



Planned Unit Development Application

PO Box 13 | 751 W 4th Street | Kuna, ID 83634

(208) 922-5546 | www.KunaCity.ID.gov

Kuna City Code (KCC) Title 5, Chapter 9, Part 11

Application shall contain the following:

	Description	File Naming Convention	Submitted (✓/✗)
			(Staff Use Only)
	Completed & signed P&Z Application Coversheet	Application Coversheet	
	Completed & signed Planned Unit Development Application	PUD Application	
	Completed & signed Preliminary Plat Application	Preliminary Plat Application	
	Completed & signed Design Review Application	Design Review Application	
n/a	Completed & signed Annexation Application (if applicable)	Annexation Application	
n/a	Completed & signed Rezone Application (if applicable)	Rezone Application	
	Narrative describing the project, design elements, serviceability, amenities, and any other deviations from KCC	Narrative	
	Vicinity map showing the relationship of the proposed plat to the surrounding area (one-half-mile minimum radius, scale optional)	Vicinity Map	
	Recorded Deed for parcel(s)	Deed	
	Affidavit of Legal Interest if the individual submitting this application is not the Owner of Record; one (1) Affidavit is required for each Owner of Record	Affidavit(s)	
	Legal description of PUD area: Include metes & bounds description to the section line of all adjacent roadways; stamped & signed by a registered professional Land Surveyor; calculated closure sheet; and map showing the boundaries of the legal description	Legal Description	
	Neighborhood Meeting Certification Form	Neighborhood Meeting Certification	
	Signed Commitment to Property Posting form	Commitment to Property Posting	
	A natural features map showing an inventory of existing site features The following items are requirements of the natural features map:	Natural Features Map	

<ul style="list-style-type: none"> • Ground elevations shown by contour lines at two-foot intervals or less - five-foot intervals may be accepted for slopes greater than ten (10) percent 		
<ul style="list-style-type: none"> • General soil types as documented by a soils engineer or engineering geologist 		
<ul style="list-style-type: none"> • Hydrology: Analysis of natural drainage patterns and water resources including an analysis of streams, natural drainage swales, wetlands, floodplain areas or other areas subject to flooding, poorly drained areas, permanent high groundwater areas, and seasonally high groundwater areas as they may be located on-site or be affected by on-site activity 		
<ul style="list-style-type: none"> ○ Proposed and existing stormwater facilities 		
<ul style="list-style-type: none"> ○ Water conveyance facilities 		
<ul style="list-style-type: none"> ○ Water features, such as ponds, wetlands and permanent or intermittent watercourses 		
<ul style="list-style-type: none"> ○ Areas subject to flooding 		
<ul style="list-style-type: none"> • Natural features, such as trees, vegetation and groundcover, historic sites, major rock outcroppings, and similar type amenities 		
<ul style="list-style-type: none"> • Sanitary sewer, storm drainage and water supply facilities. If such facilities are not on or abutting the site, indicate the direction and distance to the nearest such facilities 		
<ul style="list-style-type: none"> • Width, location and purpose of all existing easements of record on/and abutting the site 		
<ul style="list-style-type: none"> • A map describing land areas contiguous within three hundred (300) feet and adjacent to the proposed PUD, including zoning classifications, land uses, densities, circulation systems, public facilities, unique natural features, and approximate locations of nearby structures 		
<p>Site plan</p> <p>The following items are requirements of the site plan:</p>	PUD Site Plan	

<ul style="list-style-type: none"> The locations of all existing and proposed dwelling units and/or individual lots 		
<ul style="list-style-type: none"> Location of major streets 		
<ul style="list-style-type: none"> The proposed yard requirements or locations of single-family homes for individual lots 		
<ul style="list-style-type: none"> The existing and proposed traffic circulation system serving the PUD including, off-street parking and maneuvering, points of access to existing public rights-of-way, and a plan notation or descriptive narrative outlining ownership of streets and parking areas 		
<ul style="list-style-type: none"> The existing and proposed pedestrian and bicycle circulation system 		
<ul style="list-style-type: none"> Conceptual plans for all services including their location and whether the services will be publicly or privately owned and maintained, including the location of utilities connections. Note: Any services intended to be privately owned (sewer, water, street, etc.) requires the city engineer's prior review and approval 		
<ul style="list-style-type: none"> Proposed location and treatment of any public or private common areas or structures including open spaces, park or recreation areas, and school sites 		
<ul style="list-style-type: none"> The general landscape treatment proposed along the site's periphery and in accordance with provisions of the city's landscape ordinance 		
<ul style="list-style-type: none"> The approximate amount, location and type of buffering and/or landscaping 		
<ul style="list-style-type: none"> Proposed architectural styles 		
<ul style="list-style-type: none"> The subdivider may be required to submit proposed restrictive covenants, in outline form 		

PUD Information

1. Are reduced setbacks being requested? ☐ YES ☒ NO

If YES, please provide the proposed setbacks for each of the following:

FRONT – GARAGE	
FRONT – LIVING	
BACK	

SIDES	
-------	--

2. PUD Amenities (check all that apply): ☐ Playground(s) ☒ Sport Court(s) ☐ Sports Field(s)
☒ Swimming Pool(s) ☒ Clubhouse ☒ Pathways ☒ School Sites ☒ Dog park
3. Are there any proposed pedestrian amenities such as bike racks; trash receptacles; benches; drinking fountains; etc.? ☒ YES ☐ NO

If Yes, please list: There will be trash receptacles for the dog park. Likely to include benches and other pedestrian amenities, but not determined at this point.

4. What is the current land use? Undeveloped
5. What are the land uses of the adjoining properties?

NORTH	Single-family residences and undeveloped land
SOUTH	Single-family residential subdivision, daycare and undeveloped land
EAST	Indian Creek Sports, Meridian Road, single-family residences, undeveloped land
WEST	Single-family residential subdivision and undeveloped land

6. Are there any irrigation ditches/canals on or adjacent to the property? ☒ YES ☐ NO

If YES, which irrigation district? Boise Project Board of Control, NY Irrigation District

7. What is the proposed method of on-site drainage retention/detention?
Storm drainage from the public roadways shall be collected with curb and gutter and routed to discharge to seepage beds. The seepage bed sizes and locations are preliminary and will be refined during final design.

8. % of site devoted to building coverage: TBD

9. % of site devoted to landscaping: TBD Sq. Ft.: _____

10. % of landscaping within parking lot(s): TBD

11. Provide dimensions of landscaped areas within public ROW: TBD

12. Are there any existing trees of 4-inch or greater in caliper? ☐ YES ☒ NO

If Yes, please provide type, size & indicate location on Landscape Plan.

13. % of site that is hard surface: TBD Sq. Ft.: _____

14. % of site devoted to other uses: TBD Please describe: _____

If the Director or their designee determine that an application is incomplete, they shall provide notice to the applicant of such deficiencies. In the event an applicant fails to provide the missing information within a period of 14 calendar days, the application shall be deemed to have expired, and will not be further processed by the City unless and until an entirely new application is submitted.

All file naming conventions shall be followed. In the event the file naming conventions are not adhered to the application submittal will be rejected.

Applicant Signature: Stephanie Hopkins Date: April 4, 2025

By signing, you affirm this form has been completed in its entirety and all supporting documents shall be uploaded within 14 days of receipt of the link provided by staff.

April 4, 2025
Project No.: 22-020

Mr. Doug Hanson
Planning & Zoning Director
City of Kuna
751 W. 4th Street
Kuna, Idaho 83634

RE: Napa Vineyards – Kuna, Idaho
Preliminary Plat, Planned Unit Development and Design Review Application

Dear Mr. Hanson:

On behalf of NE Kuna Farm LLC and Open Door Rentals LLC, and/or their assigns, we are pleased to present a preliminary plat, planned unit development (“PUD”) and design review application for Napa Vineyards. This is a mixed-use residential and commercial community spanning from West Columbia Road south to West Hubbard Road between Meridian Road and a collector roadway that will be partially constructed with the development, Kay Avenue.

With this preliminary plat and PUD application, we seek to align with the approved development agreement (“DA”) to accommodate a mix of commercial and residential uses. The DA was modified via a City Council hearing on October 15, 2024. The modification request was consistent with the previously approved PUD and Development Agreement (the “**Original Approvals**”) while providing key updates and modernizations consistent with Kuna City Code and the Kuna Comprehensive Plan.



Figure 1

Site Information

The property is approximately +/- 242 acres identified as parcel numbers S1312212400, R7135690180, and S1312417410 and spans from Columbia Road to Hubbard Road, west of Meridian Road and adjacent to the future Kay Avenue (the “Property”). The site is currently zoned R-6, R-20, C-1 and C-3 and previously included a PUD (planned unit development) overlay within the City of Kuna (“City”).

Background

The Property was annexed into the City in 2009. At that time, a mixed-use residential-commercial PUD was approved on the Property and the then-current owner entered into a development agreement approving R-6, R-20, C-1 and C-3 zoning. The DA was recorded as instrument number 109047091 in 2009.

Since that time, several of the City and ACHD’s standards and best practices have changed, which resulted in the need for an updated development agreement. City Council agreed to the update and thus, the preliminary plat and planned unit development application closely follows requirements included in the modified DA.



Figure 2

Planned Unit Development Application

Napa Vineyards is presented as a PUD to support the proposed design and in conformance with its prior approval and the recently modified DA. The proposed PUD will create an efficient layout to integrate the uses proposed, while meeting a demand for housing and commercial options in this part of Kuna. In alignment with Goal 3.D and Objective 3.D.2 of the Comprehensive Plan, Napa Vineyards proposes to provide housing options and a strong neighborhood by utilizing a PUD to create a neighborhood-serving mixed-use and commercial activity center.

In alignment with City Code § 5-8-1106, the Napa Vineyards PUD proposes a mix of residential, commercial, office uses, and recreational space. The community boasts a variety of building types and densities, ample open space, and clustered higher density housing.

A PUD is requested to accommodate the “parkside” product planned within northern and southern portions of the R-6 district in the development, as allowed by City Code § 5-8-1104. The parkside lots range in size from 3,600 square feet to 5,400 square feet, with an average lot size of 4,099 square feet. A

portion of the overall 254 parkside lots sit below the minimum 4,000 square feet required in the R-6 district at 3,600 square feet.

Preliminary Plat

Consistent with the mixed-use, commercial, and medium-density residential FLUM designations and Meridian Road's designation as an Entryway Corridor in Kuna's Comprehensive Plan, Napa Vineyards proposes commercial and multi-family uses along both its Meridian Road and Hubbard Road frontages.

Napa Vineyards includes a diverse mix of housing in accordance with the Original Approvals and recently modified DA. The multi-family area is zoned R-20, and is located just north of the commercial area, between Meridian Road and the interior single-family homes.

The northern and central areas of the development contain single-family residences, a school donation site and a park donation site located within the R-6 district, in accordance with the medium-density residential and mixed use FLUM designation over these portions of the Property. A fire station donation site, zoned P, is located south of Columbia Road, east of the future Kay Avenue.

Overall, 653 lots are proposed within the 85.85-acre R-6 district area.¹ Lots will vary in size with four distinguished lot types proposed in the R-6 zone, allowing for varying housing types. These include "Courtyard", "Parkside", and "Traditional" detached Single Family Residential (50' x 110' and 70' x 115'). The following table provides a breakdown of proposed lot statistics within the R-6 district. Figure 3 depicts lot type location indicated with correlating colors.

R-6 ZONING DISTRICT			
Lot Type:	<i>Parkside (Alley-Load)</i>	<i>Courtyard</i>	<i>SFR (Traditional)</i>
Acreage:	+/- 23.90 acres	+/- 2.77 acres	+/- 59.18 acres
# of Lots:	254	24	375
Min. Lot Size:	3,600 sq. ft.	4,200 sq. ft.	5,400 sq. ft.
Max. Lot Size:	5,400 sq. ft.	6,150 sq. ft.	14,187 sq. ft.
Average Lot Size:	4,099 sq. ft.	5,025 sq. ft.	7,611 sq. ft.

Each lot type has been strategically placed throughout the development and are consistent with the concept plan included in the recently modified DA. Traditional detached single-family lots are located in the northwest portion of the development, just east of the Paloma Ridge Subdivision and within a portion of the south part of the development, indicated in yellow in Figure 3. Parkside single-family lots are located within the northern part of the development adjacent to the future fire station lot and abutting the future school and park lots, indicated in orange in Figure 3. Courtyard lots are depicted with purple directly next to the future school lot to provide a unique unit type.

Approximately 19.33 acres of Napa Vineyards has been set aside for commercial development, of which 1.84 acres is zoned C-1 (pink in Figure 3) and 17.49 acres is zoned C-3 (red in Figure 3). The C-3 district is ideally situated to provide a buffer between the single-family homes to the west and additional commercial opportunities along the busy Meridian Road/Highway 69 corridor. The C-3 area includes 8 buildable lots. The C-1 district includes one buildable lot in the northwest corner of the development.

¹ The Original Approvals allowed for 654 residential lots.

Proposed commercial lots will provide opportunities for neighborhood serving uses within a walkable distance to proposed residences within Napa Vineyards and adjacent residential development.

Napa Vineyards features a 2.08-acre lot that will be donated to the Kuna Rural Fire District (depicted in blue in Figure 3) and an 11.28-acre area that will be donated as two separate lots for a public school and park (depicted in light orange in Figure 3). The Original Approvals included the Fire donation property on the far western edge of the development. Since that time, and in concert with Kuna Rural Fire District, the lot has been moved to the southeast corner of Columbia Road and Kay Road. After discussions with the Kuna School District, the school site has been moved from an interior location on local roads to the intersection of Kay Avenue and Mason Creek Road, two new collector road extensions abutting and through the project.

Three lots comprise the multi-family area, making up a total of approximately 39.59 acres as depicted in gray in Figure 3. Within these multi-family lots, no more than 842 multi-family units are allowed per the Original Approvals and the updated DA. The multi-family component of the development is proposed to develop within a later phase of the overall development.

Density

The overall net density of the R-6 residential portion of the project is 4.05 dwelling units per acre excluding the 11.28-acres comprising the school and park sites. Including both lots, the net density for the R-6 residential portion of the project is 3.79 dwelling units per acre. Although a specific number of units is not currently proposed for the R-20 area, if 842 units are proposed as permitted with the original DA, the net density would be approximately 21.27 dwelling units per acre.

Public Infrastructure

The Mason Creek trunkline, which provides critical sewer infrastructure and connectivity in this area of Kuna, bisects the Project. All public infrastructure services and requirements are located within or adjacent to the project site.

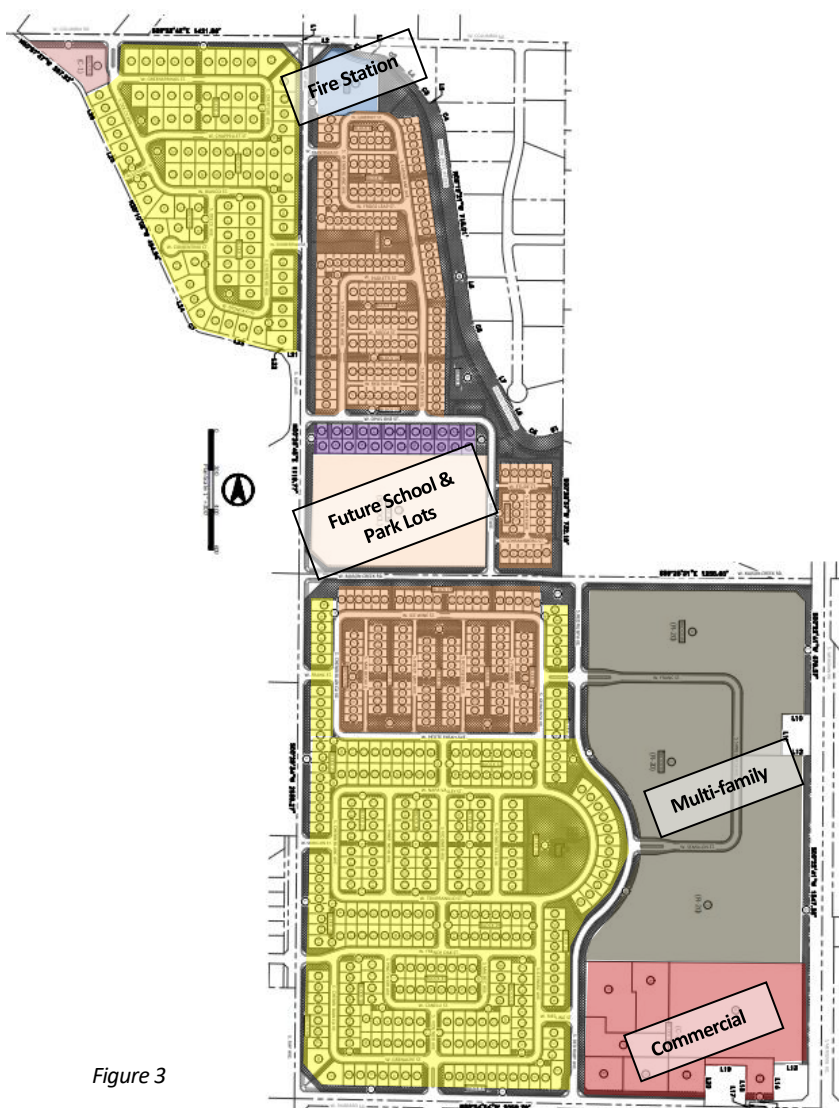


Figure 3

Services

The property is less than 2 miles from downtown Kuna, which puts it in proximity to the area's schools, the Kuna Library, and various parks among other services and amenities. Kuna High School is located less than 1.5 away. Silver Trail Elementary and Fremont Middle School are both approximately 2 miles away. As mentioned, the developer proposes to donate an 11.28-acre area for a future school and park which will provide an easily accessible option for future residents within the community.

Various churches, preschools and daycares are also nearby, which will serve and be supported by future residents, and complement future commercial uses planned within Napa Vineyards.

Sewer and water infrastructure exists, and extension is planned to the Property, and development of Napa Vineyards will allow the critical extension of the Mason Creek sewer trunkline.

Access and Connectivity

The development will be accessed via two entrances on Columbia, including Kay Avenue (a collector road) and Dolce Avenue (a local street); three entrances on Hubbard, including Kay Avenue, Viognier Avenue and Red Ruby Avenue (both local streets); and Mason Creek Road (a new collector bisecting the property from east to west), will connect Meridian Road to Kay Avenue. The internal road network is designed to provide efficient movement, incorporating frontage and backage roads to alleviate traffic experienced on SH-69 and adjacent collector roadways.

A traffic impact study (TIS) has been accepted by ACHD and is currently under ITD review. Traffic improvements are significant and include the following:

- SH 69/Lake Hazel
 - Widen Lake Hazel to 2 through lanes in each direction
 - Widen SH 69 to 3 through lanes in each direction
 - Exclusive right turn lanes on the eastbound and westbound approaches
- SH 69/ Columbia
 - Widen Columbia Road to two through lanes in each direction
 - Install dual eastbound left turn lanes
 - Widen SH 69 to 3 through lanes in each direction
 - Construct an exclusive eastbound right turn lane
- SH 69/Hubbard
 - Widen SH 69 to three through lanes
 - Construct dual eastbound left-turn lanes
- SH 69/Deer Flat Road
 - Install an overlap signal head for the southbound right lane and adjust signal timing accordingly
 - Construct dual eastbound left-turn lanes
- SH 69/Kuna Road
 - Install a traffic signal or multi-lane roundabout
- Kay Avenue/Deer Flat Road
 - Install a traffic signal or a multi-lane roundabout

- Linder Road/Columbia Road
 - Install exclusive right turn lanes with overlap signals for the northbound and eastbound approaches
- Kay Avenue/Hubbard Road
 - Install a traffic signal or a single-lane roundabout
- Columbia Road (Linder to SH 69)
 - Widen to a 5-lane section
- Hubbard Road (Linder to SH 69)
 - Widen to a 5-lane section
- Kay Avenue/Columbia Road
 - Install a traffic signal or a single lane roundabout

All roadways within the subdivision, including alleyways serving alley-load product, will be improved to ACHD standards and will be owned and maintained by ACHD.

Project Phasing

Napa Vineyards is proposed to be constructed in eleven phases, as estimated with the schematic schedule below.

If approved, the applicant plans to begin construction in the Spring of 2026. It is estimated that one phase will occur each year after. The timing of subsequent phases will be market-driven; the current anticipated construction timing is summarized below.

<i>Phase #</i>	<i>Estimated Construction Start Date*</i>
Phase 1	2026
Phase 2	2027
Phase 3	2028
Phase 4	2029
Phase 5	2030
Phase 6	2031
Phase 7	2032
Phase 8 (multi-family)	2033
Phase 9 (C-3 commercial)	2034

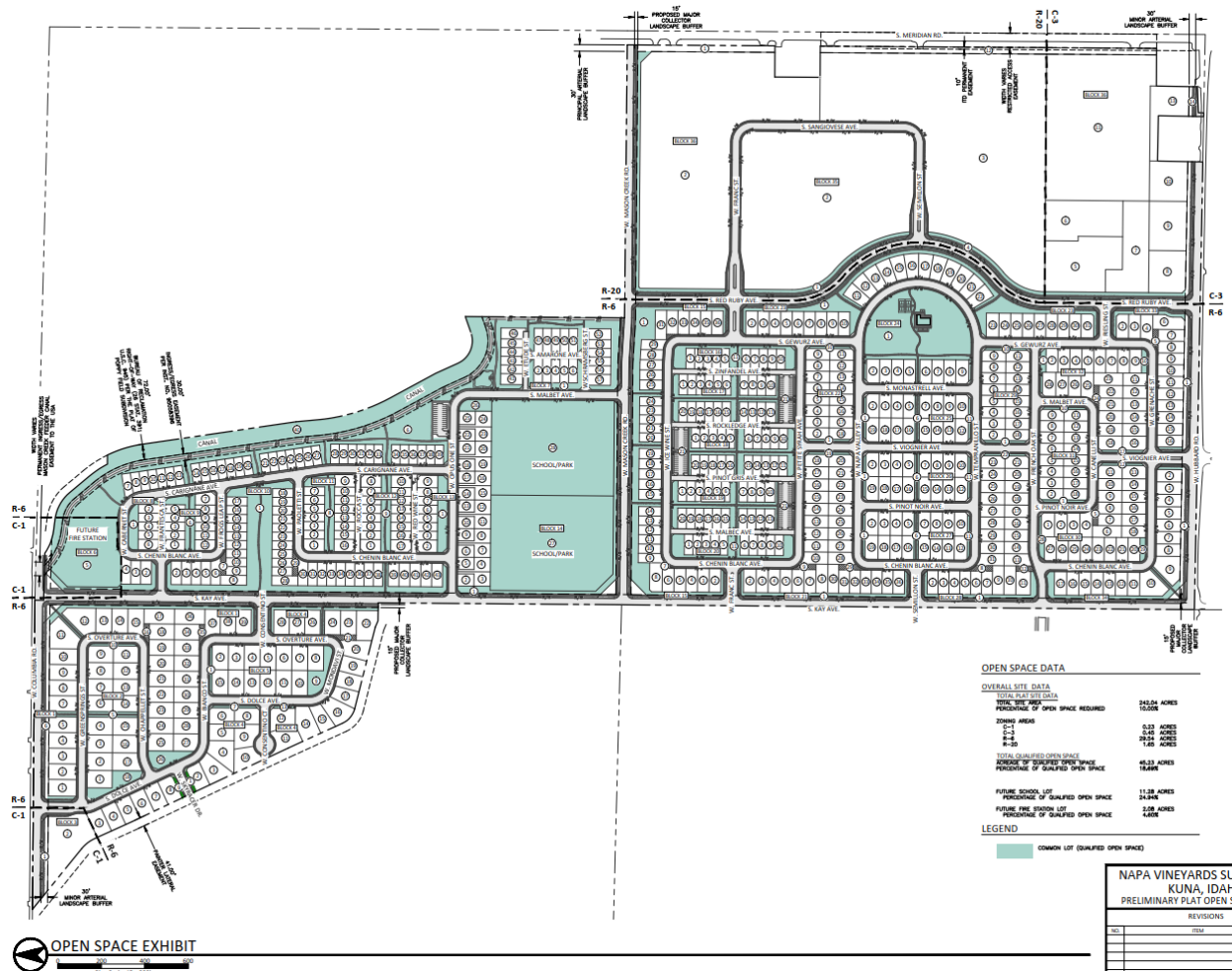
** Dependent upon market demand – dates are estimated and could change*

The first phase will include the future fire station lot, neighborhood serving commercial lot in the NW corner of the project, approximately 69 single-family residential lots, and improvements along Columbia Road and a portion of Kay Avenue. The first phase is configured to ensure extension of services and provision of the Fire Station lot. Phase 2 will include the school and park lot, pathways and open space including the proposed dog park, approximately 73 single-family residential lots and portions of Kay Avenue and Mason Creek Road. Phases 3 and 4 will include open space and pathways, and approximately 131 single-family residential lots combined. Phases 5 – 9 include the large central open space area including pool, changing rooms and sports court, alley-load product, and the remainder of single-family residential lots. Phases 5 – 9 will complete the remaining half

portion of Kay Avenue, half of Mason Creek Road and half of Hubbard Road fronting the development. Phase 10 includes the multi-family component of the development, the design of which will be proposed at a later date. Phase 11 includes the service commercial component of the project, uses and specific design will be proposed at a later date.

Design Review

Napa Vineyards includes more than 45.23 acres of qualified open space, or 18.69% of the Project, exceeding the 10% required under the Kuna ordinance. The open space calculation includes the approximately 11.28-acre area for the future school and park lots and the approximately 2.08-acre future fire station lot. Included in the open space are high-quality amenities for residents such as a swimming pool, changing rooms, sports courts, dog park, and pathways throughout the community, including a pathway adjacent to Mason Creek.



Ample open spaces are distributed throughout the Project, with a dog park, pathways and open space areas in the northern portion of the development and a pool with changing rooms, sports courts and recreation areas located within the southern portion of the development. The commercial component also includes areas that will invite outdoor dining, shopping and events.

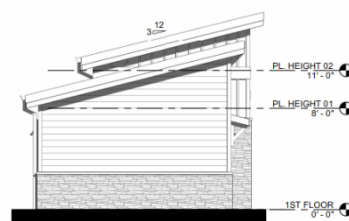
Pedestrian walkways are located throughout the development to allow for integration of uses, interconnectivity and pedestrian access to the commercial areas and all amenities. The pathways also provide an active amenity for residents to safely walk around the entire neighborhood.

Fencing will meet all current Kuna City Code standards. Likewise, to the extent any pathways and sidewalks deviate from the Original Approvals, they will meet current Kuna City Code and ACHD standards.

Napa Vineyards proposes one large centrally located swimming pool within the southern part of the single-family residential community. We anticipate that an additional pool and amenities will be provided with the multi-family component of the development at a later date. Alongside the pool will be a building with both male and female changing rooms with stalls.



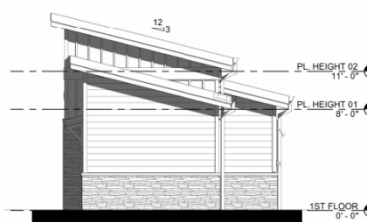
2 SOUTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



5 WEST ELEVATION
1/4" = 1'-0"

Conclusion

We are excited to bring Napa Vineyards to the City of Kuna. The Development Agreement for this mixed-use community was recently updated to reflect the current layout and City standards and will complement surrounding uses, fulfill comprehensive plan goals, and provide needed housing and employment opportunities in this area of Kuna. The community design and mix of uses will allow residents to play, shop, eat and interact with neighbors without leaving their neighborhood. Napa Vineyards complements the City's vision for growth and will be an asset to the community.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,

KM Engineering, LLP.

A handwritten signature in black ink that reads "Stephanie Hopkins". The signature is written in a cursive, flowing style.

Stephanie Hopkins
Land Planning Manager

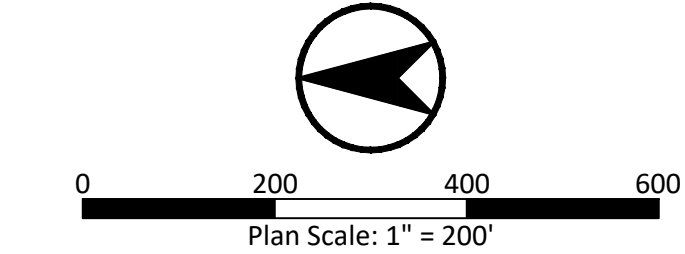
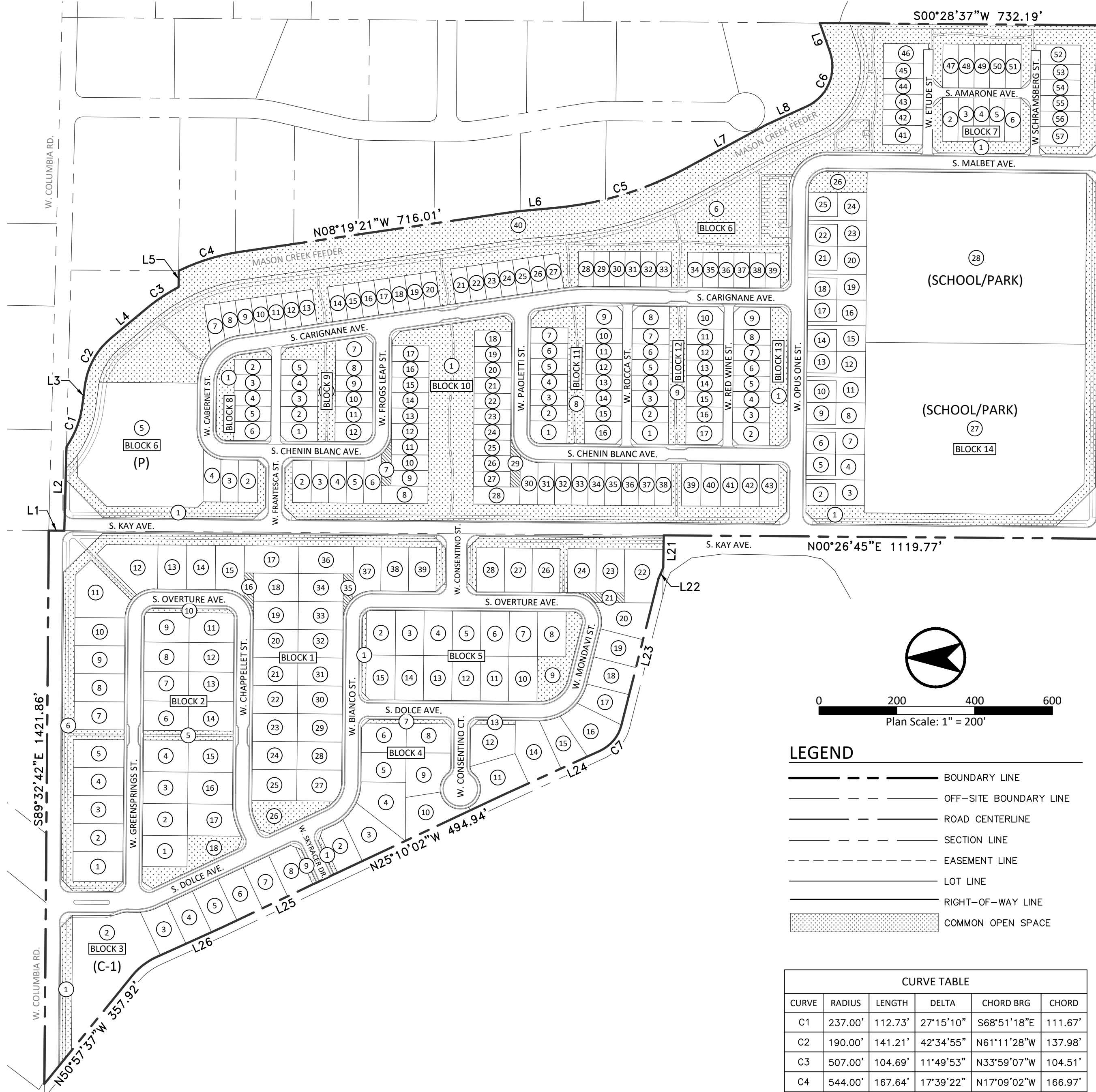
cc: NE Kuna Farm LLC, Open Door Rentals LLC

PRELIMINARY PLAT SHOWING NAPA VINEYARDS SUBDIVISION

A PARCEL OF LAND BEING A PORTION OF LOT 13, BLOCK 2 OF POPPY FIELD SUBDIVISION (BOOK 70 OF PLATS AT PAGE 7195, RECORDS OF ADA COUNTY, IDAHO) AND UNPLATTED LAND SITUATED IN THE NORTHWEST 1/4 AND SOUTHEAST 1/4 OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF KUNA, ADA COUNTY, IDAHO

PRELIMINARY PLAT NOTES

- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
- THIS DEVELOPMENT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS.
- DIRECT LOT ACCESS FROM COLLECTORS & ARTERIALS IS PROHIBITED UNLESS APPROVED BY ADA COUNTY HIGHWAY DISTRICT, IDAHO TRANSPORTATION DISTRICT AND THE CITY OF KUNA.
- THIS DEVELOPMENT RECOGNIZES 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREON."
- IRRIGATION WATER WILL BE PROVIDED BY NEW YORK IRRIGATION DISTRICT / BOISE PROJECT BOARD OF CONTROL IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM SAID CANAL COMPANIES.
- THE HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER, OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
- INTERNAL LOT LINES ARE CONCEPTUAL AND MAY CHANGE DURING FINAL PLATTING.
- STREET NAMES AS SHOWN ARE TEMPORARY AND SHALL BE NAMED ACCORDING TO CITY OF KUNA ZONING ORDINANCE PRIOR TO RECORDING OF FINAL PLAT.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KUNA STANDARDS AND SPECIFICATIONS AND THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).



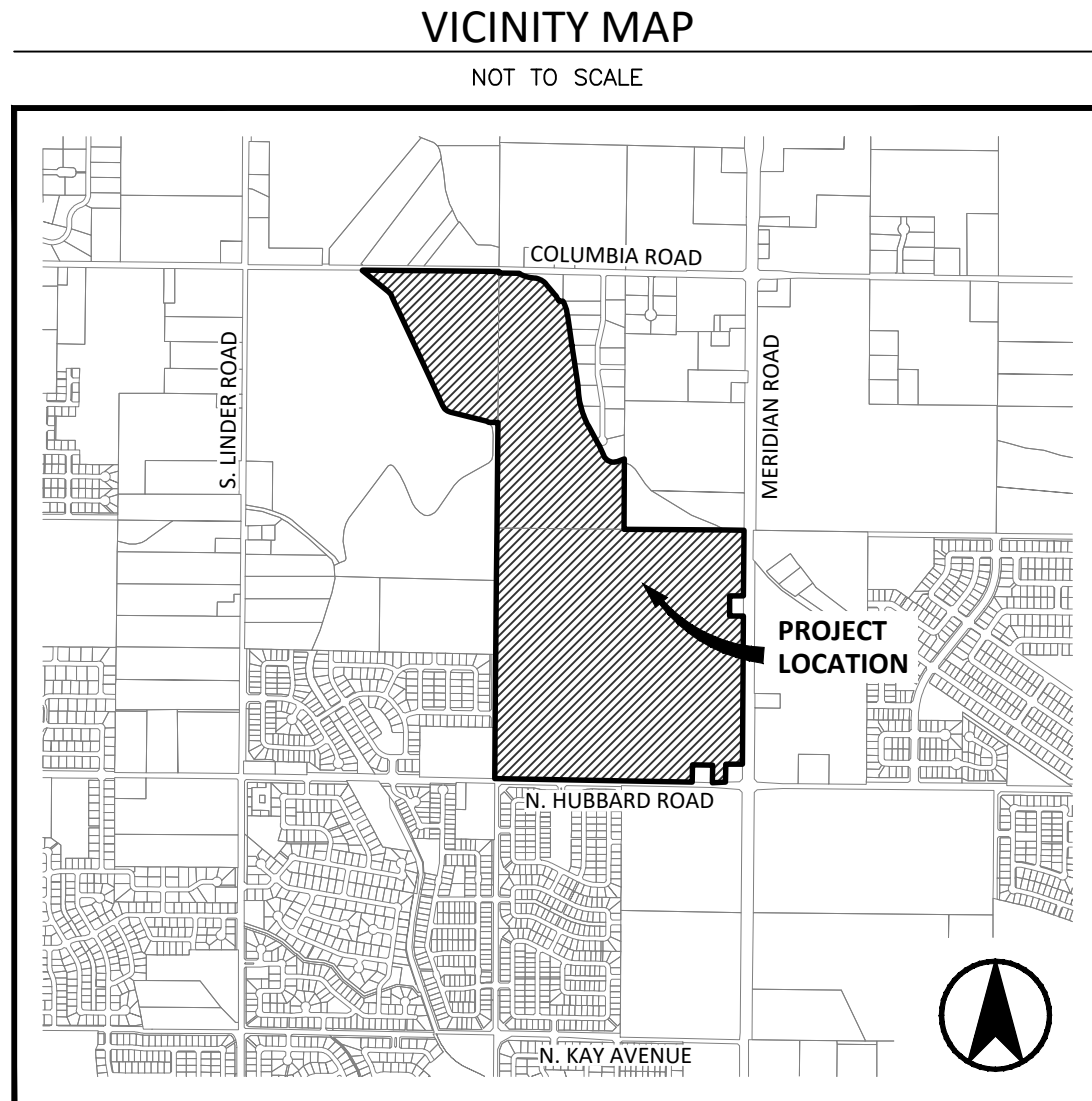
LEGEND

---	BOUNDARY LINE
- - - -	OFF-SITE BOUNDARY LINE
---	ROAD CENTERLINE
---	SECTION LINE
---	EASEMENT LINE
---	LOT LINE
---	RIGHT-OF-WAY LINE
---	COMMON OPEN SPACE

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	237.00'	112.73'	27°15'10"	S68°51'18"E	111.67'
C2	190.00'	141.21'	42°34'55"	N61°11'28"W	137.98'
C3	507.00'	104.69'	11°49'53"	N33°59'07"W	104.51'
C4	544.00'	167.64'	17°39'22"	N17°09'02"W	166.97'
C5	868.00'	351.91'	23°13'44"	S16°48'24"E	349.50'
C6	113.00'	167.43'	84°53'34"	S66°47'32"E	152.53'
C7	100.00'	89.56'	51°18'58"	S50°09'32"E	86.60'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°26'45"E	40.01'
L2	N88°31'57"W	215.71'
L3	N82°28'54"W	54.00'
L4	N39°54'02"W	114.00'
L5	S89°37'12"E	41.67'
L6	N05°11'31"W	100.01'
L7	N28°25'16"W	236.82'
L8	N24°20'44"W	112.32'
L9	S70°45'39"W	78.82'
L10	N89°37'19"W	143.71'
L11	S00°22'41"W	208.71'
L12	S89°37'19"E	143.71'
L13	N89°37'19"W	173.35'

LINE TABLE		
LINE	BEARING	DISTANCE
L14	S01°05'06"W	188.68'
L15	S87°50'27"W	119.10'
L16	S01°05'06"W	25.00'
L17	N88°54'54"W	17.28'
L18	N01°05'06"E	139.71'
L19	N88°54'54"W	208.71'
L20	S01°05'06"W	208.71'
L21	N89°01'39"W	82.95'
L22	N66°37'42"W	31.17'
L23	N75°49'02"W	387.38'
L24	N24°30'02"W	274.66'
L25	N25°20'02"W	299.08'
L26	N24°20'02"W	187.29'



PROJECT SUMMARY

SITE DATA		
PARCEL NUMBER:	S1312212400	
PROPERTY ADDRESS:	1235 W. COLUMBIA ROAD	
CITY/STATE/ZIP:	KUNA, IDAHO 83642	
PARCEL NUMBER:	R7135690180	
PROPERTY ADDRESS:	750 W. HUBBARD ROAD	
CITY/STATE/ZIP:	KUNA, IDAHO 83642	
PARCEL NUMBER:	S1312417410	
PROPERTY ADDRESS:	750 W. HUBBARD ROAD	
CITY/STATE/ZIP:	KUNA, IDAHO 83642	
CURRENT ZONING:	P (PUBLIC)	
C-1 (NEIGHBORHOOD COMMERCIAL)	±2.89 ACRES	
C-3 (SERVICE COMMERCIAL)	±1.84 ACRES	
R-6 (MEDIUM DENSITY RESIDENTIAL)	±17.49 ACRES	
R-20 (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)	±172.50 ACRES	
TOTAL PROJECT AREA	±47.31 ACRES	
R-6 (MEDIUM DENSITY RESIDENTIAL)	653 LOTS	±3.79 U.P.A.
R-20 (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)	842 UNITS	±17.80 U.P.A.
R-6 (MEDIUM DENSITY RESIDENTIAL)		
COURTYARD	24 LOTS	±2.77 ACRES
MINIMUM LOT SIZE:	4,200 SF	
MAXIMUM LOT SIZE:	6,150 SF	
AVERAGE LOT SIZE:	5,025 SF	
50'x110' LOT WIDTHS	283 LOTS	±40.06 ACRES
MINIMUM LOT SIZE:	5,400 SF	
MAXIMUM LOT SIZE:	12,039 SF	
AVERAGE LOT SIZE:	6,167 SF	
70'x115' LOT WIDTHS	92 LOTS	±19.12 ACRES
MINIMUM LOT SIZE:	14,817 SF	
MAXIMUM LOT SIZE:	9,054 SF	
AVERAGE LOT SIZE:	9,054 SF	
PARKSIDE	254 LOTS	±23.90 ACRES
MINIMUM LOT SIZE:	3,600 SF	
MAXIMUM LOT SIZE:	5,400 SF	
AVERAGE LOT SIZE:	4,099 SF	
FUTURE SCHOOL/PARK SITE:	2 LOT	±11.27 ACRES

R-20 (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)		
MULTI-FAMILY:	3 LOTS	±39.59 ACRES
*842 UNITS MAXIMUM PER DEVELOPMENT AGREEMENT		
COMMON DRIVE LOTS:	14 LOTS	±0.64 ACRES
COMMON LOTS:	65 LOTS	±40.18 ACRES
RIGHT-OF-WAY DEDICATION:	~	±46.14 ACRES

DIMENSIONAL STANDARDS PER PLANNED UNIT DEVELOPMENT (PUD)

C-1 (NEIGHBORHOOD COMMERCIAL)		
MINIMUM SQUARE FOOTAGE:	2,000 SF	
MINIMUM FRONTAGE:	0'	
FRONT YARD SETBACK:	15'	
REAR YARD SETBACK:	5'	
INTERIOR SIDE YARD SETBACK:	0'	
STREET SIDE YARD SETBACK:	10'	
MAXIMUM BUILDING HEIGHT:	35'	
C-3 (SERVICE COMMERCIAL)		
MINIMUM SQUARE FOOTAGE:	1,300 SF	
MINIMUM FRONTAGE:	0'	
FRONT YARD SETBACK:	0'	
REAR YARD SETBACK:	0'	
INTERIOR SIDE YARD SETBACK:	0'	
STREET SIDE YARD SETBACK:	10'	
MAXIMUM BUILDING HEIGHT:	60'	
R-6 (MEDIUM DENSITY RESIDENTIAL)		
MINIMUM SQUARE FOOTAGE:	3,600 SF	
MINIMUM FRONTAGE:	45'	
FRONT YARD SETBACK:	20'	
REAR YARD SETBACK:	15'	
INTERIOR SIDE YARD SETBACK:	5'	
STREET SIDE YARD SETBACK:	20'	
MAXIMUM BUILDING HEIGHT:	35'	
R-20 (HIGH DENSITY MULTI-FAMILY RESIDENTIAL)		
MINIMUM SQUARE FOOTAGE:	1,300 SF	
MINIMUM FRONTAGE:	40'	
FRONT YARD SETBACK:	20'	
REAR YARD SETBACK:	15'	
INTERIOR SIDE YARD SETBACK:	5'	
STREET SIDE YARD SETBACK:	20'	
MAXIMUM BUILDING HEIGHT:	40'	

SURVEY CONTROL NOTES

- ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) AND NAVD 88 VERTICAL DATUM.

UTILITIES

UTILITIES	
WATER:	CITY OF KUNA
SEWER:	CITY OF KUNA
ELECTRICAL:	IDAHO POWER
NATURAL GAS:	INTERMOUNTAIN GAS CO.
TELEPHONE:	CENTURYLINK
IRRIGATION:	NEW YORK IRRIGATION DISTRICT / BOISE PROJECT BOARD OF CONTROL / CITY OF KUNA PI
PRESSURIZED IRRIGATION:	CITY OF KUNA (KIMD)
FIRE PROTECTION:	KUNA RURAL FIRE DISTRICT
POLICE PROTECTION:	KUNA POLICE (ADA COUNTY SHERIFF)
SANITATION:	J&M SANITATION
SCHOOL DISTRICT:	KUNA SCHOOL DISTRICT

PROJECT TEAM

PROPERTY OWNER	
NAME:	NE KUNA FARM, LLC
CONTACT:	TIM ECK
ADDRESS:	2228 W. PIAZZA STREET
CITY/STATE/ZIP:	MERIDIAN, IDAHO 83646
EMAIL:	timothyeck@me.com
ENGINEERING	
NAME:	KM ENGINEERING, LLP
CONTACT:	KEVIN FROELICH, P.E.
MATT DERR, P.E.	
ADDRESS:	5725 N. DISCOVERY WAY
CITY/STATE/ZIP:	BOISE, IDAHO 83713
PHONE:	208.639.6939
EMAIL:	kfroelich@kmengllp.com
mderr@kmengllp.com	

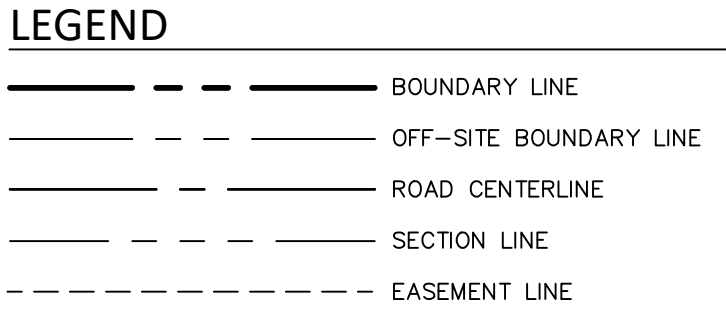
NAPA VINEYARDS SUBDIVISION KUNA, IDAHO PRELIMINARY PLAT - COVER

REVISIONS

NO.	ITEM	DATE



DATE:	OCTOBER, 2024
PROJECT:	22-020
SHEET NO.	PP1.0



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	237.00'	112.73'	27°15'10"	S68°51'18"E	111.67'
C2	190.00'	141.21'	42°34'55"	N61°11'28"W	137.98'
C3	507.00'	104.69'	1°14'53"	N33°59'07"W	104.51'
C4	544.00'	167.64'	17°39'22"	N17°09'02"W	166.97'
C5	868.00'	351.91'	23°31'44"	S16°48'24"E	349.50'
C6	113.00'	167.43'	84°53'34"	S66°47'32"E	152.53'
C7	100.00'	89.56'	51°18'58"	S50°09'32"E	86.60'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N00°26'45"E	40.01'
L2	N88°31'57"W	215.71'
L3	N82°28'54"W	54.00'
L4	N39°54'02"W	114.00'
L5	S89°37'12"E	41.67'
L6	N05°11'31"W	100.01'
L7	N82°25'16"W	236.82'
L8	N24°20'44"W	112.32'
L9	S70°45'39"W	78.82'
L10	N89°37'19"W	143.71'
L11	S00°22'41"E	208.71'
L12	S89°37'19"E	143.71'
L13	N89°37'19"W	173.35'

LINE TABLE		
LINE	BEARING	DISTANCE
L14	S01°05'06"W	188.60
L15	S87°50'27"W	119.10'
L16	S01°05'06"W	25.00'
L17	N88°54'54"W	17.28'
L18	N01°05'06"E	139.71'
L19	N88°54'54"W	208.71'
L20	S01°05'06"W	208.71'
L21	N89°01'39"W	82.95'
L22	N66°37'42"W	31.17'
L23	N75°49'02"W	387.38'
L24	N24°30'02"W	274.66'
L25	N25°20'02"W	299.08'
L26	N24°20'02"W	187.29'

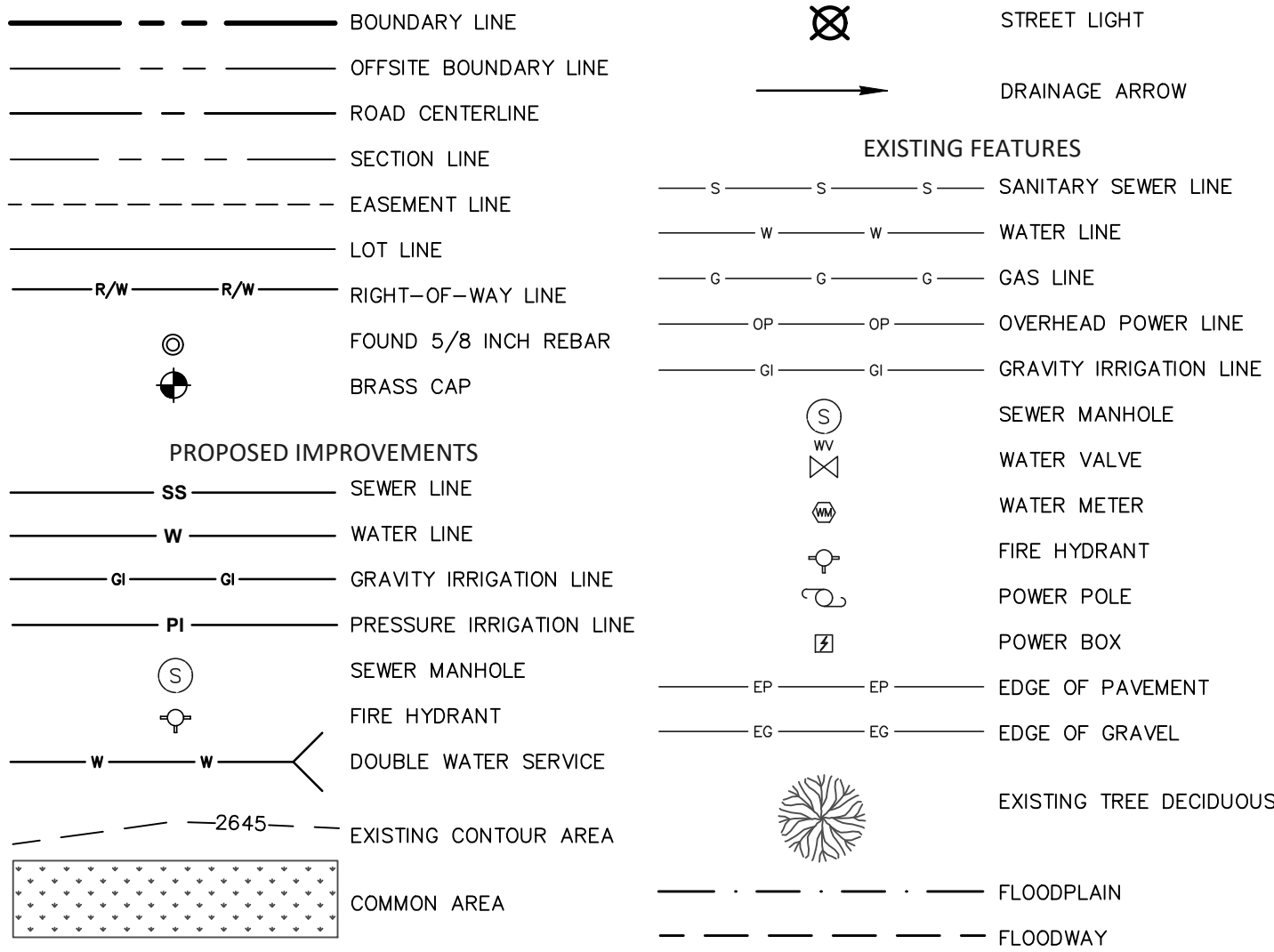


#	PARCEL NO.	PRIMARY OWNER	PROPERTY ADDRESS
19	R3280930170	BETSY TEWALT	1142 E. MYSTERY DRIVE
20	R3280930160	JEREMY SELF	1120 E. MYSTERY DRIVE
21	R3280930140	LANCE LEARY	1098 E. MYSTERY DRIVE
22	R3280930130	MICHELE BUTLER	1076 E. MYSTERY DRIVE
23	R3280930120	AMERICAN HOMES 4 RENT	1054 E. MYSTERY DRIVE
24	R3280930110	JULIEN SAUTOT	1032 E. MYSTERY DRIVE
25	R3280930100	JUDITH MORENO	1010 E. MYSTERY DRIVE
26	R3280930090	DAVID STURM	998 E. MYSTERY DRIVE
27	R3280930080	JANETH ORTIZ DILMA	976 E. MYSTERY DRIVE
28	R3280930070	DANIEL SYES	954 E. MYSTERY DRIVE
29	R8161180100	GLENN PFAUTSCH	815 W. SAGWON DRIVE
30	R8161180570	VERONICA TAMAYO	9376 S. FIDALGO AVENUE
31	R8161180560	BARBARA YOUNG	9352 S. FIDALGO AVENUE
32	R8161180550	NATHAN BUSHARD	9328 S. FIDALGO AVENUE
33	R8161180540	K & S VIKER TRUST	9304 S. FIDALGO AVENUE
34	R8161180530	RICHARD DAVIS	9280 S. FIDALGO AVENUE
35	R8161180520	FRANK PEDERSEN	9256 S. FIDALGO AVENUE
36	R8161180510	SUSAN SAUNDERS	846 S. SELDOVIA DRIVE

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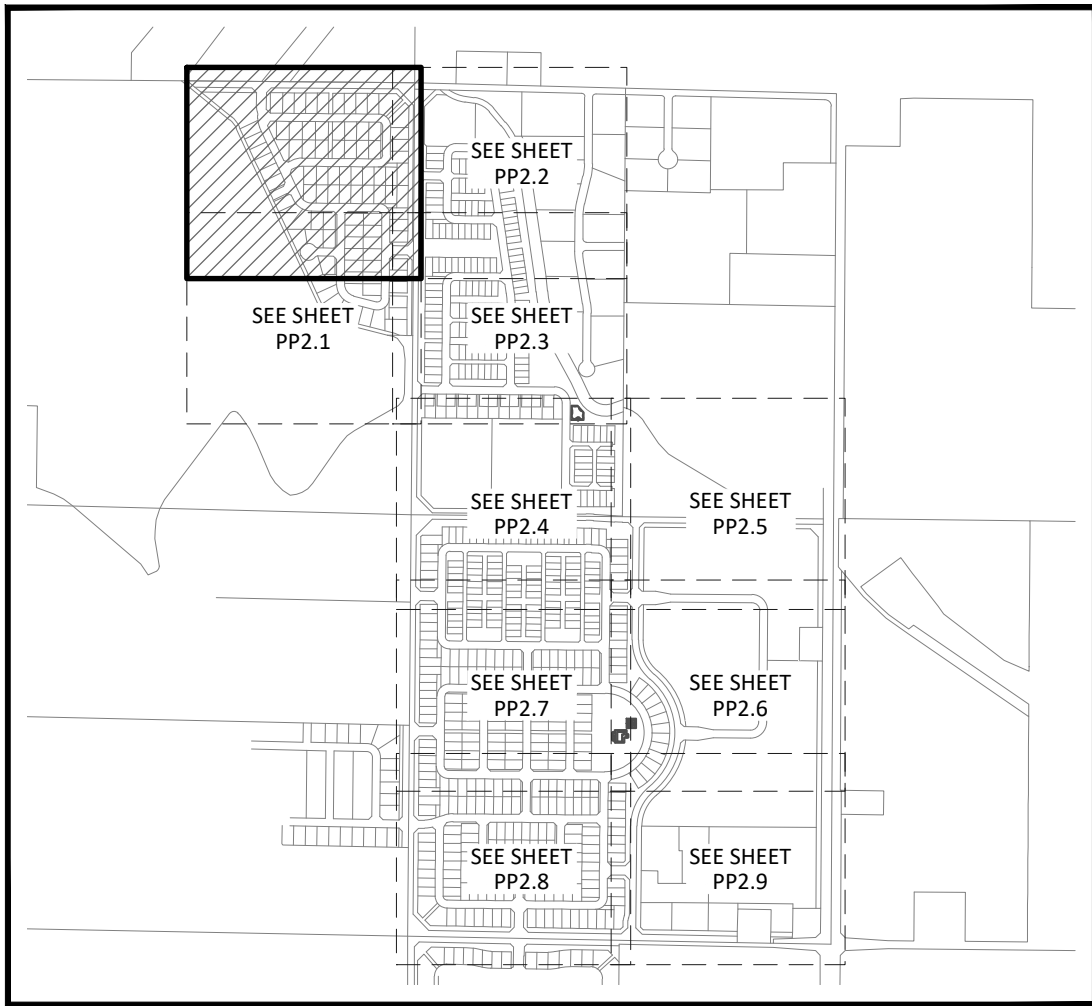
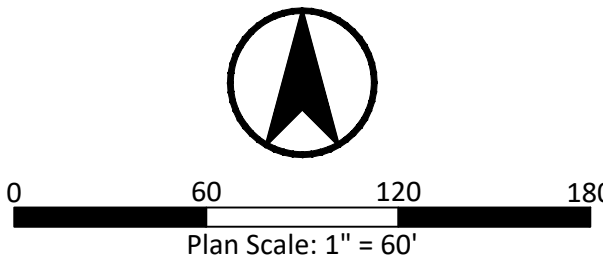
LEGEND



NOTES

1. DOMESTIC WATER SERVICE WILL BE PROVIDED BY CITY OF KUNA. 8" WATER MAINS WILL BE LOOPED THROUGHOUT THE SUBDIVISION CONNECTING TO AN EXISTING 12" WATER MAIN IN W. HUBBARD ROAD.
2. SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF KUNA. THE PROPERTY WILL BE SERVED BY THE MASON CREEK SEWER PROJECT EXTENDING A 36" AND 21" SEWER MAIN ALONG FUTURE N. KAY AVE AND GRAVITY FLOW TO THE KUNA NORTH WASTE WATER FACILITY.
3. WATER AND SEWER LINE SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN.
4. ALL DOMESTIC WATER AND SANITARY SEWER MAINS WILL BE INSTALLED IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND CITY OF KUNA MINIMUM STANDARDS.
5. ALL STREETS SHALL BE DEDICATED TO ACHD AND THE PUBLIC. ROADWAYS WILL BE CONSTRUCTED TO AT LEAST MINIMUM ACHD STANDARDS. SEE THE PRELIMINARY ROADWAY CROSS-SECTIONS, ON SHEET PP3.1.
6. STORM DRAINAGE FROM THE PUBLIC ROADWAYS SHALL BE COLLECTED IN CURB AND GUTTER AND ROUTED TO DISCHARGE TO BELOW GRADE INFILTRATION SYSTEMS. THE INFILTRATION SEEPAGE BED SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN.
7. SANITARY SEWER, WATER, AND STORM DRAINAGE FACILITIES LOCATED OUTSIDE A PUBLIC RIGHT-OF-WAY WILL BE PROVIDED WITH A PERMANENT PUBLIC UTILITY EASEMENT.
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10. CONSTRUCTION OF THE FOLLOWING IMPROVEMENTS WILL BE IN COMPLIANCE WITH THE STANDARD KUNA CONSTRUCTION NOTES: WATER; DRAINAGE; SEWER; AND PRESSURE IRRIGATION.
11. PRESSURE IRRIGATION STORAGE POND AND PUMP STATION SIZE AND LOCATION WILL BE DETERMINED DURING FINAL DESIGN.

SEE SHEET PP2.2 FOR CONTINUATION



NAPA VINEYARDS SUBDIVISION
KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

REVISIONS		
NO.	ITEM	DATE



km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

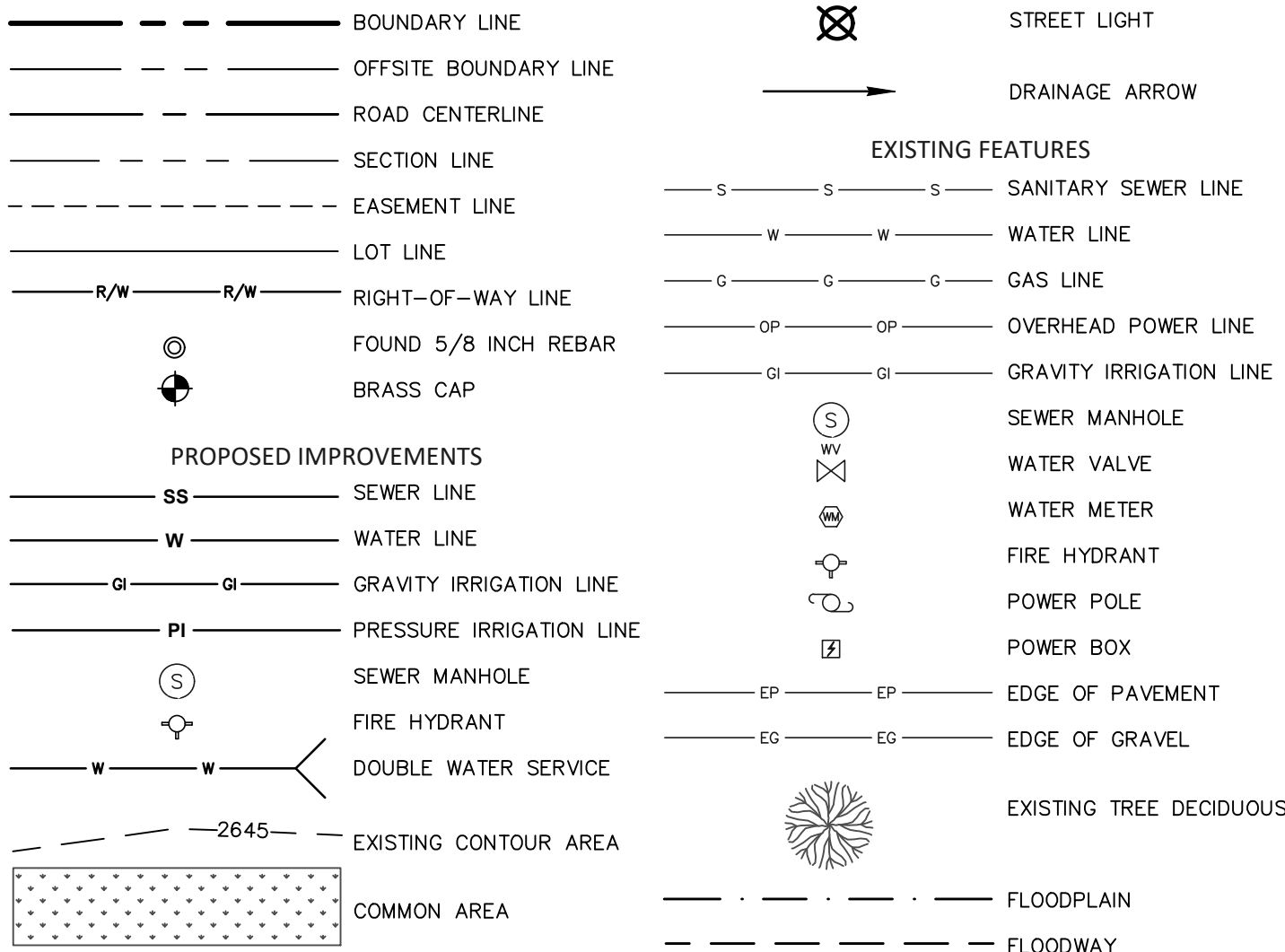
DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO. PP2.0

SEE SHEET PP2.0 FOR CONTINUATION

R-4
S1312212750
ARROYO CAP-II-2 LLC
PALOMA RIDGE SUBDIVISION

PLANNED MASON CREEK
SEWER MAIN SEE NOTE #2

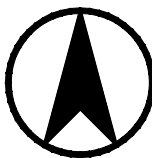
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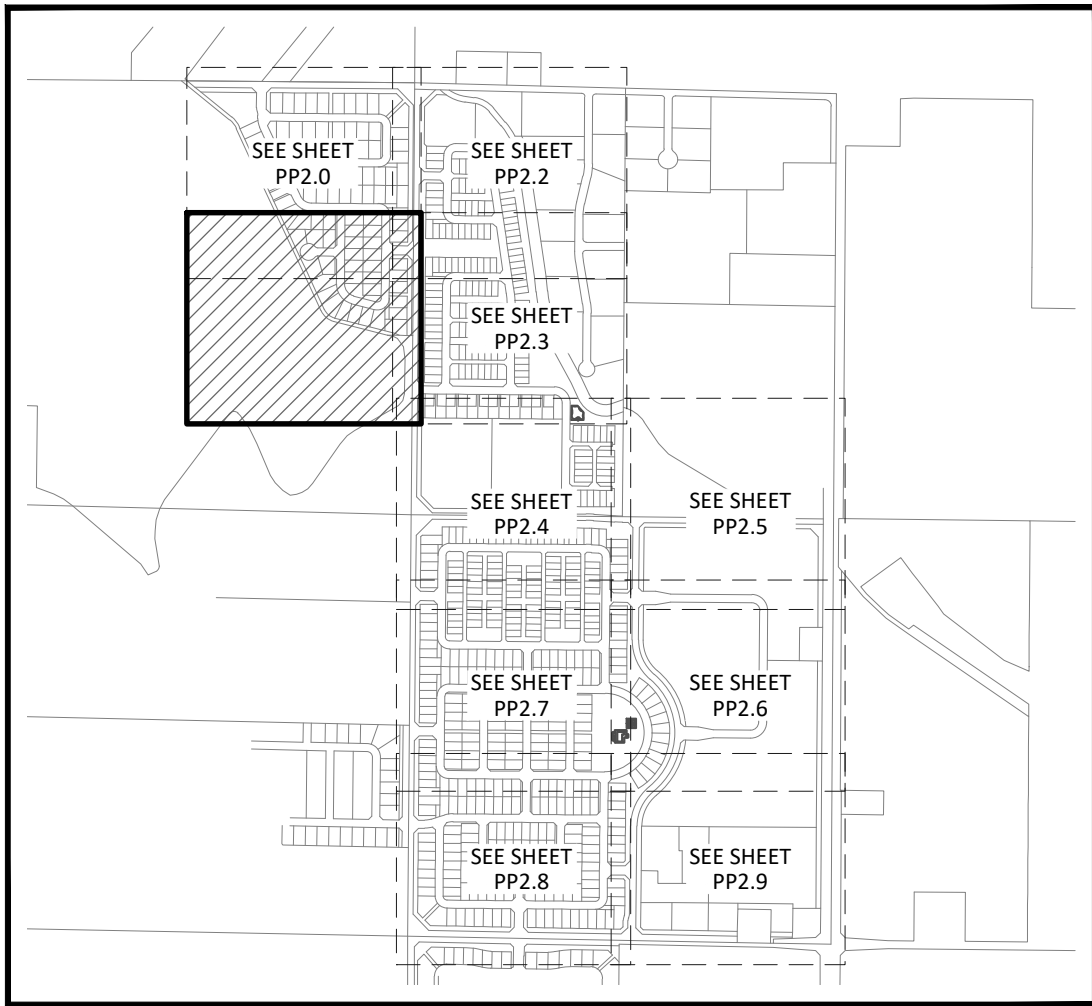
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SEE SHEET PP2.3 FOR CONTINUATION



0 60 120 180
Plan Scale: 1" = 60'



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KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

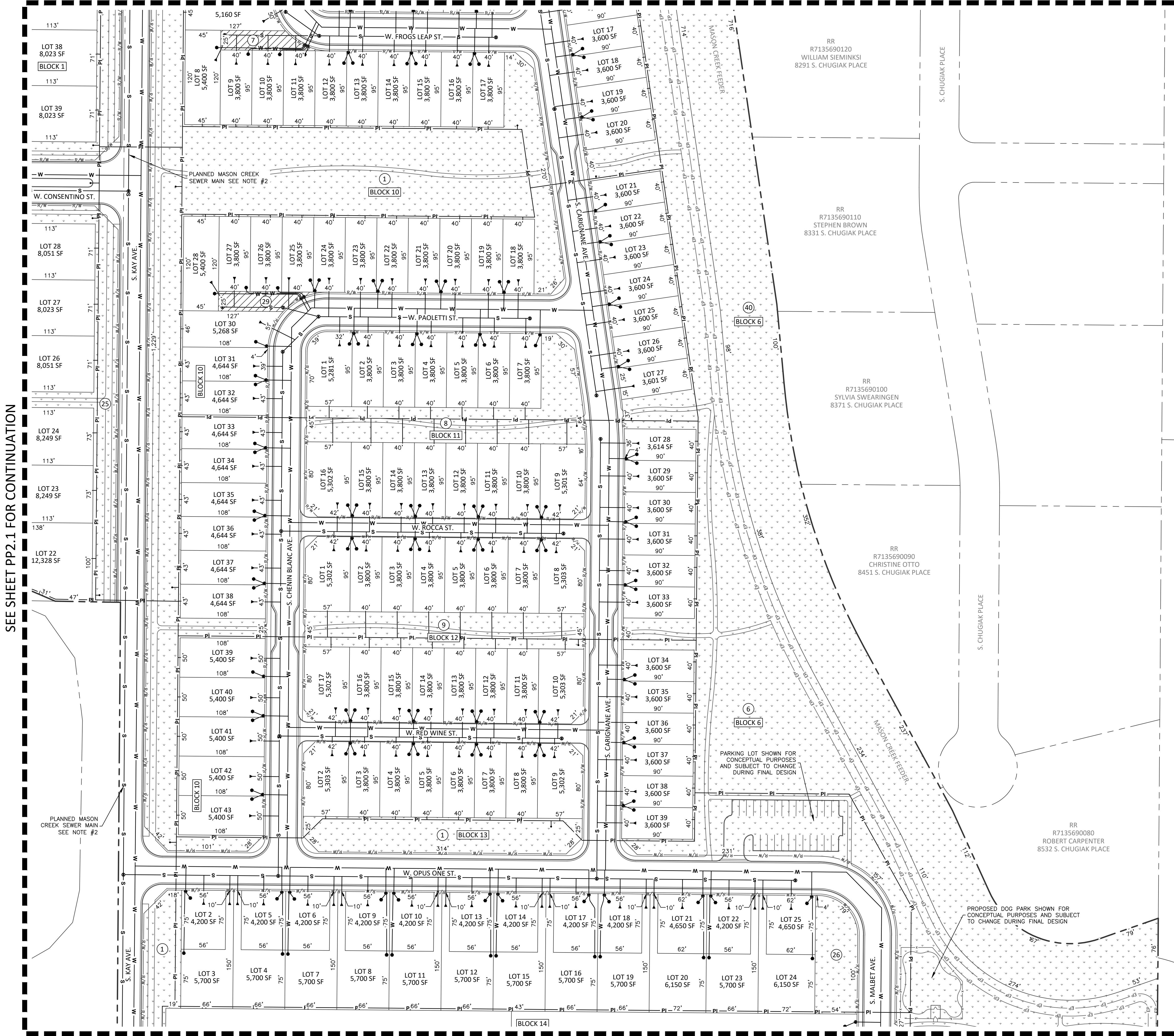
REVISIONS		
NO.	ITEM	DATE



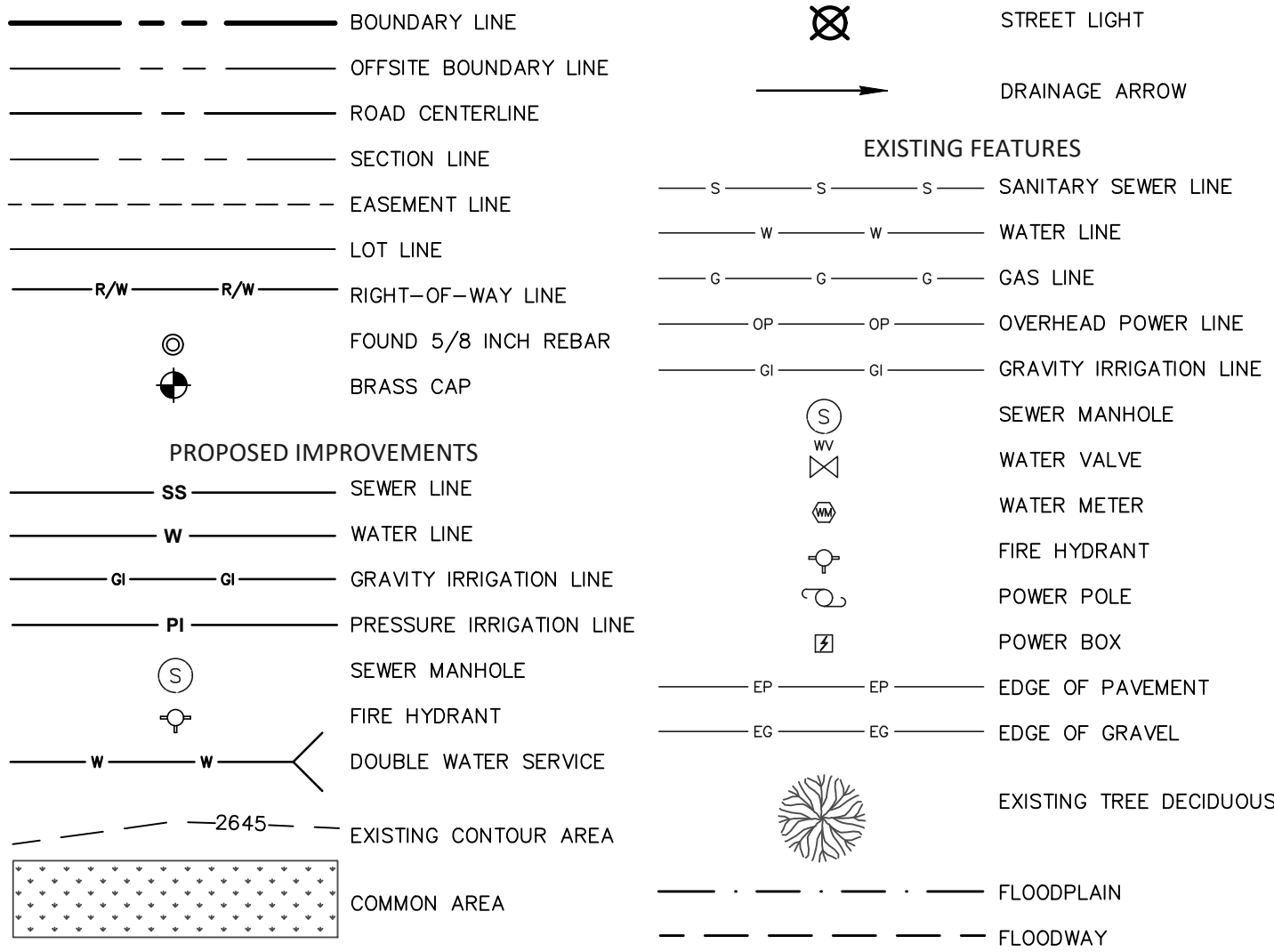
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kmengllp.com

DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO.
PP2.1

SEE SHEET PP2.2 FOR CONTINUATION

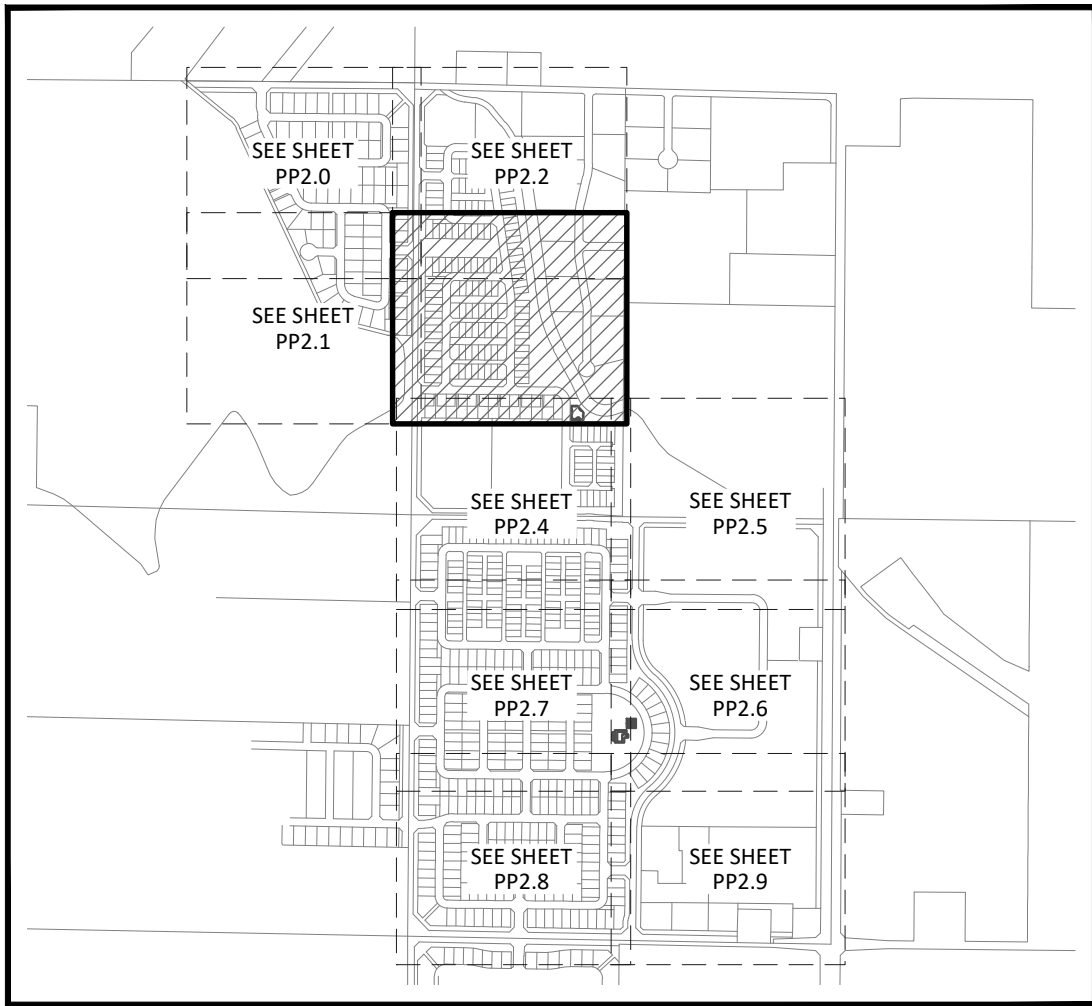
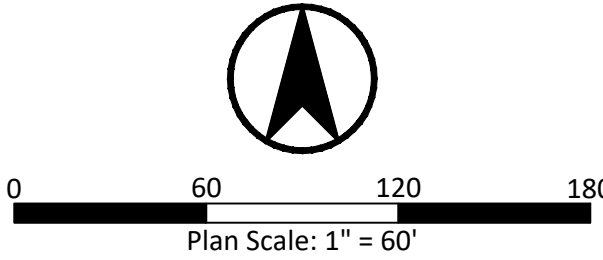


LEGEND



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NAPA VINEYARDS SUBDIVISION
KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

REVISIONS		
NO.	ITEM	DATE



km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO. PP2.3

PLANNED MASON CREEK SEWER
MAIN SEE NOTE #2

RR
51312314850
TOBY ASHLEY
1286 W. WILD SHEEP LANE

LOT 27
244,085 SF
(SCHOOL/PARK)

LOT 28
247,187 SF
(SCHOOL/PARK)

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3,800 SF
95'

LOT 17

BOUNDARY LINE

OFFSITE BOUNDARY LINE

ROAD CENTERLINE

SECTION LINE

EASEMENT LINE

LOT LINE

RIGHT-OF-WAY LINE

FOUND 5/8 INCH REBAR

BRASS CAP

PROPOSED IMPROVEMENTS

SS SEWER LINE

W WATER LINE

GI GRAVITY IRRIGATION LINE

PI PRESSURE IRRIGATION LINE

SEWER MANHOLE

FIRE HYDRANT

DOUBLE WATER SERVICE

2645 EXISTING CONTOUR AREA

COMMON AREA

STREET LIGHT

DRAINAGE ARROW

EXISTING FEATURES

S SANITARY SEWER LINE

W WATER LINE

G GAS LINE

OP OVERHEAD POWER LINE

GI GRAVITY IRRIGATION LINE

SEWER MANHOLE

WV WATER VALVE

WM WATER METER

FH FIRE HYDRANT

PO POWER POLE

PB POWER BOX

EP EDGE OF PAVEMENT

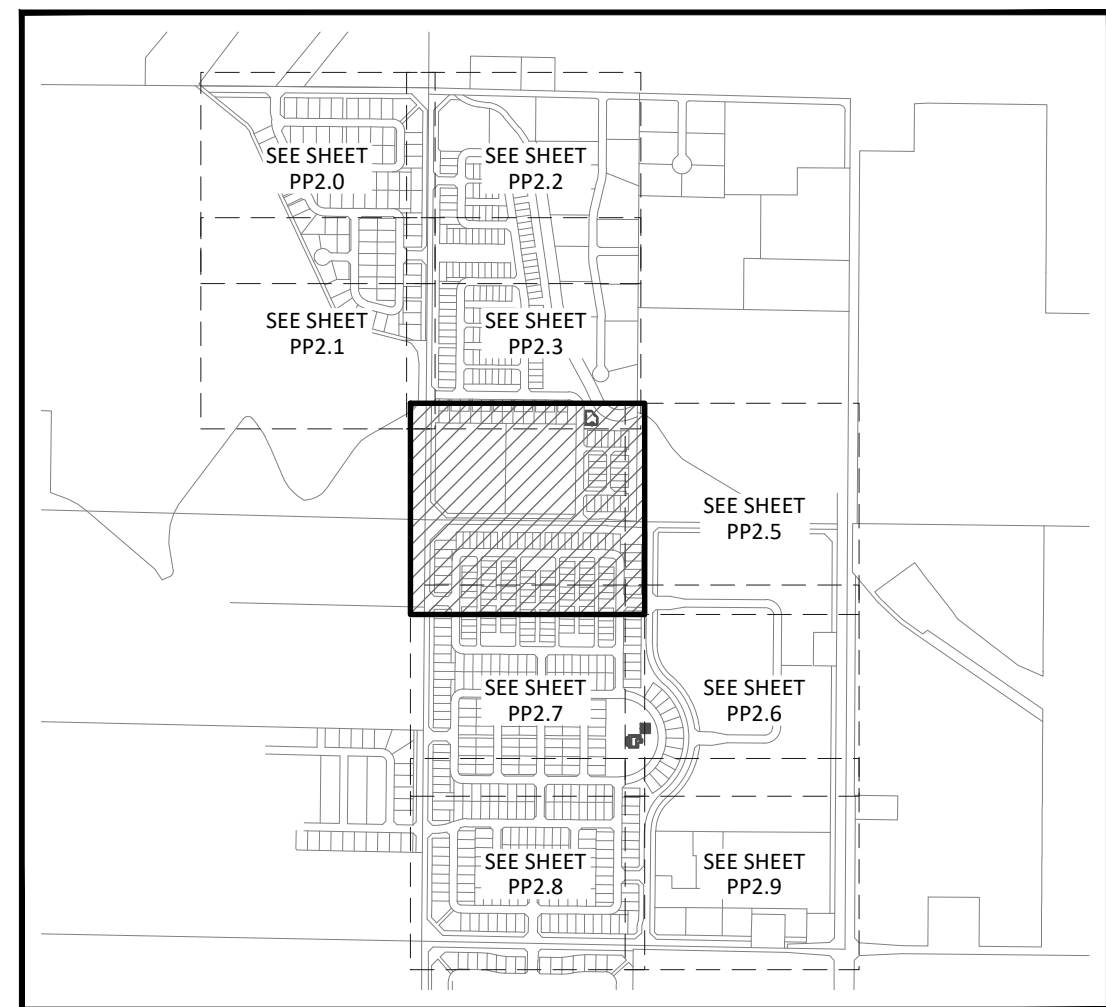
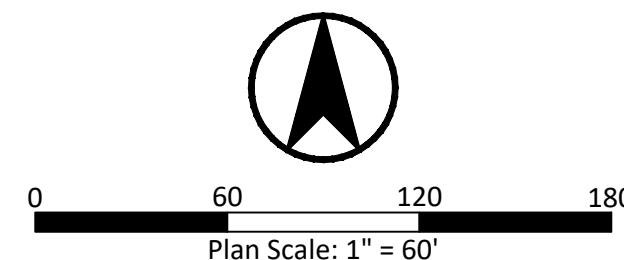
EG EDGE OF GRAVEL

EXISTING TREE DECIDUOUS

FLOODPLAIN

FLOODWAY

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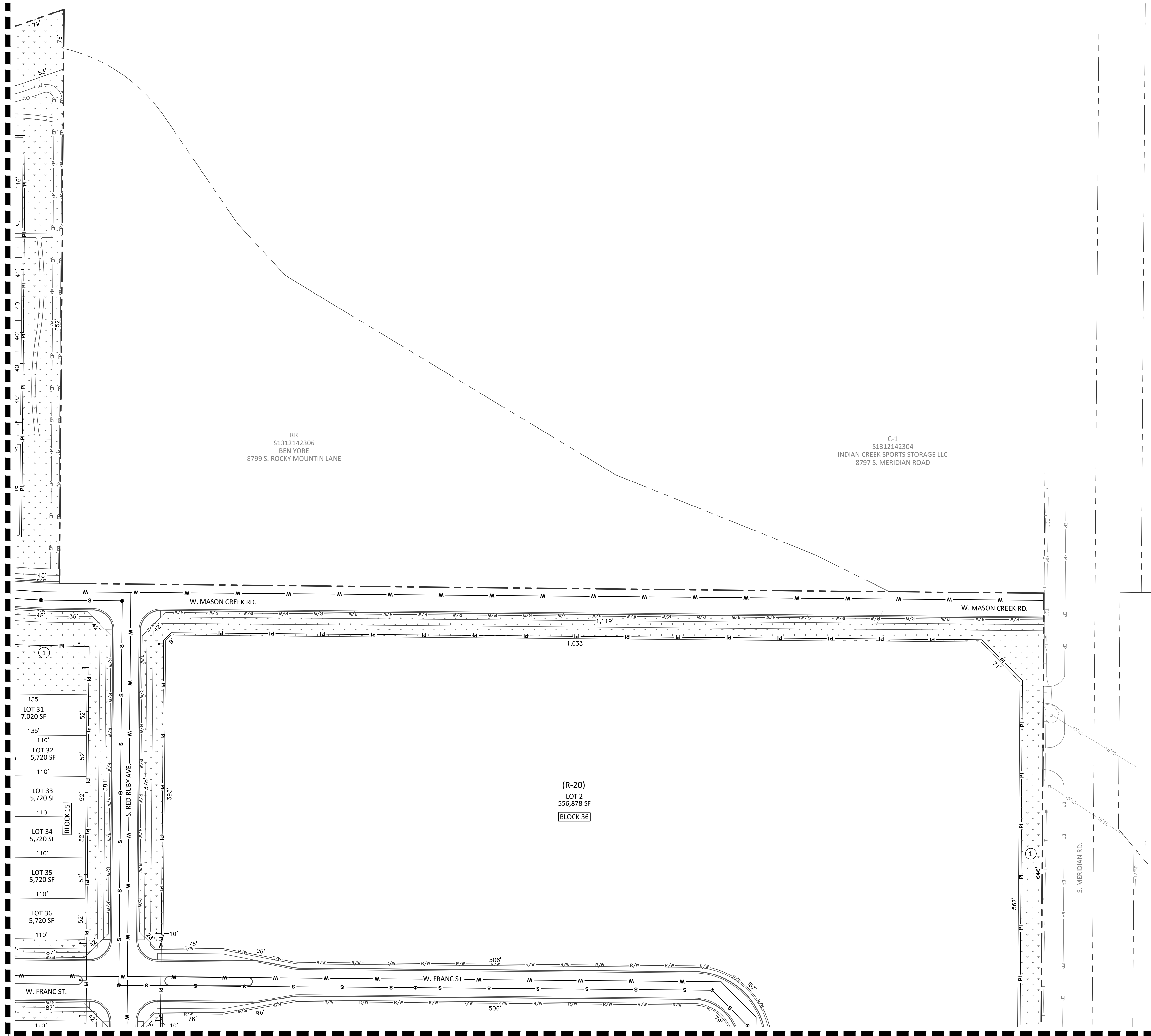
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DATE:	OCTOBER, 2024
PROJECT:	22-020
SHEET NO.	
PP2.4	

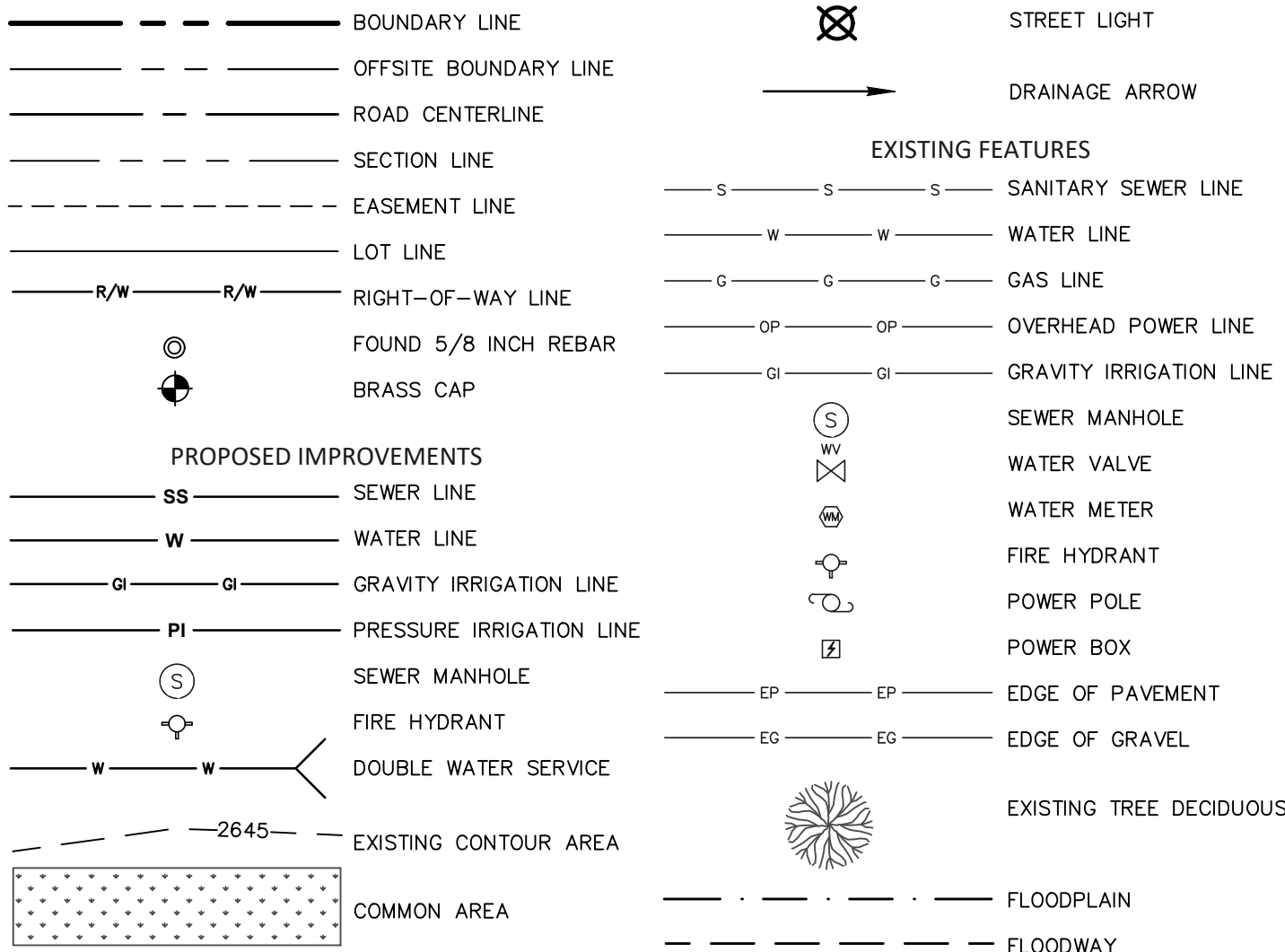
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SEE SHEET PP2.4 FOR CONTINUATION



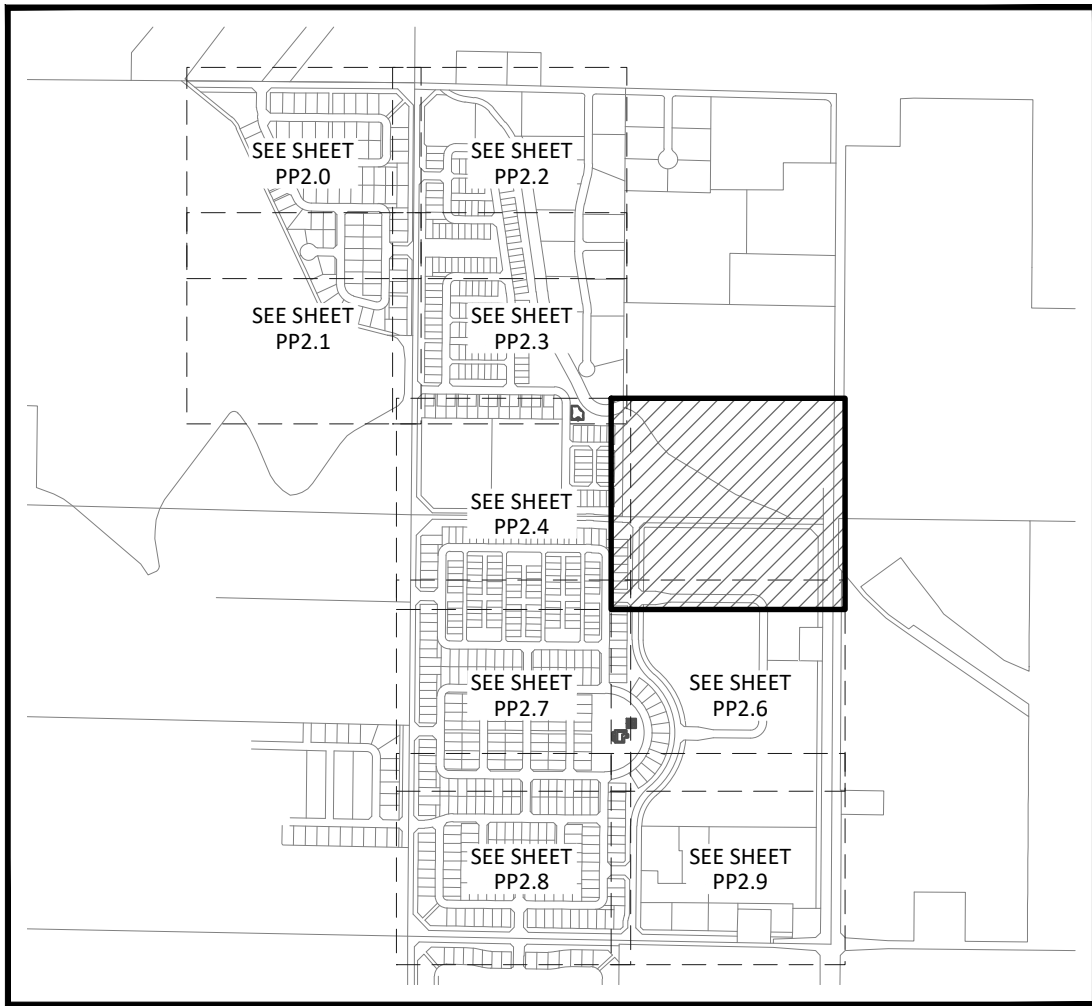
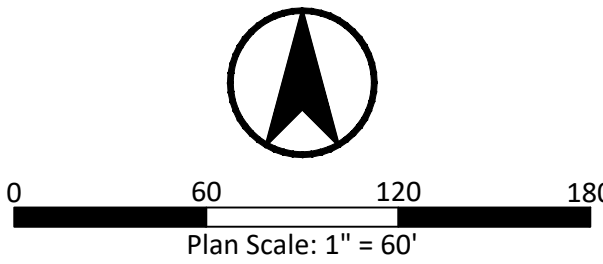
SEE SHEET PP2.6 FOR CONTINUATION

LEGEND



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KUNA, IDAHO
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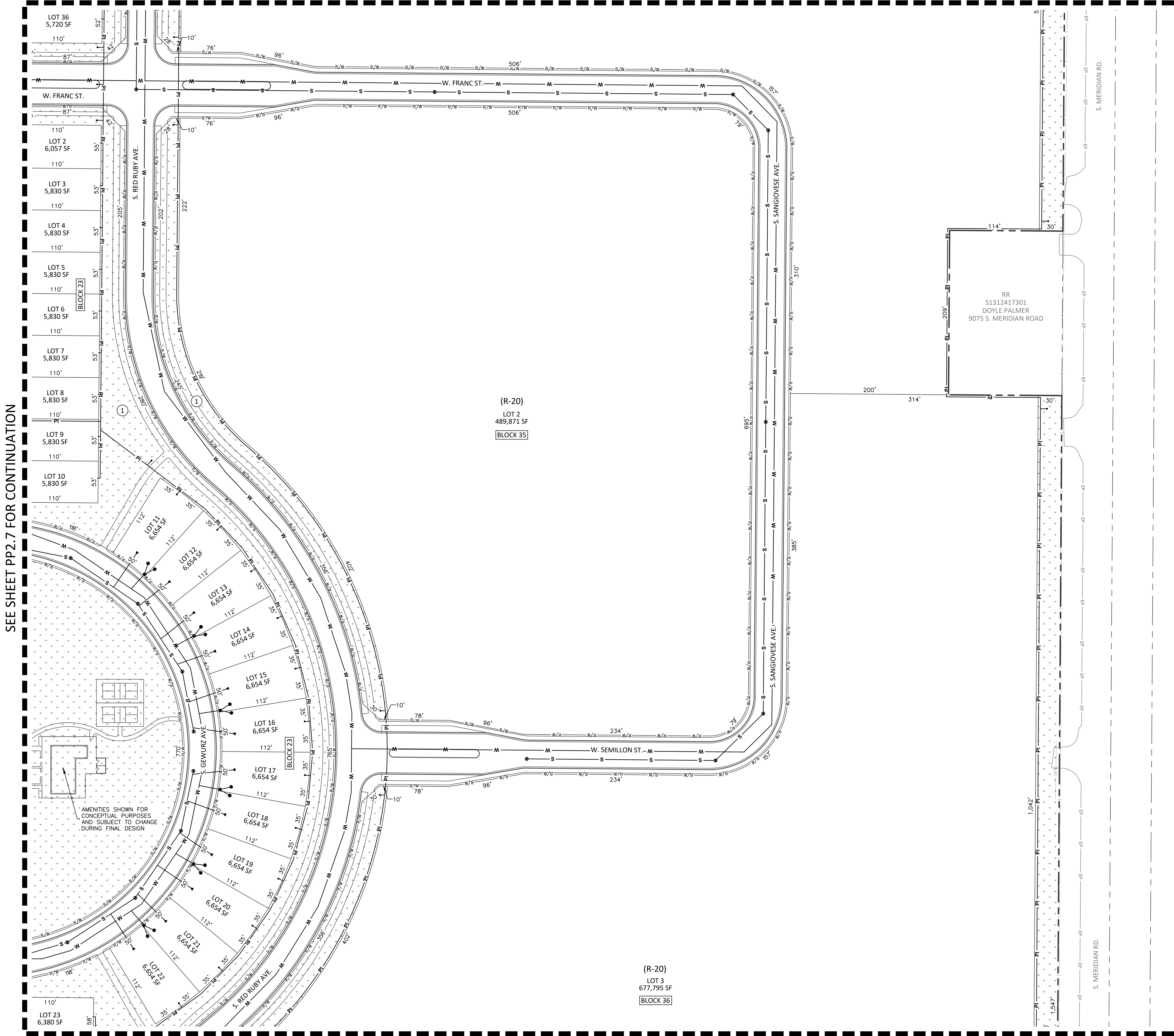
REVISIONS		
NO.	ITEM	DATE



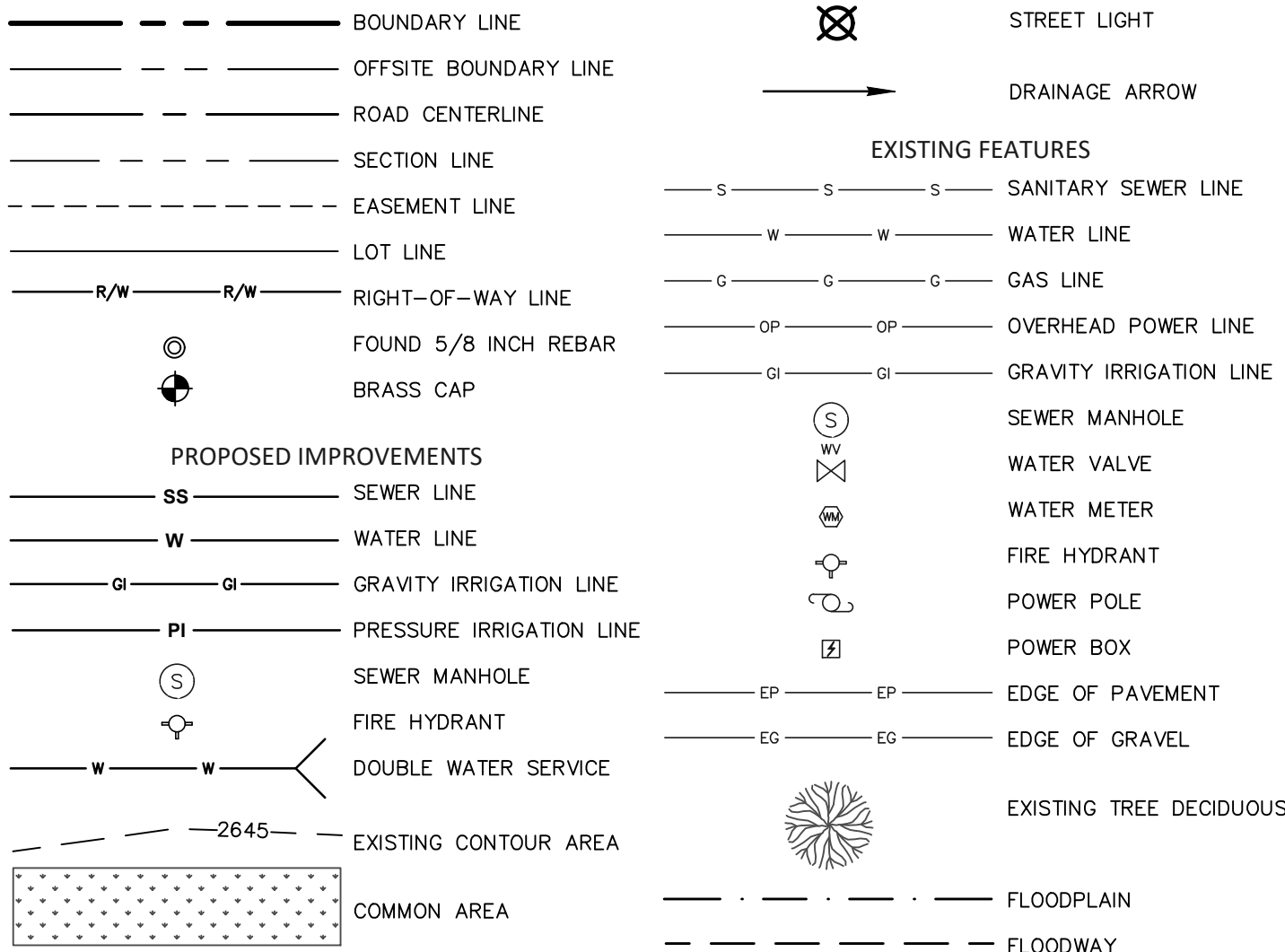
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DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO.
PP2.5

SEE SHEET PP2.5 FOR CONTINUATION

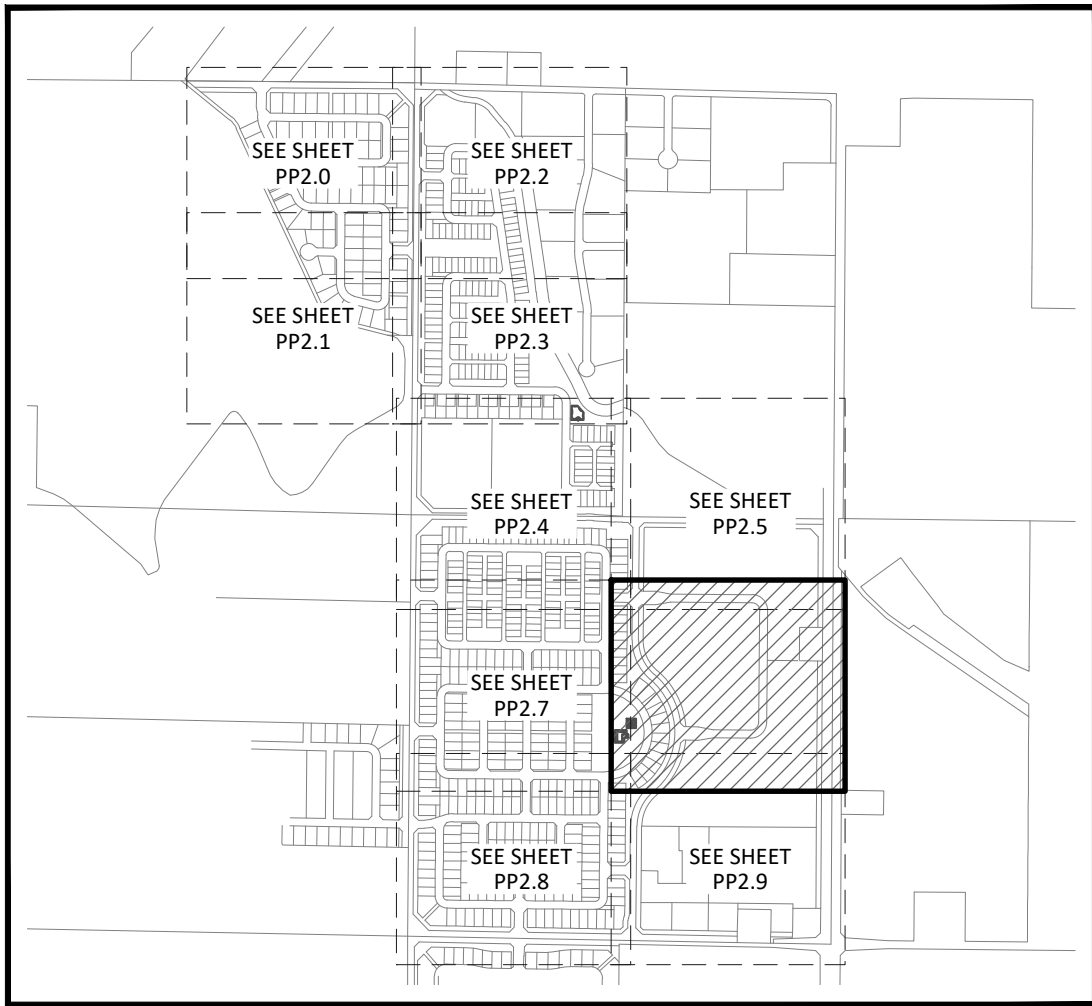
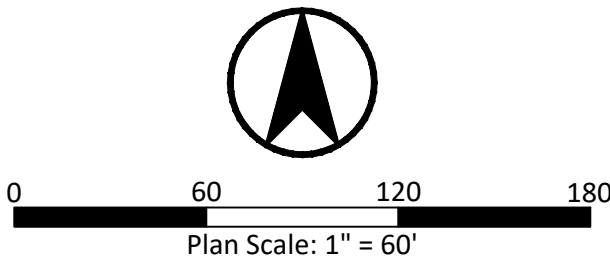


LEGEND



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NAPA VINEYARDS SUBDIVISION
KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

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NO.	ITEM	DATE



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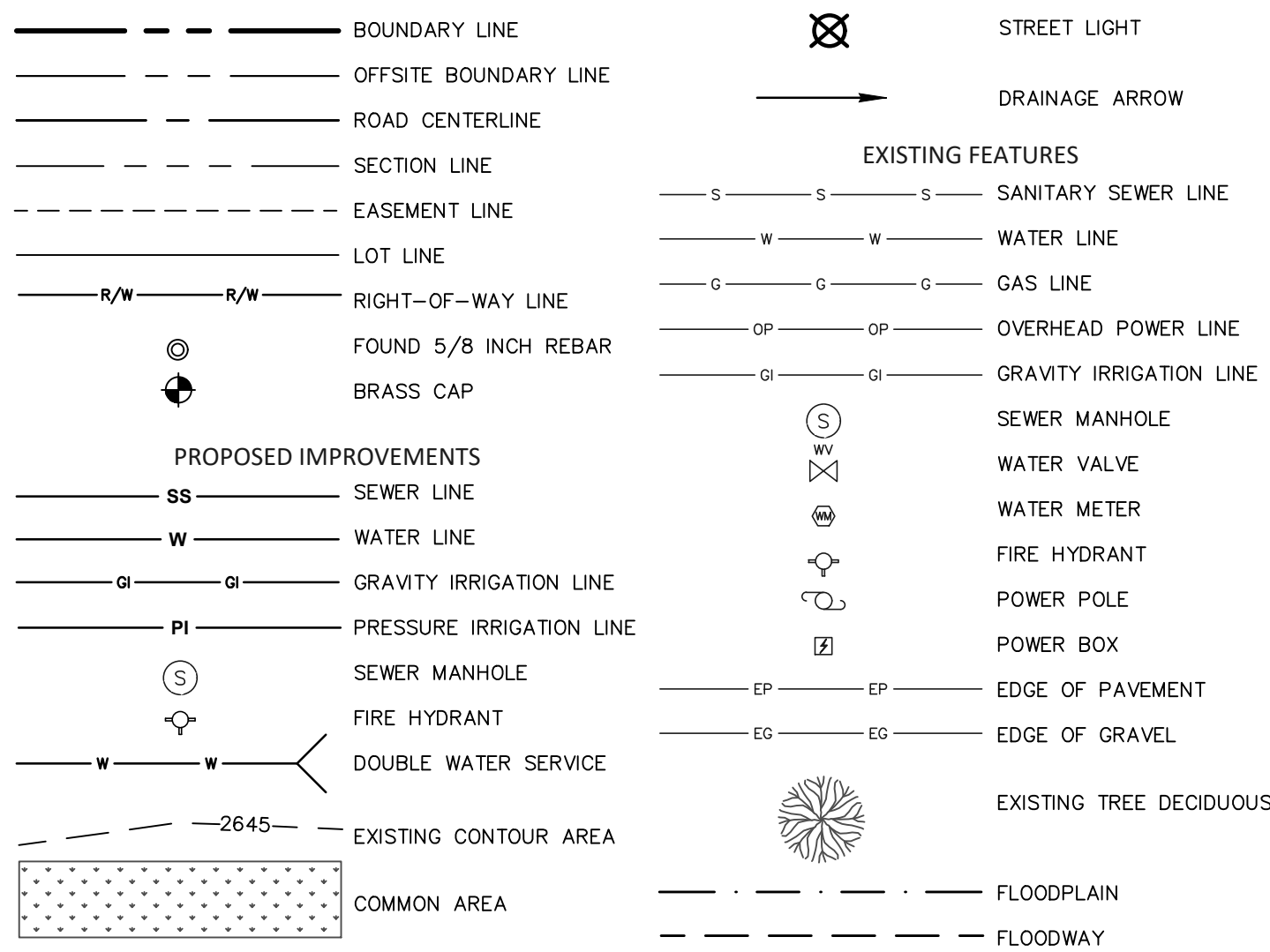
DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO. PP2.6

SEE SHEET PP2.9 FOR CONTINUATION

SEE SHEET PP2.4 FOR CONTINUATION

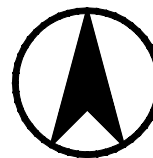


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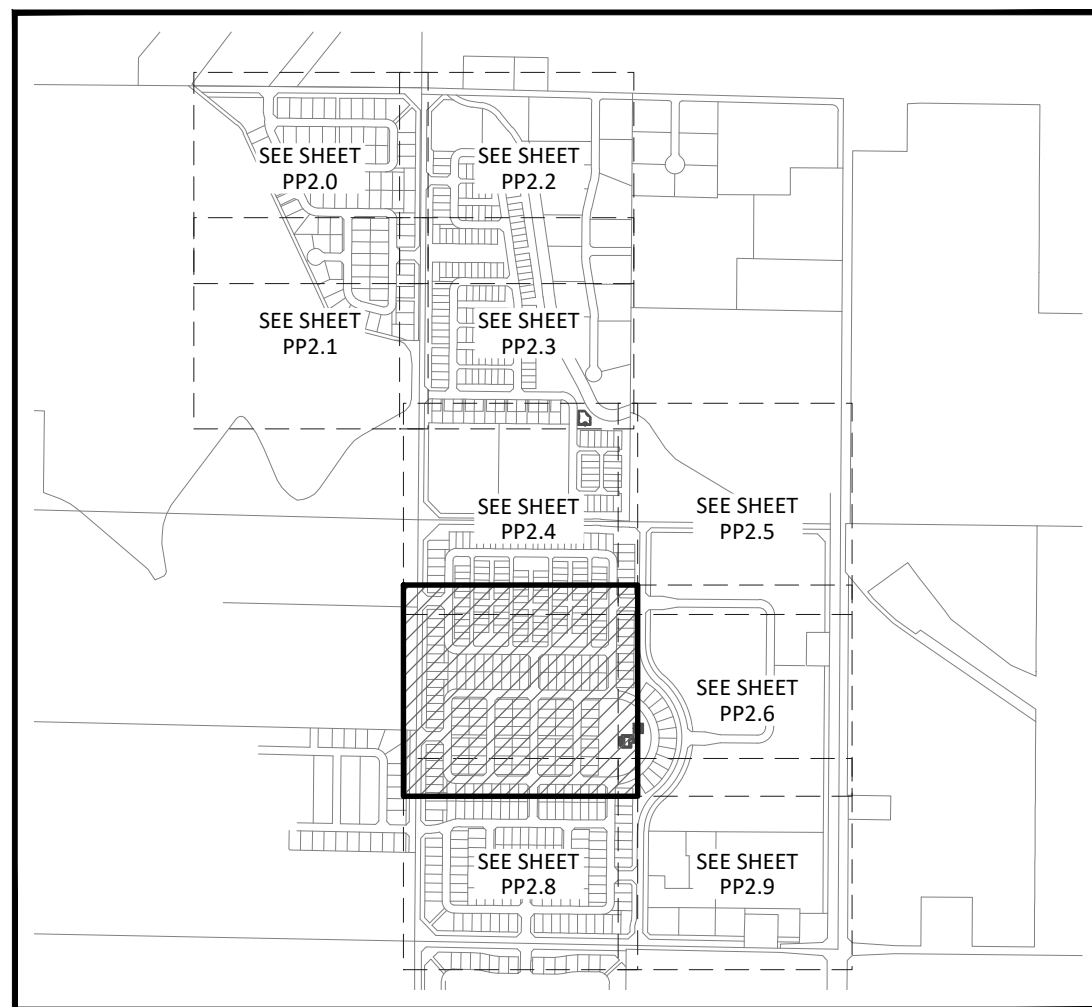


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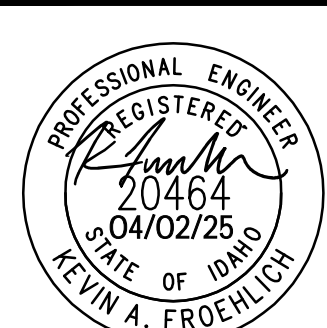


0 60 120 180
Plan Scale: 1" = 60'



NAPA VINEYARDS SUBDIVISION
KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

REVISIONS		
NO.	ITEM	DATE



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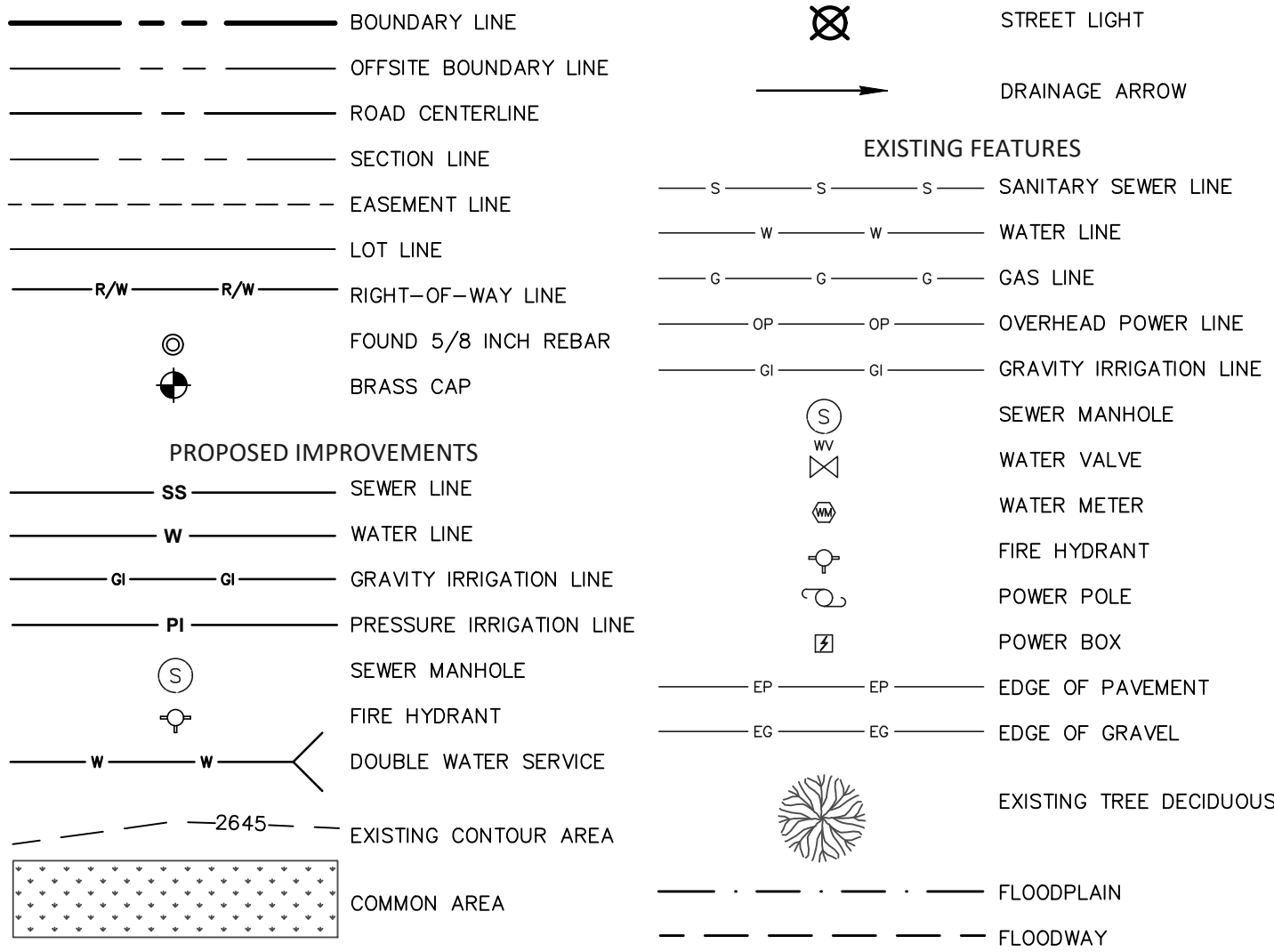
DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO.
PP2.7

SEE SHEET PP2.8 FOR CONTINUATION

SEE SHEET PP2.7 FOR CONTINUATION

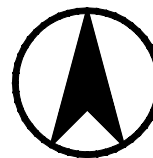


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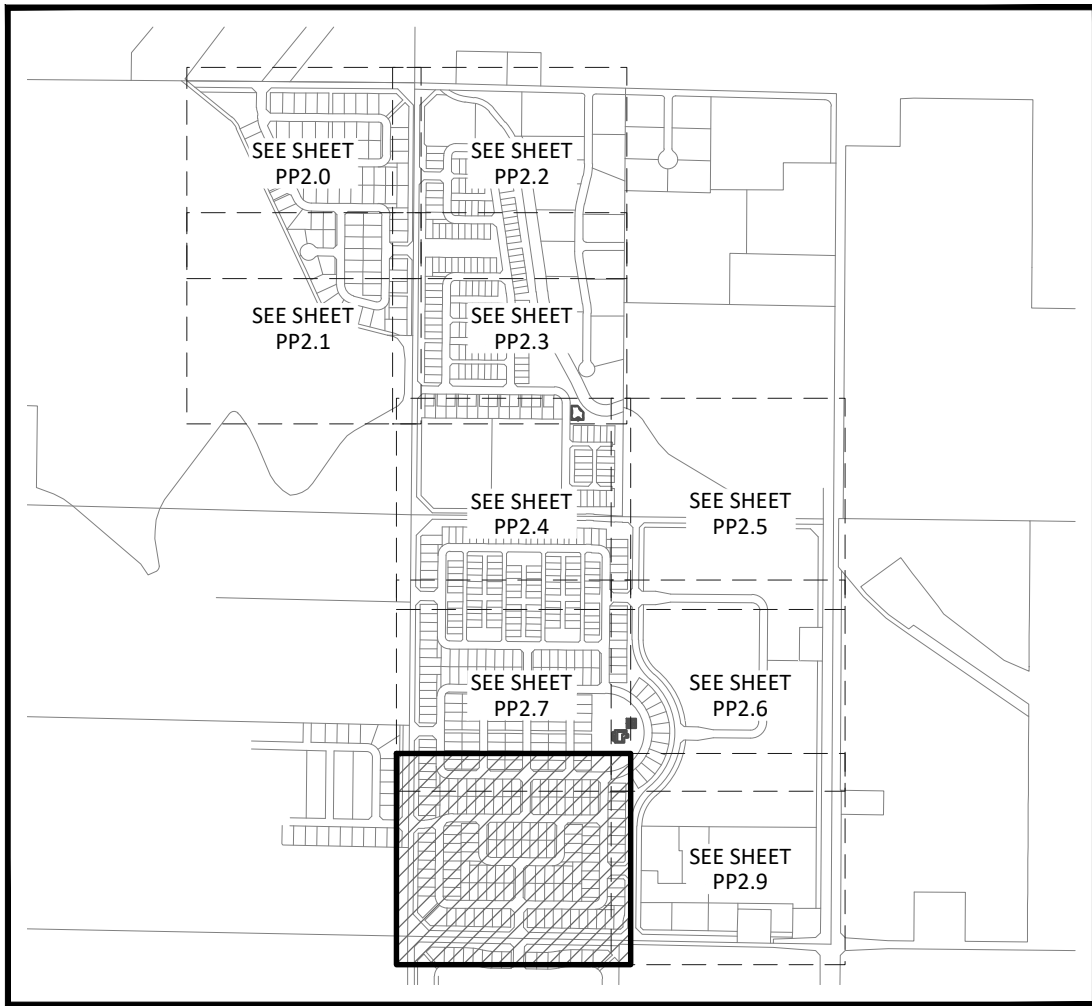


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0 60 120 180
Plan Scale: 1" = 60'



NAPA VINEYARDS SUBDIVISION
KUNA, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

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DATE: OCTOBER, 2024
PROJECT: 22-020
SHEET NO.
PP2.8

(R-20)
LOT 3
677,795 SF
BLOCK 36

SEE SHEET PP2.8 FOR CONTINUATION

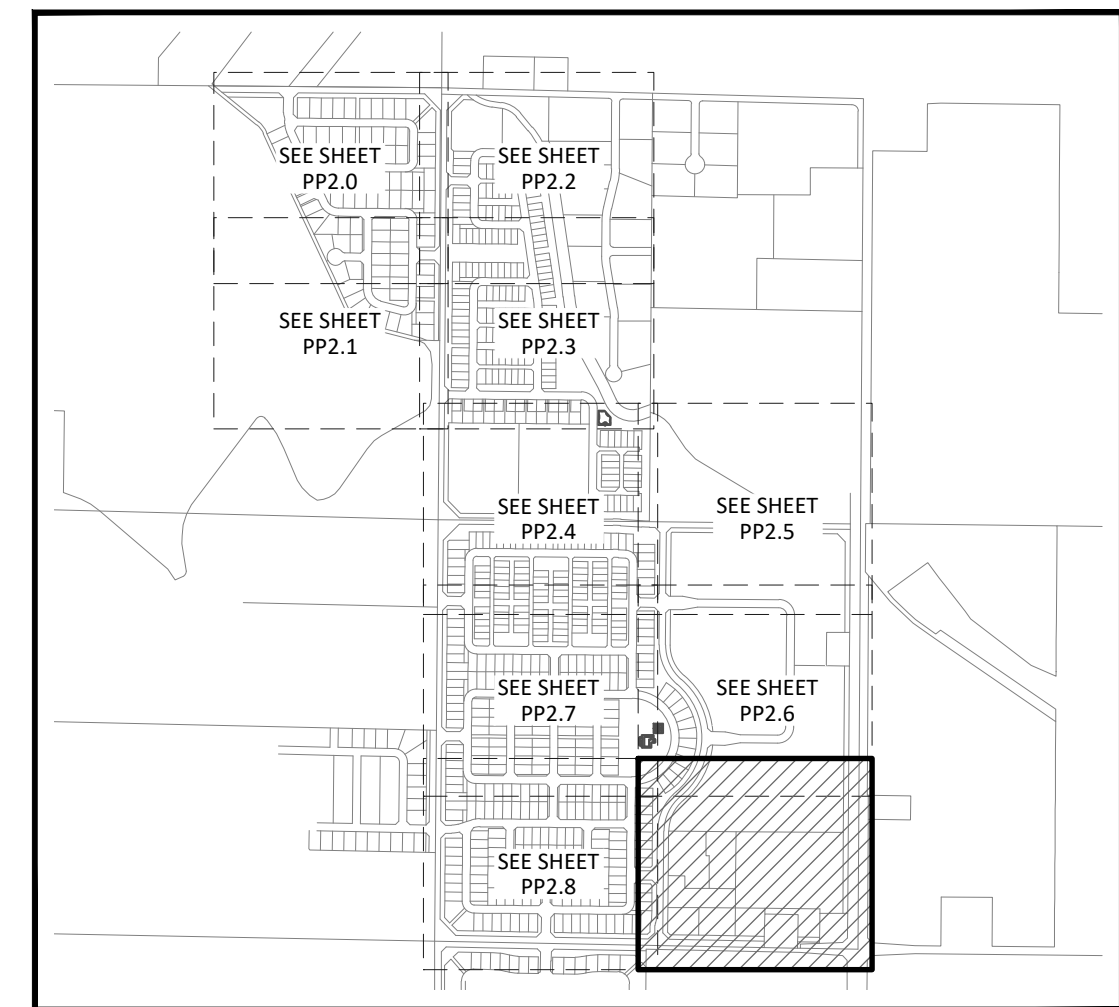
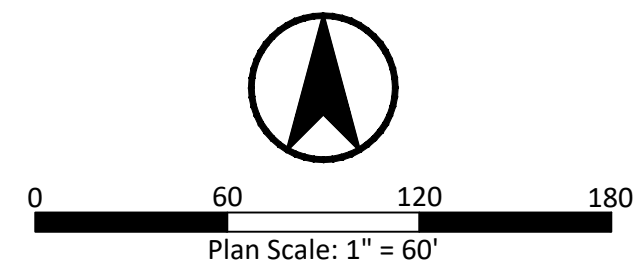
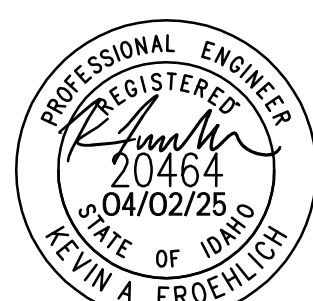
BOUNDARY LINE
 --- OFFSITE BOUNDARY LINE
 --- ROAD CENTERLINE
 --- SECTION LINE
 --- EASEMENT LINE
 --- LOT LINE
 --- R/W --- R/W RIGHT-OF-WAY LINE
 (Circled 'C') FOUND 5/8 INCH REBAR
 (Circle with cross) BRASS CAP

PROPOSED IMPROVEMENTS
 --- SS --- SEWER LINE
 --- W --- WATER LINE
 --- GI --- GI GRAVITY IRRIGATION LINE
 --- PI --- PRESSURE IRRIGATION LINE
 (S in circle) SEWER MANHOLE
 (Circle with cross) FIRE HYDRANT
 --- W --- W DOUBLE WATER SERVICE

EXISTING FEATURES
 (X in circle) STREET LIGHT
 ---> DRAINAGE ARROW
 --- S --- S --- S SANITARY SEWER LINE
 --- W --- W --- W WATER LINE
 --- G --- G --- G GAS LINE
 --- OP --- OP --- OP OVERHEAD POWER LINE
 --- GI --- GI --- GI GRAVITY IRRIGATION LINE
 (S in circle with cross) SEWER MANHOLE
 (Circle with cross) WATER VALVE
 (Circle with cross) WATER METER
 (Circle with cross) FIRE HYDRANT
 (Circle with cross) POWER POLE
 (Square with cross) POWER BOX
 --- EP --- EP --- EP EDGE OF PAVEMENT
 --- EG --- EG --- EG EDGE OF GRAVEL
 (Tree symbol) EXISTING TREE DECIDUOUS

COMMON AREA
 --- 2645 --- EXISTING CONTOUR AREA
 (Dotted pattern) COMMON AREA

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DATE:	OCTOBER, 2024
PROJECT:	22-020
SHEET NO.	
PP2.9	

TYPICAL COLLECTOR ROAD SECTION VERTICAL CURB DETACHED SIDEWALK
S. KAY AVE. AND W. MASON CREEK RD.

TYPICAL LOCAL ROAD SECTION VERTICAL CURB DETACHED SIDEWALK WITH ISLAND

TYPICAL PRINCIPLE ARTERIAL ROAD SECTION VERTICAL CURB DETACHED SIDEWALK
COLUMBIA RD. AND HUBBARD RD.

TYPICAL LOCAL ROAD SECTION ROLLED CURB ATTACHED SIDEWALK



TYPICAL COLLECTOR ROAD HALF SECTION VERTICAL CURB DETACHED SIDEWALK
KAY AVE.

TYPICAL ALLEY ROAD SECTION VERTICAL CURB (NO GUTTER)
NTS

TYPICAL LOCAL ROAD SECTION VERTICAL CURB DETACHED SIDEWALK WITH ISLAND

TYPICAL COLLECTOR ROAD SECTION VERTICAL CURB DETACHED SIDEWALK
MASON CREEK RD.
NTS

TYPICAL LOCAL ROAD SECTION VERTICAL CURB DETACHED SIDEWALK WITH ISLAND

<h1 style="margin: 0;">NAPA VINEYARDS SUBDIVISION</h1> <h2 style="margin: 0;">KUNA, IDAHO</h2> <h3 style="margin: 0;">PRELIMINARY PLAT ROADWAY DETAILS</h3>				 ENGINEERING 5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE (208) 639-6939 kmenngllp.com
REVISIONS			DATE: OCTOBER, 2024 PROJECT: 22-020	
NO.	ITEM	DATE	SHEET NO. PP3.1	