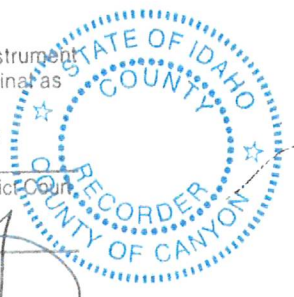
State of Idaho }
County of Canyon } ss.

I hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in this office.

DATED 1-20-2022

CHRIS YAMAMOTO, Clerk of the District Court
and Ex Officio Recorder

[Signature]
Deputy



Al

Exhibit "A"

PARCEL I

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:

BEGINNING at the Southwest corner of said Southwest Quarter of the Southeast Quarter (South Quarter corner); thence
North 89° 05' 01" East 125.00 feet along the South boundary of said Southwest Quarter of the Southeast Quarter; thence
North 0° 10' 24" East 922.03 feet; thence
North 35° 21' 29" West 67.29 feet along the centerline of a drain ditch; thence
North 43° 50' 29" West 123.58 feet along the centerline of a drain ditch; thence
South 0° 10' 24" West 1,068.04 feet along the West boundary of said Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING.

PARCEL II

A part of the Southwest Quarter of the Southeast Quarter, Section 12, Township 3 North, Range 3 West, Boise Meridian, Canyon County, Idaho, more particularly described as follows:

COMMENCING at the Southwest corner of the Southwest Quarter of the Southeast Quarter (South Quarter corner); thence
North 89° 05' 01" East 125 feet along the South boundary of the Southwest Quarter of the Southeast Quarter to the POINT OF BEGINNING; thence continuing
North 89° 05' 01" East 215 feet along the South boundary of the Southwest Quarter of the Southeast Quarter; thence
North 0° 54' 59" West 63.30 feet; thence
North 51° 37' 09" West 57 feet along the centerline of a drain; thence
North 21° 02' 29" West 49.30 feet along the centerline of a drain; thence
North 0° 37' 16" East 480.15 feet along the centerline of a drain; thence
North 20° 10' 29" West 169.55 feet along the centerline of a drain; thence
North 35° 21' 29" West 165.06 feet along the centerline of a drain; thence
South 0° 10' 24" West 922.03 feet parallel with the West boundary of the Southwest Quarter of the Southeast Quarter to the BEGINNING.

EXCEPTING THEREFROM the South 180 feet.

92 AUG 7 PM 4 32
RECORDED
PIONEER - CALDWELL
BY *Beavell*
CANYON CO. RECORDER
REQUESTED BY *Beavell*
FEE \$6.00

9217951

Alp

Property Owner Acknowledgement

I, JAMES E PLUCINSKI, the record owner for real property addressed as 12492 Karcher RD - Parcel #327860000 & #327850100, am aware of, in agreement with, and give my permission to Justin Christensen, to submit the accompanying application(s) pertaining to the that property.

1. I agree to indemnify, defend and hold the City of Caldwell and its employees harmless from any claim or liability resulting from any dispute as to the statement(s) contained herein or as to the ownership of the property which is the subject of the application.
2. I hereby grant permission to City of Caldwell staff to enter the subject property for the purpose of site inspection(s) related to processing said application(s).

Dated this 21st day of January, 2022

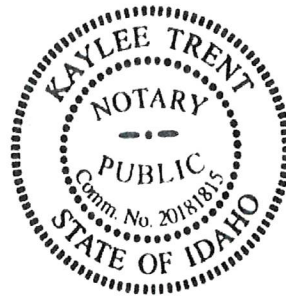
James E Plucinski
(Signature)

CERTIFICATE OF VERIFICATION

STATE OF IDAHO)
) ss.
County of Canyon)

I, Kaylee Trent, a Notary Public, do hereby certify that on this 21st day of January, 2022, personally appeared before me James Plucinski, known or identified to me to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that she signed the foregoing document, and that the statements therein contained are true.

Kaylee Trent
NOTARY PUBLIC FOR IDAHO
Residing at 1107 E. Ball Ave Parma
My Commission Expires 9/20/2024





A10



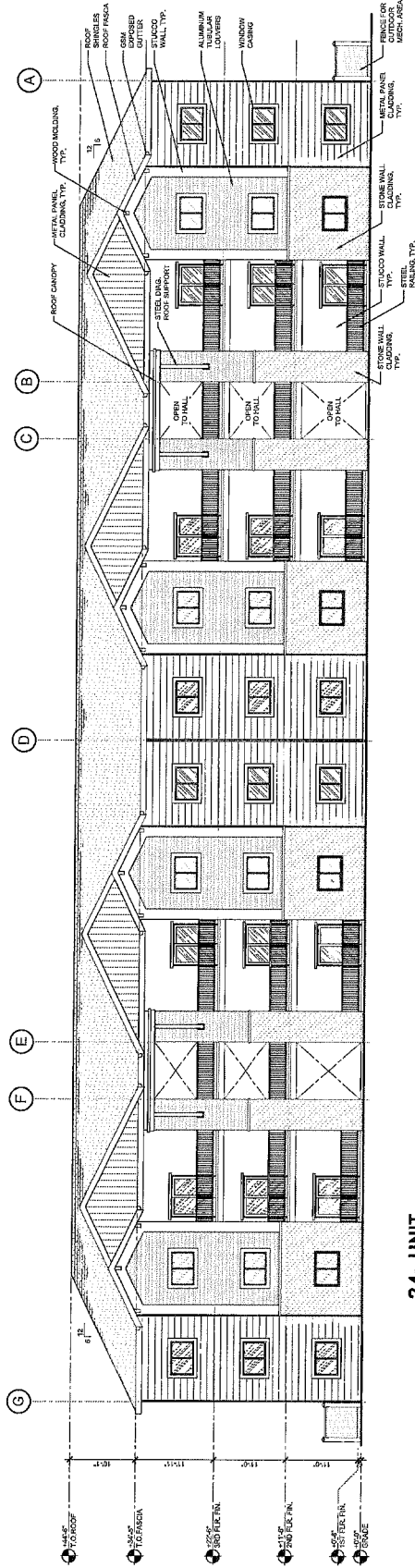


A10



A10

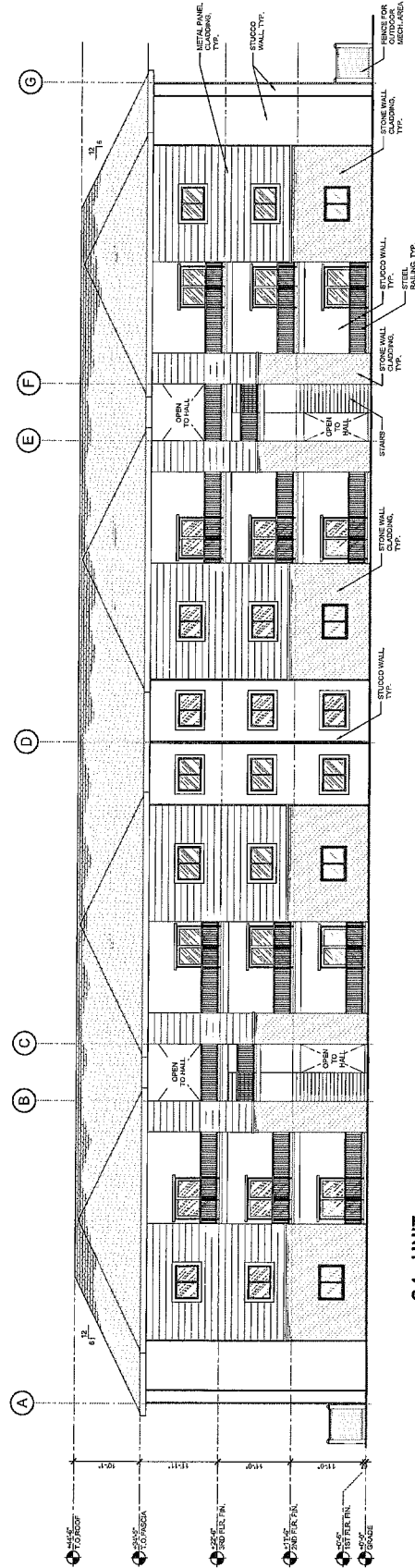
PROPOSED 3-STORY 24-UNIT MULTI-FAMILY BUILDING



24-UNIT
PROPOSED FRONT ELEVATION

1
SCALE 1/8" = 1'-0" (34x50 PAPER)

1/8" = 1'-0"
SCALE

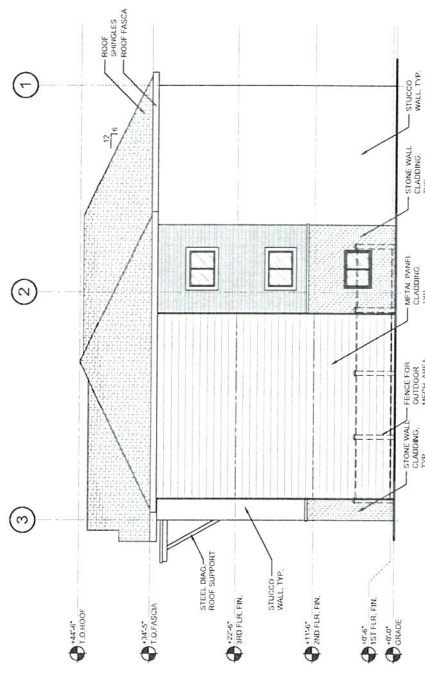


24-UNIT
PROPOSED REAR ELEVATION

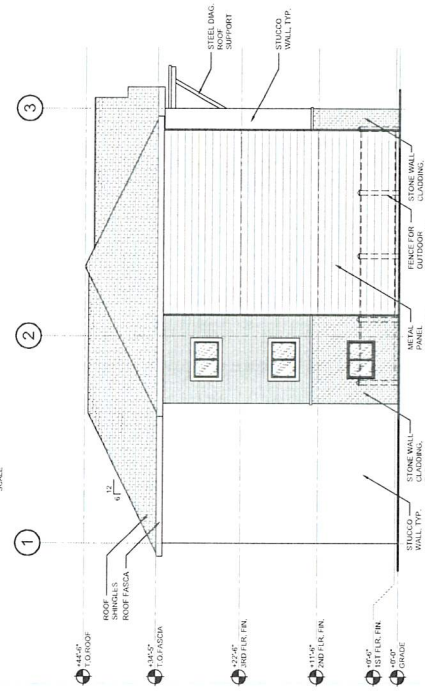
2
SCALE 1/8" = 1'-0" (34x50 PAPER)

1/8" = 1'-0"
SCALE

PROPOSED 3-STORY 24-UNIT MULTI-FAMILY BUILDING



24-UNIT PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0" (C4436 PAPER)
 1-2" SCALE



24-UNIT PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0" (C4436 PAPER)
 1-2" SCALE

GENERAL NOTES

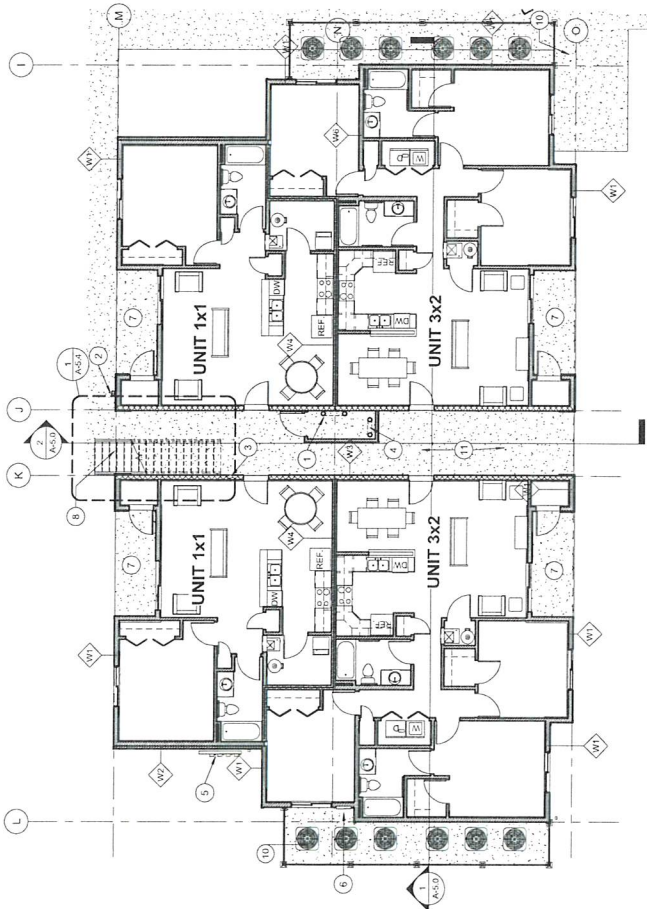
- A. EACH SUBCONTRACTOR TRADE SHALL VERIFY EXISTING CONDITIONS AND PRIOR TO THE BEGINNING OF CONSTRUCTION.
- B. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF FOUNDATION STEM WALL. SEE WALL SECTION SHEETS FOR TYPICAL EXTERIOR WALL CONSTRUCTION FROM FLOOR TO FLOOR UNLESS OTHERWISE NOTED.
- C. VERIFY ALL EXTERIOR OFF-FLOOR DIMENSIONS WITH FOUNDATION PLAN. OTHERWISE NOTED.
- D. ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- E. SEE ENLARGED STAIRWAY PLANS AND STAIRWAY SECTIONS FOR ALL STAIRWAY NOTED AND DIMENSIONS.
- F. SEE UNIT TYPE ENLARGED FLOOR PLANS FOR ALL UNIT DIMENSIONS, KEYNOTES AND FOR DOOR AND WINDOW CALLOUTS.
- G. ANY THROUGH OR MEMBRANE PENETRATION OF FIRE-RESISTIVE PARTITIONS SHALL BE IDENTIFIED ON THIS SHEET. PROVIDE FIRE STOPPING DETAIL SHEETS. TESTED AND LISTED ACCESSIBLE TO BE PROVIDED TO FIELD INSPECTOR.
- H. ALL FRAMING, FIXTURES AND EQUIPMENT TO BE INSTALLED TO BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING STANDARDS AND COMPLIANT TO ALL BUILDING CODES.
- I. FOR SYSTEMS OF FIRE PROTECTION, REFER TO FIRE RATED CONSTRUCTION PLANS AND BUILDING CODE STAIRWAY.
- J. ALL KEYNOTES, DIMENSIONS, AND NOTES TYPICAL UNLESS OTHERWISE NOTED.
- K. SEE SITE PLANS FOR CONTINUATION OF SEEWALKS AT BUILDING.
- L. CONSIDER ALL UNIT ACCESS TO BE LESS THAN 1/2" IN ALL DIRECTIONS FOR A MINIMUM DISTANCE OF 5'-0" FROM BUILDING TO DOORS.
- M. REFER TO METERS AND PANELS, VERIFY EXACT LOCATIONS WITH UTILITY AND ELECTRICAL DRAWINGS.
- N. ELECTRICAL PANEL INCLUDES PER ELECTRICAL DRAWINGS.

SHEET NOTES

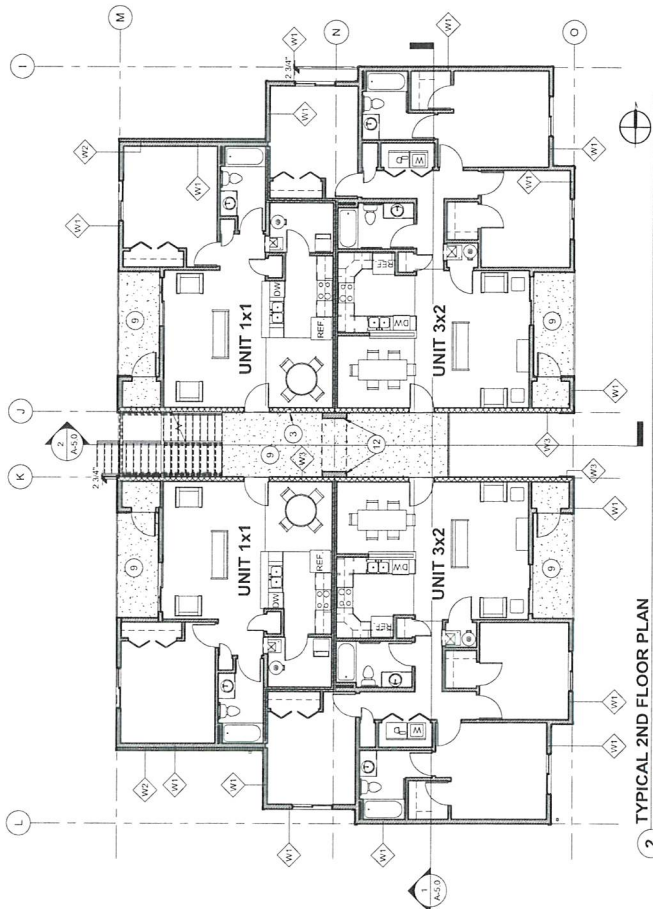
1. REFER TO MECHANICAL DRAWINGS FOR LOCATION OF EXTERIOR OF THE DOOR OR WINDOW. UNLESS STATED OTHERWISE, REFER TO THE INTERNATIONAL FIRE CODE AND WITH THE APPROVAL OF THE FIRE MARSHAL REFER TO SITE PLAN FOR LOCATION OF ROOM FOR EACH BUILDING.
2. REFER TO MECHANICAL DRAWINGS FOR IDENTIFICATION OF ROOMS DESIGNED BY FIRE SPRINKLER CONTRACTOR.
3. FIRE EXTINGUISHER CABINET, RE: 1 / A-5.3
4. DOMESTIC WATER RISER, RE: PLUMBING DRAWINGS
5. ELECTRICAL METERS - REFER TO ELECTRICAL DRAWINGS
6. PHONE CABLE REFER TO ELECTRICAL DRAWINGS
7. SLAB ON GRADE CONCRETE PATIO - REFER TO ENLARGED PLANS
8. STEEL STRINGERS WITH PRE-CAST CONCRETE STAIR TREADS - REFER TO STRUCTURAL PROVIDE HANDRAILS WITH REQUIRED BARRIERS AND FENCINGS ON STAIR SHEET.
9. BREEDERWAY FENCINGS - PROVIDE GUARDRAIL PER DETAILS
10. HEAT PUMP UNIT PER MECHANICAL DRAWINGS, ON 4" CONCRETE SLAB WITH 3 FT. TALL W/NT FENCE SCREEN
11. BREEDERWAY WITH CONCRETE WALK - SLOPE PER CIVIL
12. CONCRETE CHASE WALLS AS NECESSARY FOR ELECTRICAL, PLUMBING, OR FIRE SPRINKLER MAIN LINES, PROVIDE FIRE STOPPING AT EACH FLOOR LINE.

WALL LEGEND

TYPE	DESCRIPTION
W1	EXTERIOR 2x6 BEARING WALL PER STRUCTURAL, REFER TO WALL CONSTRUCTION DETAIL: W1 / A-5.3
W2	2x4 ELECTRICAL SURGING WALL REFER TO WALL CONSTRUCTION DETAIL: W2 / A-5.3
W3	1 HOUR RATED FIRE BARRIER AT STAIRS, REFER TO CONSTRUCTION DETAIL: W3 / A-5.3
W4	1 HOUR RATED 2x6 PARTY WALL WITH RESILIENT CHANNEL, REFER TO CONSTRUCTION DETAIL: W4 / A-5.3
W5	TYPICAL INTERIOR 2x4 FRAMED WALL, REFER TO CONSTRUCTION DETAIL: W5 / A-5.3
W6	TYPICAL 2x6 PLUMBING WALL, REFER TO CONSTRUCTION DETAIL: W6 / A-5.3 SIM.



1 TYPICAL 1ST FLOOR PLAN
1/8" = 1'-0"



2 TYPICAL 2ND FLOOR PLAN
1/8" = 1'-0"

A12

GENERAL NOTES

- A. EACH SUB-CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT PRIOR TO THE BEGINNING OF CONSTRUCTION.
- B. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF FOUNDATION STEEL WALL AT FOUNDATION. EXTERIOR WALL FRAMING TO BE ALIGNED VERTICALLY FROM FLOOR TO FLOOR UNLESS OTHERWISE NOTED.
- C. VERIFY ALL EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN. OTHERWISE NOTED.
- D. ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- E. SEE ENLARGED STAIRWAY PLANS AND STAIRWAY SECTIONS FOR ALL STAIRWAY NOTES AND DIMENSIONS.
- F. SEE UNIT TYPE ENLARGED FLOOR PLANS FOR ALL UNIT DIMENSIONS, FINISHES AND FOR LOBBY AND HALLWAY GALLOTTIS.
- G. VERIFY ALL CONDITIONS AND PENETRATION OF FIRE RESISTIVE CONSTRUCTION TO CORRESPOND WITH THE STAIRWAY AND LISTED ASSEMBLIES TO BE PROVIDED TO FIELD INSPECTOR.
- H. VERIFY ALL FINISHES AND CONDITIONS TO BE INSTALLED TO BE IN ACCORDANCE WITH THE ARCHITECT'S INTENT TO ALL BUILDING CODES, BUILDING STANDARDS AND CONFORM TO ALL BUILDING CODES.
- I. FOR EXTENTS OF FIRE RATED CONSTRUCTION, SEE FIRE RATED CONSTRUCTION PLANS AND BUILDING CODE SUMMARY.
- J. ALL FINISHES, DIMENSIONS, AND NOTES TYPICAL UNLESS OTHERWISE NOTED.
- K. SEE SITE PLANS FOR CONTINUATION OF SIDEWALKS AT BUILDING.
- L. GRADES AT ENTRY DOORS TO BE MORE THAN 1/8" IN ALL DIRECTIONS FOR A MINIMUM DISTANCE OF 5'-0" PERPENDICULAR TO DOORS.
- M. ELECTRICAL METERS AND PANELS. VERIFY EXACT LOCATIONS WITH UTILITY AND ELECTRICAL DRAWINGS.
- N. ELECTRICAL PANEL ENCLOSURES PER ELECTRICAL DRAWINGS.

SHEET NOTES

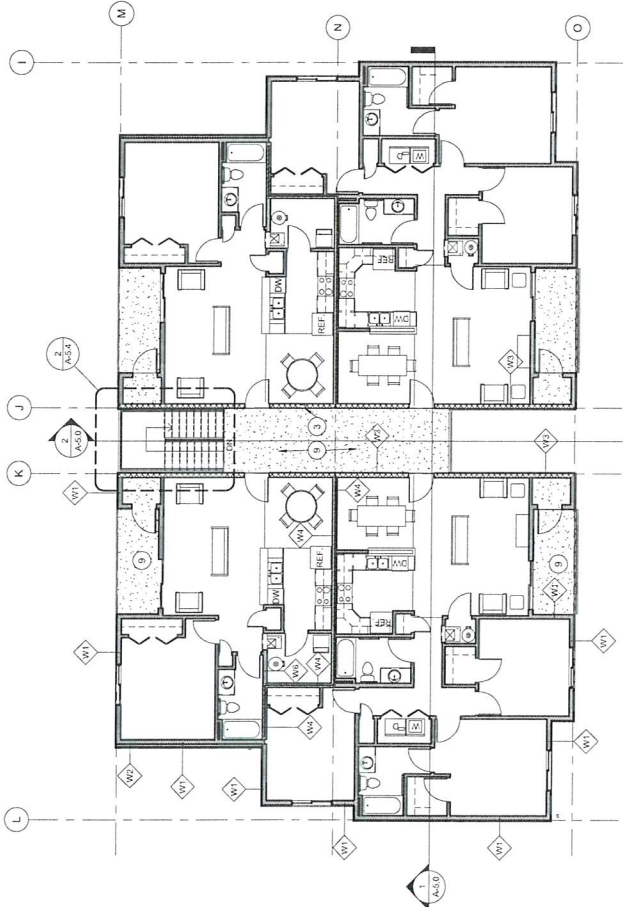
- 1 FIRE SPRINKLER RISER ROOM. PROVIDE RISER ROOM ON EXTERIOR OF THE FLOOR IN ONE-INCH LETTER SIZING FIRE RISER ROOM IN COMPLIANCE WITH THE INTERNATIONAL FIRE CODE. VERIFY EXACT LOCATION WITH THE FIRE MARSHAL. REFER TO SITE PLAN FOR LOCATION OF RISK POINT OF THE BUILDING DESIGNATED BY FIRE SPRINKLER CONTRACTOR.
- 2 FIRE EXTINGUISHER CABINET. SEE 1 / A-5.3
- 3 DOMESTIC WATER RISER. SEE PLUMBING DRAWINGS.
- 4 ELECTRICAL METERS - REFER TO ELECTRICAL DRAWINGS.
- 5 PHONE/CABLE REFER TO ELECTRICAL DRAWINGS.
- 6 SLAB ON GRADE CONCRETE PATIO - REFER TO ENLARGED PLANS
- 7 STEEL STRINGERS WITH PRE-CAST CONCRETE STAIR TREADS. PROVIDE FINISHES PER DETAILS ON STAIR SHEET.
- 8 LIGHTWEIGHT CONCRETE DECK AT UPPER LEVEL PATIO AND BREEZEWAY AREAS - PROVIDE GUARDRAIL PER DETAILS.
- 9 HEAT PUMP UNIT PER MECHANICAL DRAWINGS. ON 4" CONCRETE SLAB WITH 3 FT. TALL VINYL FENCE SCREEN.
- 10 BREEZEWAY WITH CONCRETE WALK - SLOPE PER CIVIL.
- 11 CONSTRUCT CHASE WALLS AS NECESSARY FOR ELECTRICAL PLUMBING OR FIRE SPRINKLER MAIN LINES. PROVIDE FIRE STOPPING AT EACH FLOOR LINE.

WALL LEGEND

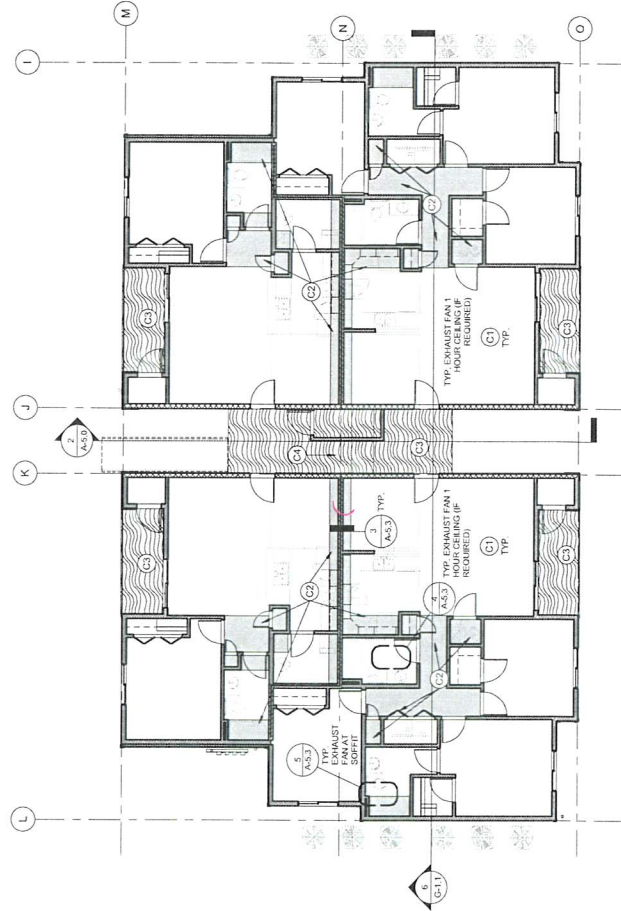
TYPE	DESCRIPTION
W1	EXTERIOR 2x6 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W1 / A-5.3
W2	2x4 ELECTRICAL UTILITY WALL. REFER TO WALL CONSTRUCTION DETAIL W2 / A-5.3
W3	1 HOUR RATED FIRE BARRIER AT STAIRS. REFER TO CONSTRUCTION DETAIL W3 / A-5.3
W4	1 HOUR RATED 2x6 PARTY WALL WITH RESILIENT CHANNEL. REFER TO CONSTRUCTION DETAIL W4 / A-5.3
W5	TYPICAL INTERIOR 2x4 FRAMED WALL. REFER TO CONSTRUCTION DETAIL W5 / A-5.3
W6	TYPICAL 2x6 PLUMBING WALL. REFER TO CONSTRUCTION DETAIL W6 / A-5.3 SIM.

CEILING NOTES

- C1 DRY BID CEILING AS BOTTOM LAYER OF ONE HOUR ASSEMBLY. REFER TO FLOOR TYPE CONSTRUCTION DETAILS. TYP. AT ALL LEVELS UNLESS NOTED.
- C2 DROP CEILING AREA TO CONCEAL PIPE INFRASTRUCTURE AND DUCTWORK. DROP CEILING TO BE A CONSTRUCTION OF 1-HOUR RATED FLOOR CEILING ASSEMBLY. REFER TO 307 / A-5.3. BID OVER RESILIENT CHANNEL OVER 2x4 WOOD FRAMING.
- C3 HARDBOARD SOFFIT FINISH OVER DECK FRAMING.
- C4 HARDBOARD SOFFIT OVER DROPPED CEILING AREA TO CONCEAL PIPES AND DUCTWORK AS NECESSARY.
- C5 LINE OF DEEP BEAM PER STRUCTURAL. WRAP BOTTOM OF BEAM TO MAINTAIN CONTINUOUS FIRE RATING OF ASSEMBLY.



1 TYPICAL 3RD FLOOR PLAN
1/8" = 1'-0"



2 TYPICAL CEILING PLAN
1/8" = 1'-0"

AMZ

GENERAL NOTES

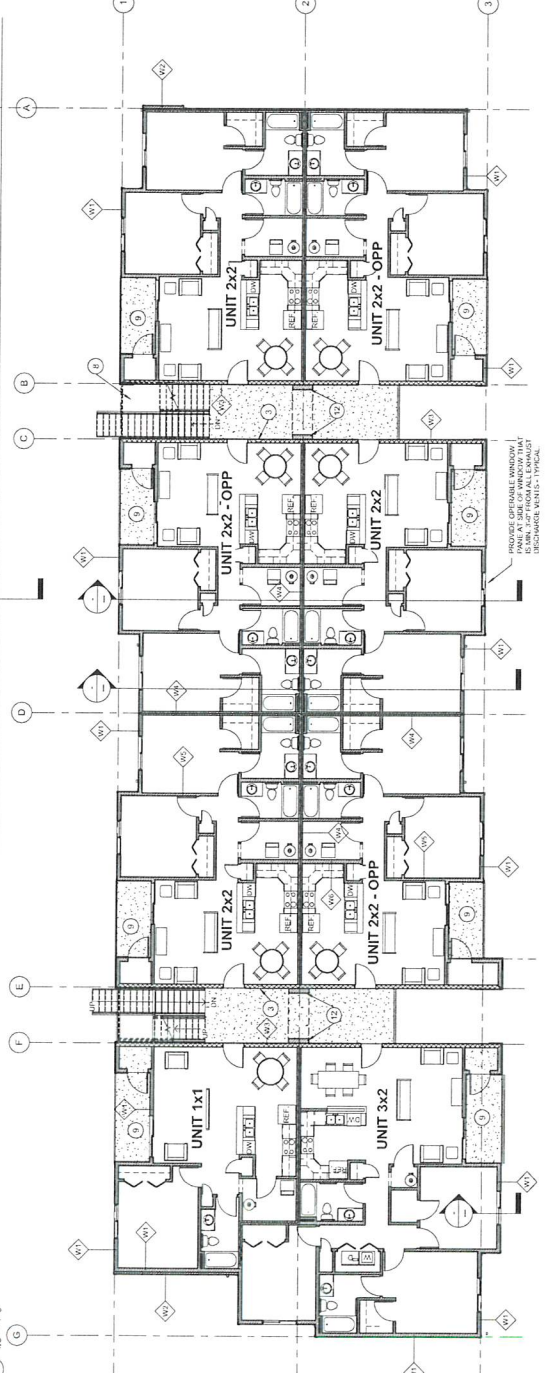
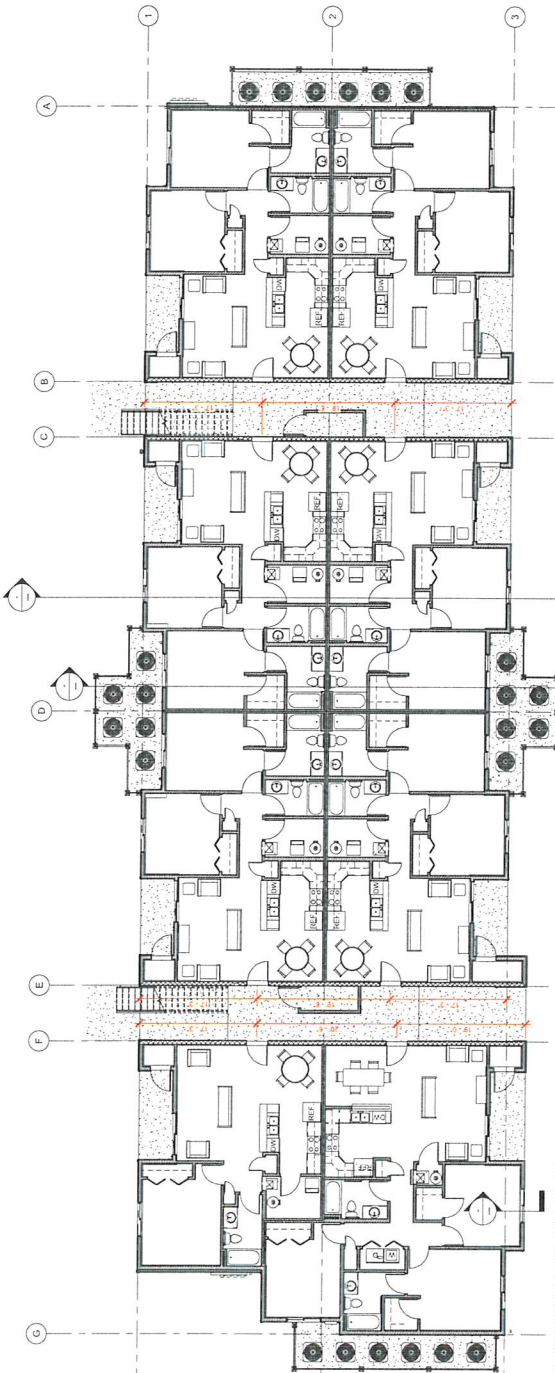
- A. LAST-SUB-CONTRACTOR BASIS SHALL VERIFY PLUMBING CONDITIONS AND REPORT TO THE CONTRACTOR WITH THE DRAWING TO THE ARCHITECT.
- B. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF FOUNDATION STRUCTURE WALL UNLESS NOTED OTHERWISE. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF INTERIOR WALL UNLESS NOTED OTHERWISE. ALL DIMENSIONS FOR FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE.
- C. VERIFY ALL EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN. ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- D. SEE ENRICHED STAIRWAY PLANS AND STAIRWAY SECTIONS FOR ALL STAIRS AND RAMP.
- E. VERIFY THE FINISH FLOOR FINISH FOR ALL UNIT DIMENSIONS.
- F. ANY THROUGH OR MEMBRANE PENETRATION OF FIRE-RATED CONSTRUCTION TO COMPLY WITH ALL IBC SECTIONS 716. SHALL BE PROVIDED TO FIELD INSPECTOR.
- G. ALL FIRE-RATED PARTITIONS AND COMPONENTS TO BE INSTALLED TO BE IN ACCORDANCE WITH ALL IBC SECTIONS 716. SHALL BE PROVIDED TO FIELD INSPECTOR.
- H. FOR EXTENTS OF FIRE RATED CONSTRUCTION, SEE FIRE RATED CONSTRUCTION PLAN AND NOTES TYPICAL UNLESS OTHERWISE NOTED.
- I. SEE SITE PLAN FOR CONTINUATION OF SIDEWALKS AT BUILDING. CHANGES AT ENTRY DOORS TO BE MINORIC THAN 15% WALL DIMENSIONS FOR A MINIMUM DISTANCE OF 2'-0" PERPENDICULAR TO DOORS.
- J. ELECTRICAL METERS AND PANELS VERIFY EXACT LOCATIONS WITH UTILITY AND ELECTRICAL DRAWINGS.
- K. ELECTRICAL PANEL ENCLOSURES PER ELECTRICAL DRAWINGS.

SHEET NOTES

1. FIRE RATED HIGH RISE ROOM, PROVIDE SECTION ON EXTENSION OF THE DOOR IN THE FINISH FLOOR AND WITH THE APPROVAL OF THE FIRE INSURANCE COMPANY. REFER TO SHEET FOR LOCATION OF ROOM FOR EACH BUILDING.
2. FIRE RATED HIGH RISE ROOM, PROVIDE SECTION ON EXTENSION OF THE DOOR IN THE FINISH FLOOR AND WITH THE APPROVAL OF THE FIRE INSURANCE COMPANY. REFER TO SHEET FOR LOCATION OF ROOM FOR EACH BUILDING.
3. FIRE RATED HIGH RISE ROOM, PROVIDE SECTION ON EXTENSION OF THE DOOR IN THE FINISH FLOOR AND WITH THE APPROVAL OF THE FIRE INSURANCE COMPANY. REFER TO SHEET FOR LOCATION OF ROOM FOR EACH BUILDING.
4. DOMESTIC WATER HERE, SEE PLUMBING DRAWINGS.
5. ELECTRICAL METERS - REFER TO ELECTRICAL DRAWINGS.
6. HONEY CABLE REFER TO ELECTRICAL DRAWINGS.
7. SUI ON GRADE CONCRETE 1'-10" HIGHER FOR ENRICHED PLANS.
8. STEEL STRONGFLOM WITH PRECAST CONCRETE START TREADS. PATENTED FOR USE ON 3" MAX. SHIFTS.
9. LIGHTWEIGHT CONCRETE DECK AT UPPER LEVEL W/ AND NO REINFORCEMENT FOR CORRIDOR PER IBC. ON 4" CORRIDOR FF SHALL WITH 3" FT. TAIL WALL FENC. SCREEN.
10. BREAKAWAY WITH CONCRETE WALK - IS ONE PER CIVIL.
11. CONSTRUCT CHASE WALLS AS NECESSARY FOR ELECTRICAL, PLUMBING OR FIRE SUPPRESSOR MAINLINES. PROVIDE FIRE STOPPING AT EACH FLOOR LINE.

WALL LEGEND

TYPE	DESCRIPTION
W1	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W1 / A5.3
W2	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W2 / A5.3
W3	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W3 / A5.3
W4	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W4 / A5.3
W5	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W5 / A5.3
W6	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W6 / A5.3
W7	EXTERIOR 246 BEARING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W7 / A5.3



A12

GENERAL NOTES

- A. EACH SUBCONTRACTOR TRADE SHALL VERIFY EXISTING CONDITIONS AND PRIOR TO THE BEGINNING OF CONSTRUCTION.
- B. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF FOUNDATION SILEM WALL. AT FOUNDATION EXTERIOR WALL FINISHING TO BE ADJUSTED VERTICALLY FROM FLOOR TO FLOOR LEVELS WHERE APPROPRIATE.
- C. VERIFY FLOOR EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN.
- D. ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD LINE.
- E. SEE FINISHES SCHEDULE FOR FINISHES AND STAIRWAY SECTIONS FOR ALL STAIRWAY NOTES AND DIMENSIONS.
- F. KEYLINE TIME CHANGED TO CONFORM TO ALL LINE DIMENSIONS, KEYNOTES AND FOR DOOR AND WINDOW CALLOUTS.
- G. ANY THROUGH MEMBRANE PENETRATION OF FIRE RESISTIVE STOPPING DETAIL SHEETS, TESTED AND LISTED ASSEMBLIES TO BE PROVIDED BY FIELD CONTRACTOR. VERIFY ALL FINISHES TO BE ACCORDANT WITH THE MANUFACTURER'S RECOMMENDATION. ALL FINISHES TO BE SHOWN THROUGHOUT AND TO ALL BUILDING CODES.
- H. CONSTRUCTION OF FIRE RATED PENETRATION SHALL BE WATERTIGHT AND SHALL BE SHOWN THROUGHOUT AND TO ALL BUILDING CODES.
- I. CONSTRUCTION OF FIRE RATED PENETRATION SHALL BE WATERTIGHT AND SHALL BE SHOWN THROUGHOUT AND TO ALL BUILDING CODES.
- J. VERIFY ALL DIMENSIONS, NOTES, TYPICAL LINES, OTHER NOTES, AND NOTES TO ALL BUILDING CODES.
- K. SEE SITE PLANS FOR CONTINUATION OF SEWERWORK AT BUILDING.
- L. DIMENSIONS AT ENTRY DOORS TO BE NO MORE THAN 1/2 IN. IN ALL DIRECTIONS UNLESS OTHERWISE NOTED OR INDICATED TO DOORS.
- M. VERIFY ALL DIMENSIONS, NOTES, TYPICAL LINES, AND ELECTRICAL DRAWINGS.
- N. ELECTRICAL PANEL ENCLOSURES PER ELECTRICAL DRAWINGS.

SHEET NOTES

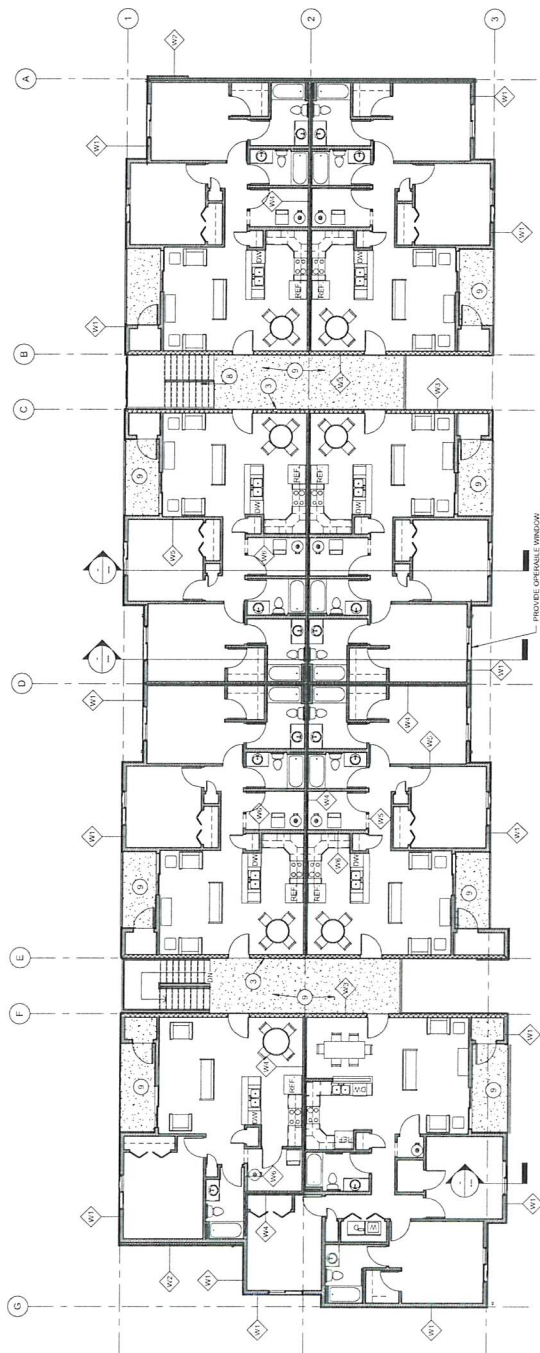
- 1. FIRE SPRINKLER RISER ROOM PROVIDE SIGN ON EXTERIOR OF THE DOOR IN ONE INCH LETTERS STATING FIRE RISK ROOM IN COMPLIANCE WITH THE INTERNATIONAL FIRE CODE. REFER TO THE MAIN FLOOR PLAN FOR EACH BUILDING.
- 2. SPRINKLER SYSTEM FIRE DEPARTMENT CONNECTION LOCATION, DESIGNATED BY THE SUBCONTRACTOR.
- 3. THE EXTINGUISHER CABINET IS 1' x 4.5'
- 4. DOMESTIC WATER RISER SEE PLUMBING DRAWINGS.
- 5. ELECTRICAL METERS - REFER TO ELECTRICAL DRAWINGS.
- 6. PHONE CABLE REFER TO ELECTRICAL DRAWINGS.
- 7. SLAB ON GRADE CONCRETE FINISH - REFER TO ENGRAINED PLANS.
- 8. STEEL STRINGERS WITH PRECAST CONCRETE STAIR TREADS - REFER TO ENGRAINED PLANS AND ELECTRICAL DRAWINGS.
- 9. LIGHTWEIGHT CONCRETE DOCK AT UPPER LEVEL FINISH AND BROADCAST AREAS - PROVIDE GUARDRAIL PER DETAILS.
- 10. BRIDGEWAY WITH CONCRETE WALK - SLOPE PER CIVIL.
- 11. BRIDGEWAY WITH CONCRETE WALK - SLOPE PER CIVIL.
- 12. CONSTRUCT CHASE WALLS AS NECESSARY FOR ELECTRICAL PLUMBING OR FIRE SPRINKLER METERS. PROVIDE FIRE STOPPING AT EACH LOCATION.

WALL LEGEND

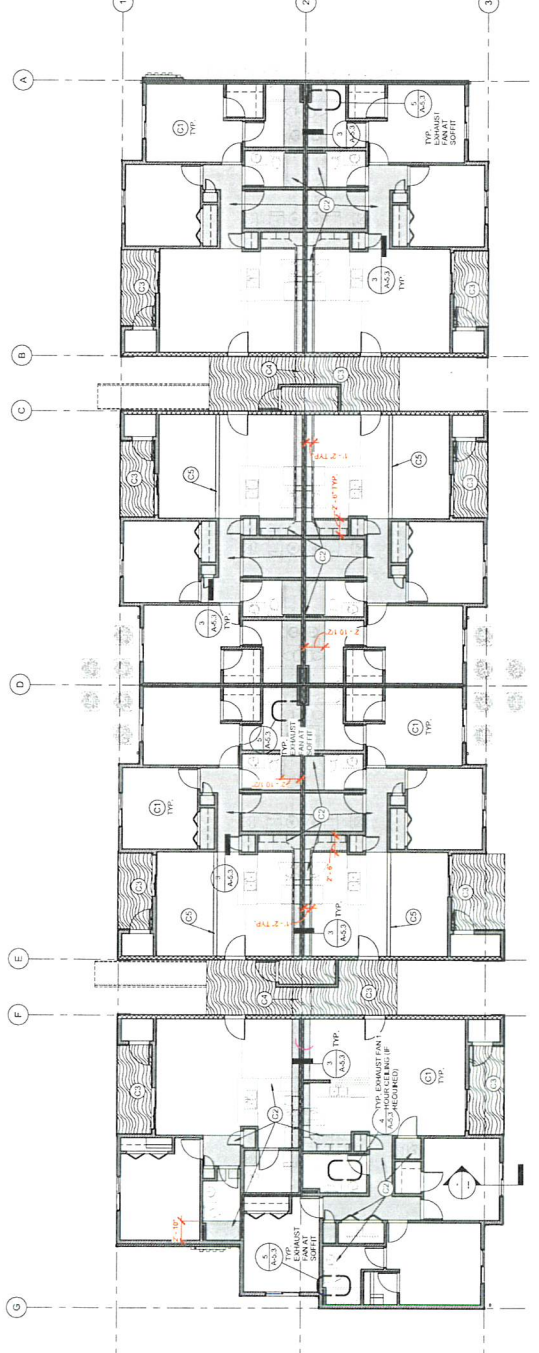
TYPE	DESCRIPTION
W1	FIRE RESISTING WALL PER STRUCTURAL. REFER TO WALL CONSTRUCTION DETAIL W1 / A5.3
W2	24" ELECTRICAL FINISHING WALL. REFER TO WALL CONSTRUCTION DETAIL W2 / A5.3
W3	1/2" BORE WATER PIPE BARRER PER METERS. REFER TO CONSTRUCTION DETAIL W3 / A5.3
W4	1/2" BORE WATER PIPE BARRER PER METERS. REFER TO CHANNEL. REFER TO CONSTRUCTION DETAIL W4 / A5.3
W5	TYPICAL 24" FRAMED WALL. REFER TO TYPICAL CONSTRUCTION DETAIL W5 / A5.3
W6	TYPICAL 24" PLUMBING WALL. REFER TO CONSTRUCTION DETAIL W6 / A5.3 SIM.

CEILING NOTES

- 1. GYP. BOARD CEILING AS BOTTOM LAYER OF ONE HOUR ASSEMBLY. REFER TO OTHER FINISHES CONSTRUCTION DETAILS. TYP. AT ALL CEILING UNLESS NOTED OTHERWISE.
- 2. GYP. BOARD CEILING TO CONFORM WITH PERMITS AND STRUCTURAL ASSEMBLY. 1/2" GYP. BOARD OVER FIRE RESISTANT CHANNEL. REFER TO OTHER FINISHES CONSTRUCTION DETAILS.
- 3. HANDMADE SOFFIT FINISH OVER DOCK FRAMING.
- 4. HANDMADE SOFFIT OVER DRIPPED CEILING AREA TO CORRELATE PRESS AND CONDUIT AS NECESSARY.
- 5. CONDUIT AND PRESS TO BE MAINTAINED TO BOTTOM OF BEAM TO MAINTAIN CLEARANCE TO CEILING.



1 TYPICAL 3RD FLOOR PLAN
1/8" = 1'-0"



2 TYPICAL CEILING PLAN
1/8" = 1'-0"

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