

MEMO

Date: May 13, 2021

To: Robb MacDonald, Engineering Department
T.J. Frans, Engineering Department
Alan Perry, Fire Marshal
Chris Bryant, Building Department
Dave Wright, Police Department
Dave Marston, Mapping Department
Angie Hopf, Mapping Department
Mark Zirchsky, Pioneer Irrigation District
Amber Jaquier-Page, Pioneer Irrigation District
Carl Miller, Compass Idaho
Stephen Hunt, Valley Regional Transit
Idaho Power
Intermountain Gas

From: Kate Phillips, Associate Planner
Caldwell P & Z Department

RE: Case Number SUP21-000004 Norfolk Apartments

Please review the attached application and information and provide us with your written input. We request that you e-mail any comments as soon as possible but no later than **Friday, May 28, 2021**.

E-mail: **P&Z@cityofcaldwell.org**

Case Number SUP21-000004: A request by Madeline Gregg on behalf of Thomas Development for a special use permit for Norfolk Apartments, an 86 unit, multi-family housing development consisting of 5.8 acres on parcel R35373013 zoned C-3 (Service Commercial). The parcel is located approximately 750' southeast of the intersection of 21st Avenue and Chicago Street.

This case is scheduled to be presented before the **Caldwell Planning & Zoning Commission on Tuesday, June 8, 2021 at 7:00 pm.**

We will assume that you have no objections, concerns or comments if you do not reply to this request within the requested timeframe. If you have any questions, you may contact me at 208-455-4594.



CITY OF Caldwell, Idaho

Planning &
Zoning
Hearing
Review
Application

Type of Review Requested

- Annexation/Deannexation
- Appeal/Amendment
- Comprehensive Plan Map Change
- Design Review
- Ordinance Amendment
- Rezone
- Special Use Permit
- Subdivision- Preliminary Plat
- Subdivision- Final Plat
- Subdivison- Short Plat
- Time Extension
- Variance
- Other _____

| |
|--|
| STAFF USE ONLY: |
| File Number(s): <u>SUP21-000004</u> |
| <u>Low Income Senior Housing</u> |
| Project Name: _____ |
| Date Filed: _____ Date Complete: _____ |
| Related Files: _____ |

Subject Property Information

Address: 0 N 21ST AVE CALDWELL, ID 83605 Parcel Number(s): R3537301300

Subdivison: ___ Block: ___ Lot: ___ Acreage: 5.89 Zoning: C3

Prior Use of the Property: Undeveloped.

Proposed Use of the Property: Multifamily ~~senior~~ affordable housing.

Applicant Information

Applicant Name: Madeline Gregg Phone: _____

Address: 420 W. Main Street Suite 300 City: Boise State: ID Zip: 83702

Email: mgregg@thomasdevelopment.com Cell: _____

Owner Name: 21ST AND CHICAGO LLC Phone: _____

Address: 350 N 9TH ST STE 200 City: BOISE State: ID Zip: 83702

Address: BOISE, ID 83702 City: BOISE State: ID Zip: 83702

Email: _____ Cell: _____

Agent Name: (e.g., architect, engineer, developer, representative) Thomas Development Co.

Address: 420 W. Main Street Suite 300 City: Boise State: ID Zip: 83702

Email: mgregg@thomasdevelopment.com Cell: (208) 880-0763

Authorization

Print Applicant Name: Madeline Gregg

Applicant Signature: _____ Date: 02/22/2021

621 Cleveland Boulevard • Caldwell, Idaho 83605 • Phone: (208) 455-3021 • www.cityofcaldwell.com/PlanningZoning

AI



420 W. Main Street, Suite 300
Boise, Idaho 83702
(208) 343-8877
E-Mail:
tmanschreck@thomasdevelopment.com

May 5, 2021

Via Email: JMapp@cityofcaldwell.org

Mr. Jerome Mapp
Director, Planning and Zoning
City of Caldwell, Idaho
621 Cleveland Blvd.
Caldwell, Idaho 83605

RE: Norfolk Family Apartments Zoning Application

Dear Mr. Mapp:

This letter accompanies our request to obtain a Special Use Permit ("SUP") for a new construction, multi-family apartment community.

This request completely supersedes the request accompanying our letter of August 25, 2020 requesting an SUP for a senior apartment community called Montrose Apartments. Due to City Code, this development has been renamed to Norfolk Apartments.

The reason for the pivot is we did not have the preliminary commitment for title insurance at the time we submitted for the senior community, including the submittal to Idaho Housing and Finance Association.

The Declaration of Covenants, Conditions, and Restrictions for this property allows the owner of Grace Assisted Living next door to prohibit senior rental housing on the site subject of this application. I met with one of the principals of Grace Assisted Living and their counsel and they elected to enforce the use restriction.

There is no use restriction on the now-proposed family apartment community use.

Norfolk Family Apartments will be an 86-unit apartment community refining and improving on the very successful family apartment building models we have constructed for many years, including the Mallard Cove Community at 306 S 34th Avenue in Caldwell, Idaho.

The most recent execution is our Copper Ridge Development in Butte, Montana.

For reference, interior and exterior pictures of Copper Ridge will be included in our presentation at the Planning & Zoning hearing on May 25, 2021.

We are enclosing the preliminary architecture for Norfolk Apartments with this application.

There are 14 structures on site:

- (2) are 2 story, 3bedroom 8-plexes
- (5) are 3 story, 2 bedroom 12-plexes
- (1) single story, 1 bedroom duplex

- 2 story Garage Loft duplexes
- 2 story Garage loft 4-plex
- Garage buildings, with 6 bays each.
- Community Building.

The community will be blessed with the following amenities:

Community building, including:

- Library.
- Exercise Center.
- Private Meeting Rooms for providing social services from third-party providers.
- Computer Center.
- Kitchen.
- Recycling Center.
- Leasing Center.

Outside amenities include:

- Two separate "age-appropriate" play areas, one for very young children and one for those somewhat older.
- Basketball hoop.
- Enclosed dog park.
- Walking path.
- Community gardens.
- Enclosed dog park.

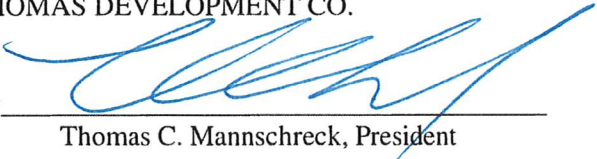
The market study prepared by Mr. Moe Therrien MAI and his associate, Derek Newton, shows substantial unmet demand for family affordable housing in Canyon County and strongly recommends this development as preliminarily presented here be produced.

Thank you for your consideration.

Sincerely,

THOMAS DEVELOPMENT CO.

By


Thomas C. Mannschreck, President

TCM:sw/mdl/meg

Enclosures: As indicated above.

cc: Michelle Landay, Thomas Development Co.
Madeline Gregg, Thomas Development Co.
Gwen Thomson, Northwest Integrity Housing Co.
JoAnn Butler, Northwest Integrity Housing Co.

A-2



420 W. Main Street, Suite 300
Boise, Idaho 83702
(208) 343-8877
E-Mail:

tmanschreck@thomasdevelopment.com

May 3, 2021

Via Email: jmapp@cityofcaldwell.org

Mr. Jerome Mapp
Community Development Director
City of Caldwell Planning & Zoning Department
621 Cleveland Blvd.
Caldwell, ID 83605

RE: Norfolk Apartments Neighborhood Meeting

Dear Jerome:

We conducted the second neighborhood meeting following the pivot from senior housing to family housing. It was held at the La Quinta Motel, Wednesday night, April 28.

The only person in attendance was Rick Bugatsch, an architect representing the property owner immediately adjacent to the east.


I had a nice chat with Mr. Bugatsch and gave him a copy of the plans submitted to the city. He was quite supportive of the development and I believe I answered all the questions he asked of me.

Thank you, Jerome.

Sincerely,

THOMAS DEVELOPMENT CO.

By

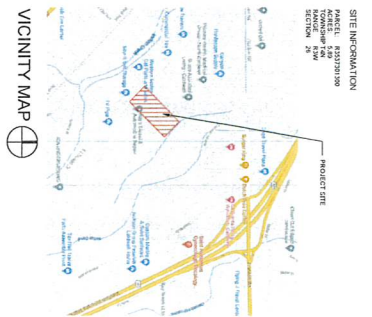
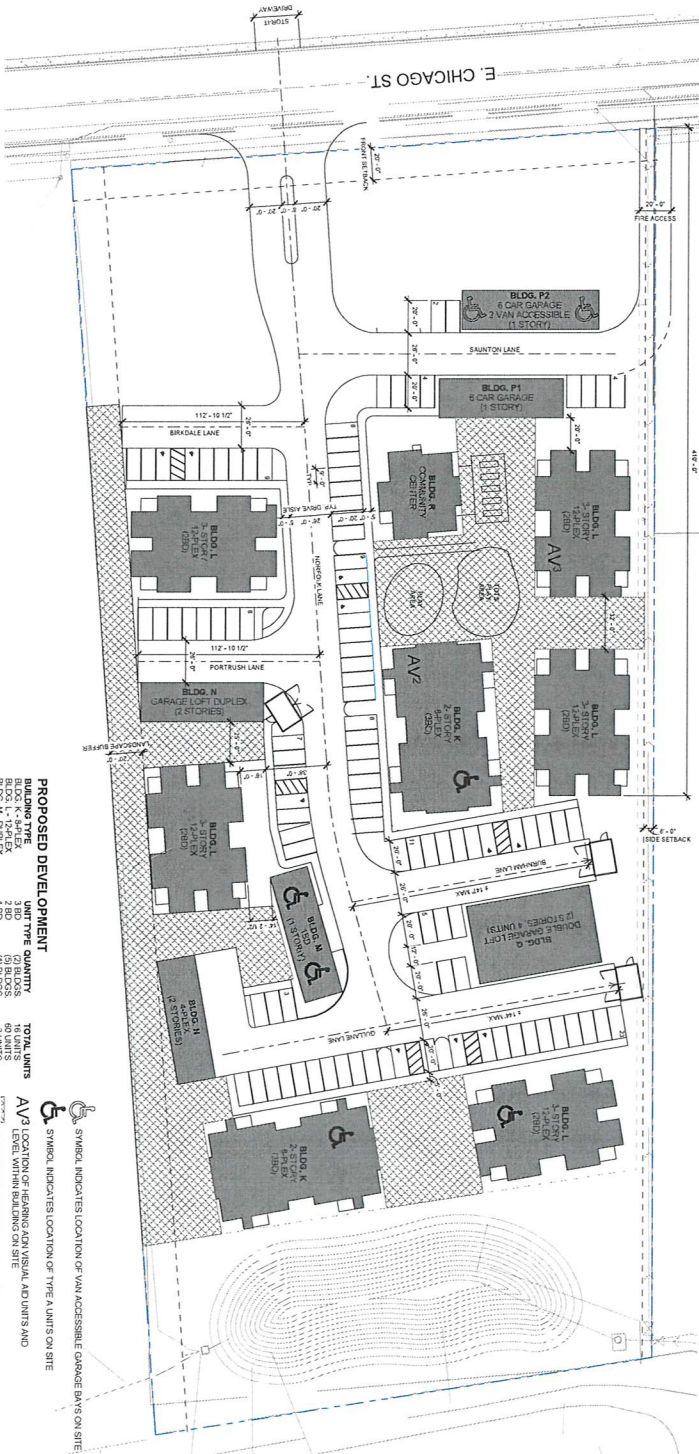

Thomas C. Mannschreck, President

TCM:aec

cc: Michelle Landay, Thomas Development Co.
Andy Erstad, erstad Architects
Daphne Romani, erstad Architects
Rick Bugatsch, Houston Bugatsch Architects, Chartered

A-2

Site
1" = 30'-0"



PROPOSED DEVELOPMENT

| BUILDING TYPE | UNIT TYPE QUANTITY | TOTAL UNITS |
|-----------------------------------|--------------------|------------------|
| BLDG. K - 14 UNIT EX | 14 | 14 UNITS |
| BLDG. L - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. M - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. N - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. O - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. P1 - 8 CAR GARAGE (1 STORY) | 8 | 8 UNITS |
| BLDG. P2 - 6 CAR GARAGE (1 STORY) | 6 | 6 UNITS |
| BLDG. Q - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. R - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. S - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. T - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. U - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. V - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. W - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. X - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. Y - 12 UNIT EX | 12 | 12 UNITS |
| BLDG. Z - 12 UNIT EX | 12 | 12 UNITS |
| TOTAL | 171 | 171 UNITS |

PARKING CALCULATION

PER TABLE 4-102.02S PARKING, LOADING AND PEDESTRIAN AMENITY STANDARDS

1.5 PARKING SPACES PER DWELLING UNIT MINIMUM

86 UNITS x 1.5 = 129 PARKING SPACES REQUIRED MIN.

100 PARKING SPACES (17 ACCESSIBLE)

129 TOTAL PARKING SPACES PROVIDED

14 TOTAL ACCESSIBLE SPACES PROVIDED

50% DD

DATE: 04.23.2021
DRAWN BY: [Signature]
CHECKED BY: [Signature]

norfolk apartments
caldwell, idaho

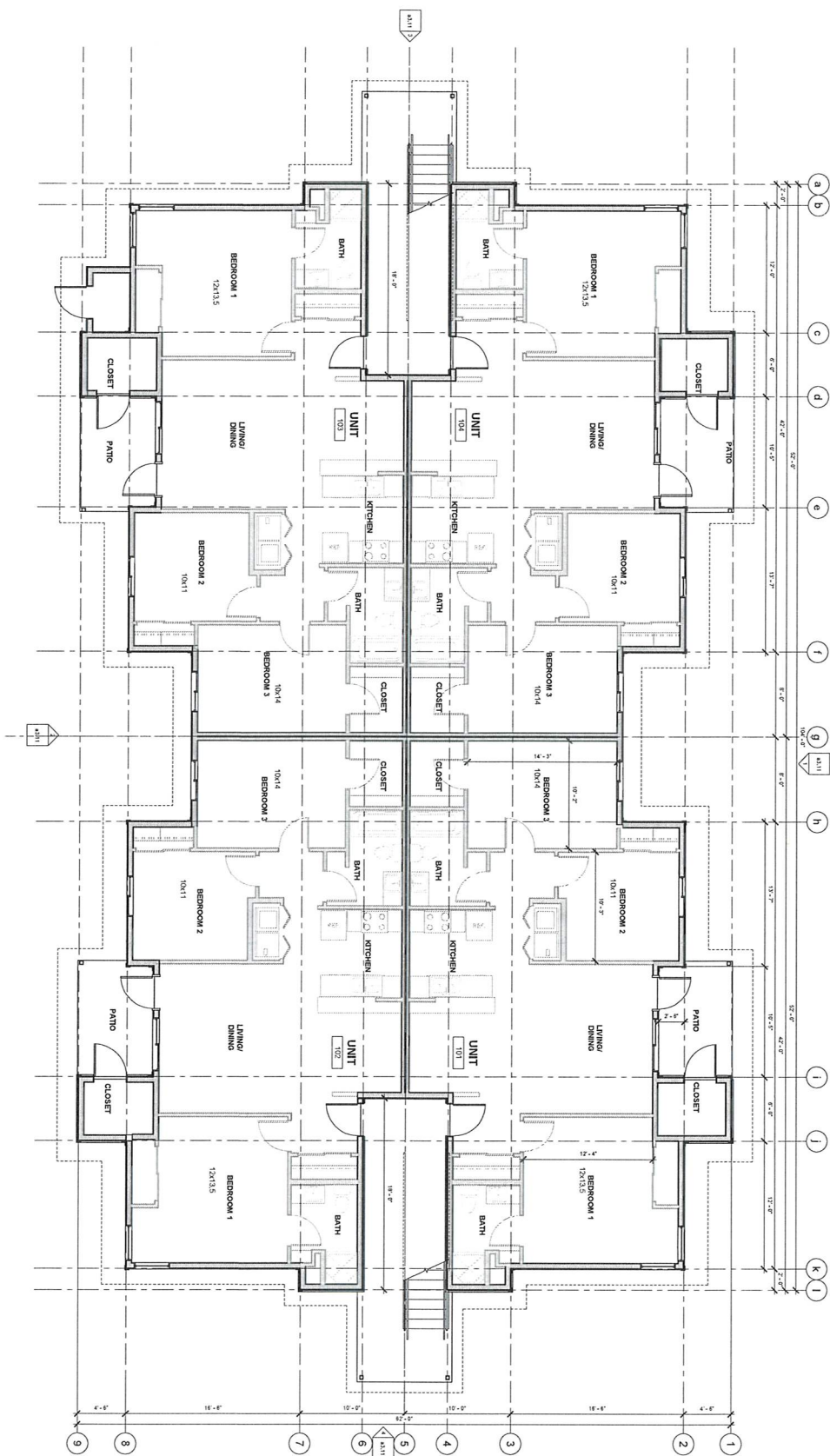
PROJECT NO: 0049

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eristad ARCHITECTS, PA
715 S. 10th Street, Suite 100
Caldwell, ID 83402-1001
PHONE: 208.368.1100 FAX: 208.368.1102 WWW.ERISTADARCHITECTS.COM

NOT FOR CONSTRUCTION

architectural site plan
a1.11



1st floor
 gross footprint 5,202 s.f.
 gross area 10,252 s.f.
 3 bed unit 1,110 s.f.

keynotes:
 1. NOT SHOWN

general notes:
 A. PROVIDE FINISHES AND FURNITURE SCHEDULES IN FIELD. VERIFY ARCHITECT'S SCHEDULES WITH FINISHES AND FURNITURE SCHEDULES.
 B. VERIFY ALL DIMENSIONS AND FINISHES WITH ARCHITECT'S SCHEDULES.
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 Y. VERIFY ALL DIMENSIONS AND FINISHES WITH ARCHITECT'S SCHEDULES.
 Z. VERIFY ALL DIMENSIONS AND FINISHES WITH ARCHITECT'S SCHEDULES.

city of
 caldwell

bidg. K first
 floor plan
 a2.11

date: 200805
 04/20/2011
 checked: df
 schematic
 design

revision
 no. desc. date

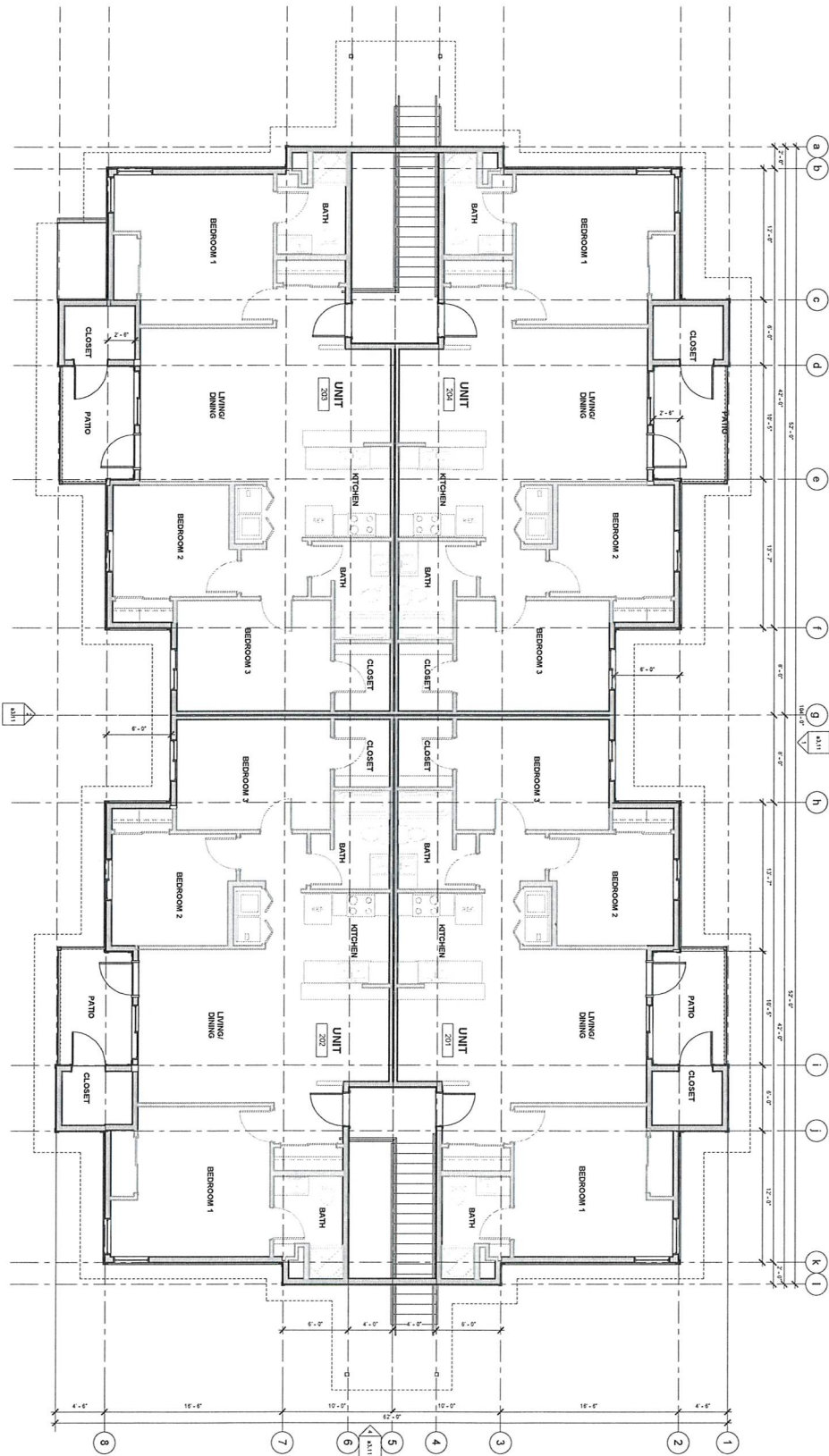
norfolk apartments - building K
 chicago street
 caldwell, idaho

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estad ARCHITECTS, PA
 3101 5th Street, Suite 100
 phone: (208) 333-9201 fax: (208) 333-9222 www.estadarchitects.com

A3

second floor



city of
caldwell

bldg. K
second
floor plan
a2.12

design: 2/20/2021
date: 04/20/2021
drawn:
checked:
designer:

revision:
no. desc. date

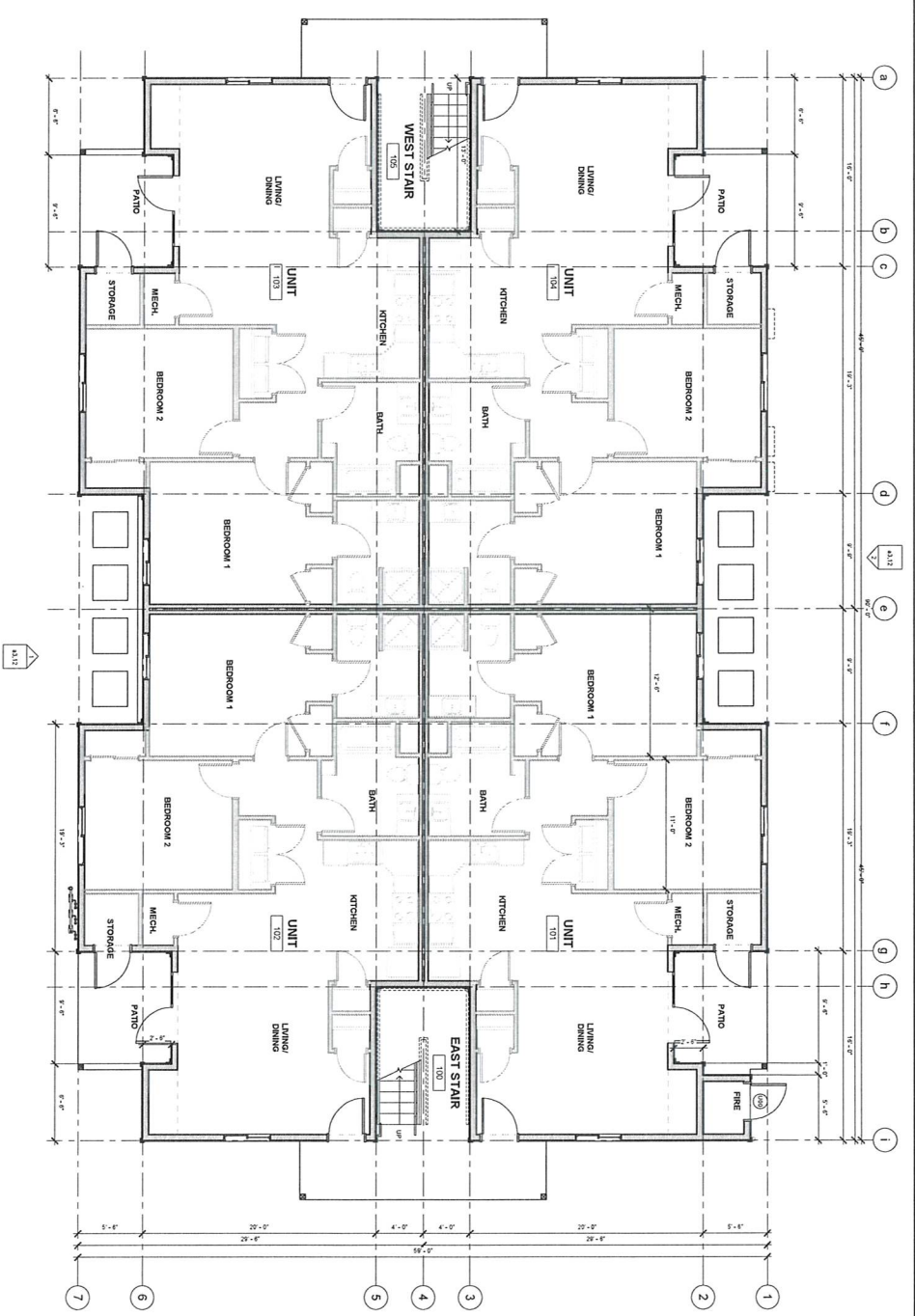
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A-3



1 first floor
 gross toposide 4,670.5 s.f.
 gross total 13,551 s.f.
 2 set unit 1,000 s.f.

- keynotes:**
1. FINE FINISH ROOMS
 2. FINE FINISH BATHS
 3. METAL CLADDING TO BE FINISHED & PAINTED. SEE EXISTING DRAWINGS FOR FINISH SCHEDULE.
 4. FINE STAIRS TO BE FINISHED. SEE EXISTING DRAWINGS FOR FINISH SCHEDULE.
 5. METAL CLADDING TO BE FINISHED & PAINTED. SEE EXISTING DRAWINGS FOR FINISH SCHEDULE.
 6. METAL CLADDING TO BE FINISHED & PAINTED. SEE EXISTING DRAWINGS FOR FINISH SCHEDULE.
 7. METAL CLADDING TO BE FINISHED & PAINTED. SEE EXISTING DRAWINGS FOR FINISH SCHEDULE.

- general notes:**
1. CONSULT THE CITY OF CALDWEL FOR ALL DIMENSIONS BY FIELD. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.
 2. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES BEFORE CONSTRUCTION.
 3. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES BEFORE CONSTRUCTION.
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 7. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES BEFORE CONSTRUCTION.

city of caldwel

norfolk apartments - building L
 chicago street
 caldwel idaho

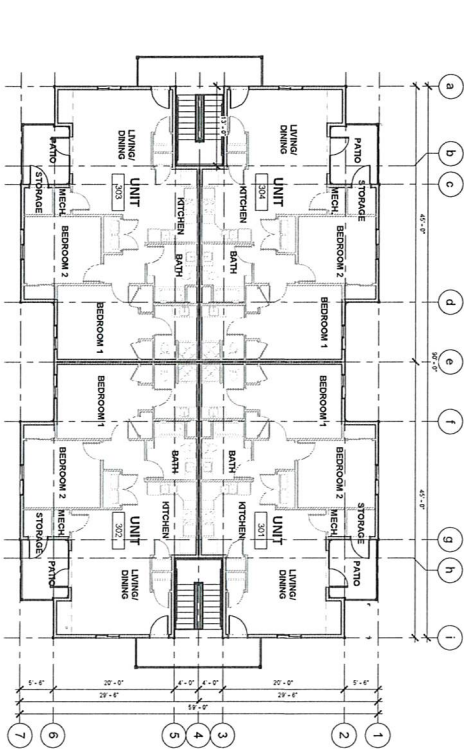
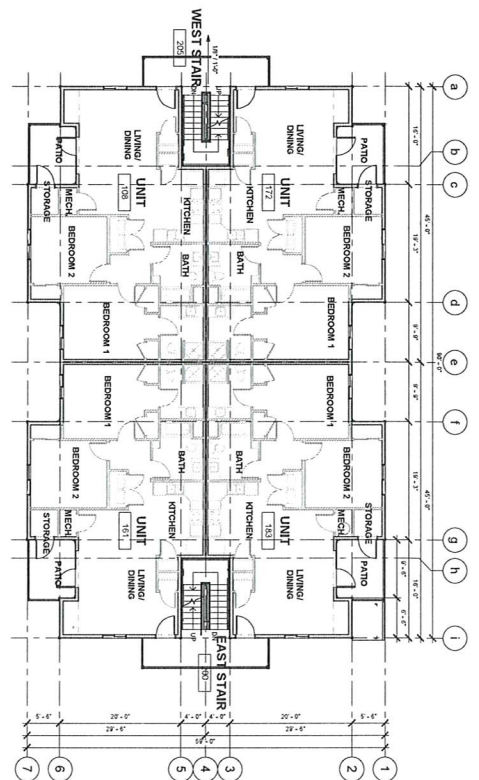
blgd. L first floor plan
 a2.13

no. desc. date
 200805
 04.20.2021
 checked: dr
 design: dr

norfolk architects, pa
 315 s. 3rd street, suite 100
 caldwel, idaho 83402
 phone: (208) 315-9221 fax: 315-9222 www.norfolkarch.com

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 315 s. 3rd street, suite 100
 caldwel, idaho 83402
 phone: (208) 315-9221 fax: 315-9222 www.norfolkarch.com

A-3



A-3

for information in this project, contact the architect's office at: **ARISTO ARCHITECTS, PA**
 3141 30th Street, Suite 100, Erie, PA 16595
 Phone: (814) 833-9211 Fax: (814) 833-9222 www.aristoadv.com

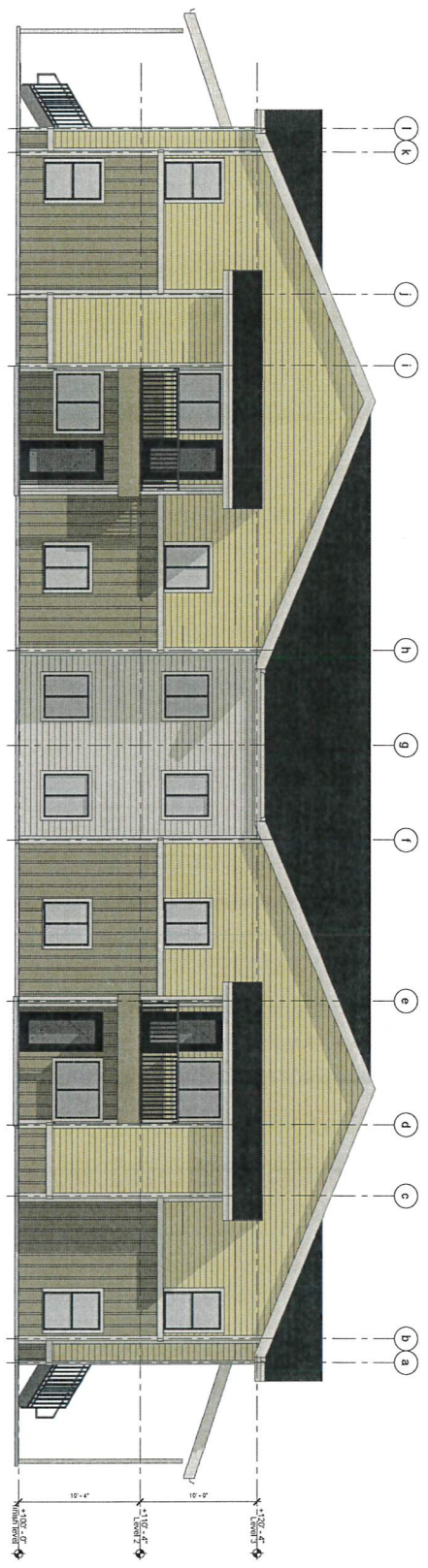
norfolk apartments - building L
 chicago street
 caldwell idaho

revision: no. desc. date

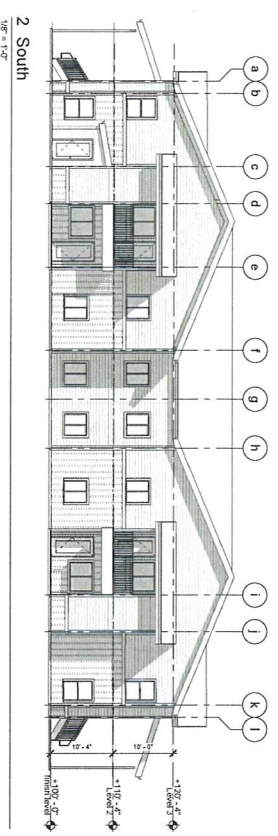
date: 2/20/2025
 dslr: 04.20.2021
 checked:
 schematic design

city of caldwell

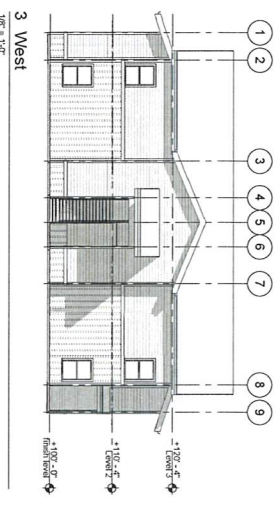
bldg. L
 second & third floor plans
 a2.14



1 North
1/8" = 1'-0"



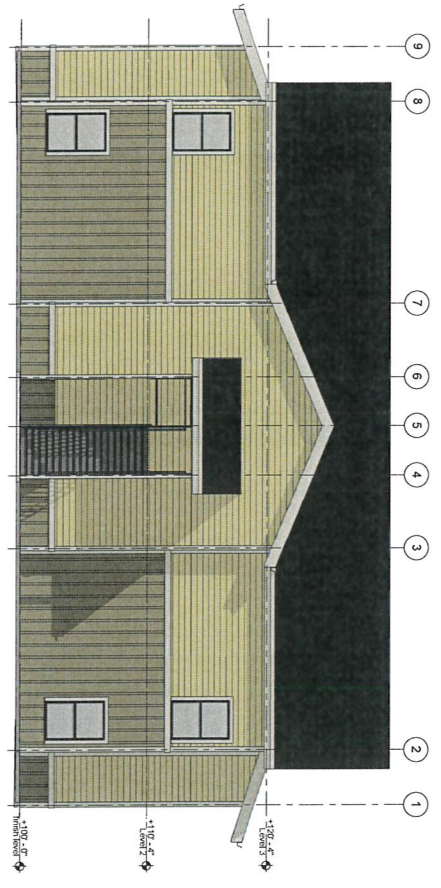
2 South
1/8" = 1'-0"



3 West
1/8" = 1'-0"

EXTERIOR MATERIALS

| | |
|--|--|
| | PAINTED SIDING & SLATTING BURNHAMMER GRAY |
| | PAINTED HORIZONTAL SIDING ANTHONY |
| | PAINTED VERTICAL SIDING ANTHONY |
| | PAINTED TRIM MATERIAL CHOICE |
| | ACRYLIC 2000 YEAR POLYURETHANE FINISH SYSTEM |



4 East
1/8" = 1'-0"

Keynotes:
1. NOT SHOWN

General notes:
A. VERIFY ALL EXTERIOR MATERIAL REPRESENTATION.
B. OBTAIN ALL EXTERIOR MATERIAL REPRESENTATION TO MATCH COLORS.
C. EXTENSION LIGHTS AND WINDOW AND DOOR FRAME CORNICES.
D. EXTERIOR WALLS AND PAINT TO BE FINISHED WITH AN EXTERIOR GRADE FINISH.
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city of boise

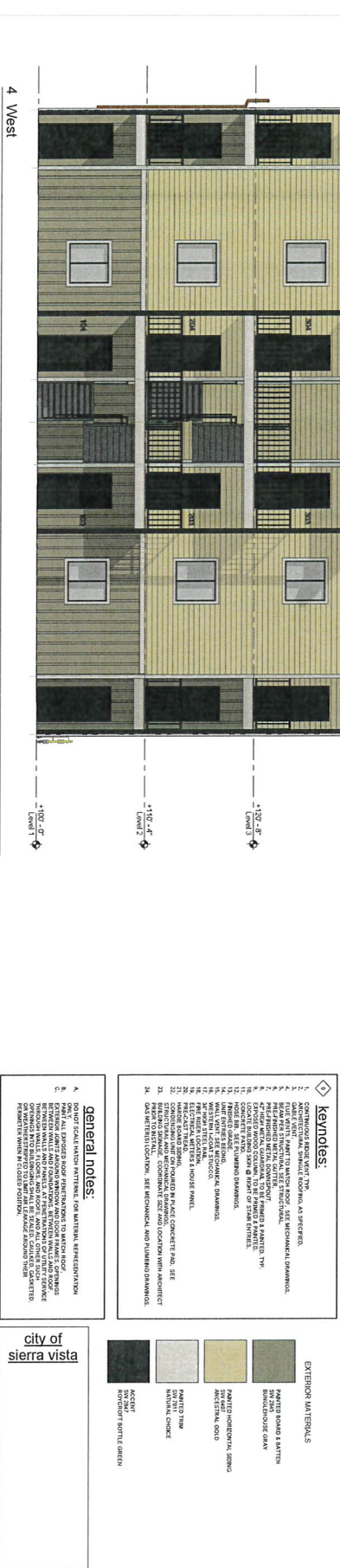
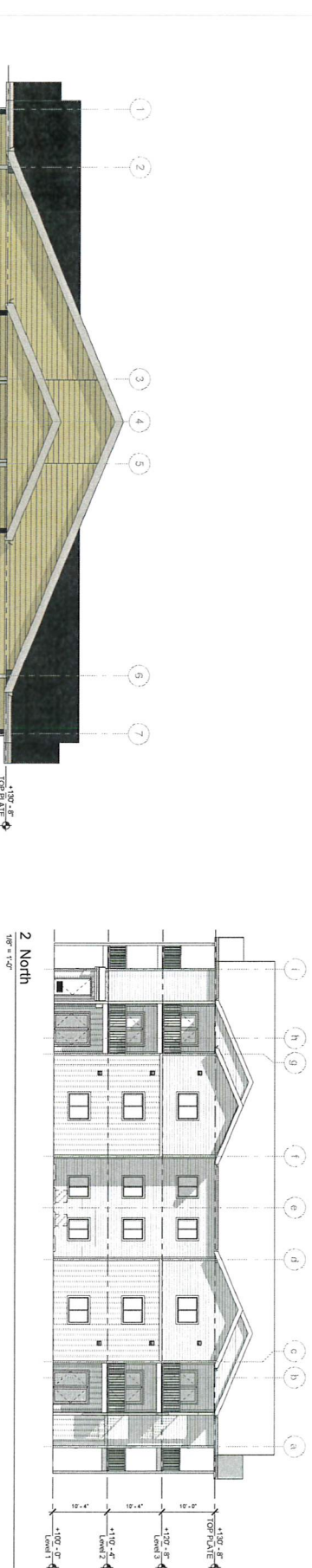
exterior elevations
a3.11

norfolk apartments - building K
chicago street
caldwell, idaho

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estad ARCHITECTS, PA
1515 5th Street, Suite 400, Boise, ID 83725
phone: (208) 333-8337 fax: (208) 333-8338 www.estadarchitects.com





A-3

erinist ARCHITECTS, PA
 315 S. 5th Street, Suite 100
 Spokane, WA 99201
 Phone: (509) 325-1234 Fax: (509) 325-1235
 www.erinist.com

FOR INFORMATION IN THIS PROJECT'S Schematic Design, Preparation of Plans, and Construction Documents, the Architect is not responsible for the accuracy of the information provided by the client. The Architect is not responsible for the accuracy of the information provided by the client. The Architect is not responsible for the accuracy of the information provided by the client.

norfolk apartments - building L
 chicago street
 caldwell idaho

PROJECT NO: 200905
 DATE: 04.20.2011
 DRAWING: exterior elevations schematic design

city of sierra vista

exterior elevations a3.12

- KEYNOTES:**
1. CONFIRM WITH THE ARCHITECT THE LOCATION OF ALL MECHANICAL EQUIPMENT.
 2. ALL VENTILATION TO BE PROVIDED AS SPECIFIED.
 3. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.
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 20. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.
 21. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.
 22. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.
 23. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.
 24. ALL MECHANICAL EQUIPMENT TO BE PROVIDED AS SPECIFIED.

EXTERIOR MATERIALS

| | |
|----|---------------|
| 1 | PAINTED BRICK |
| 2 | PAINTED BRICK |
| 3 | PAINTED BRICK |
| 4 | PAINTED BRICK |
| 5 | PAINTED BRICK |
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| 24 | PAINTED BRICK |

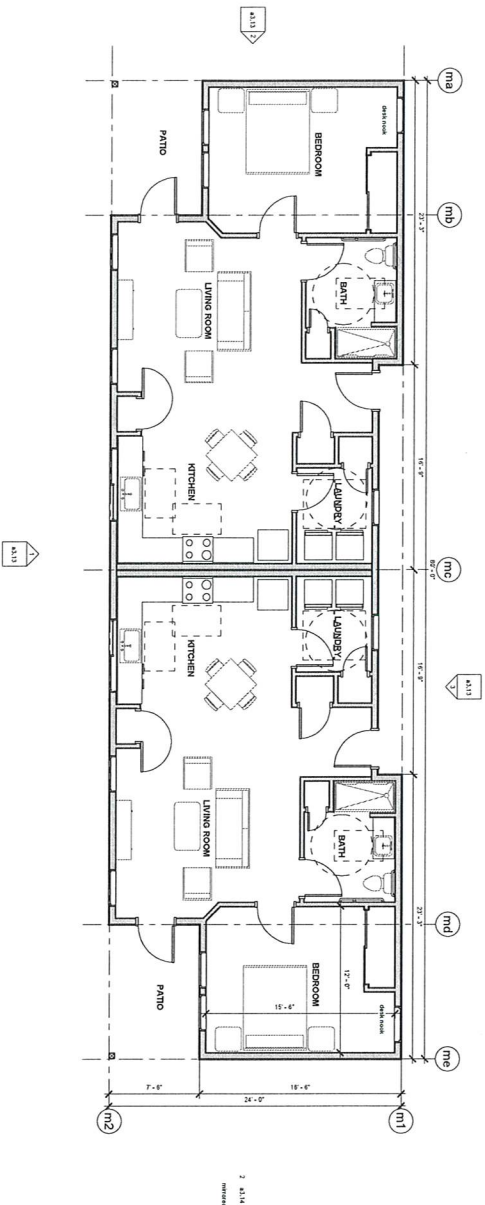
General notes:

1. DO NOT SCALE DRAWINGS. FOR MATERIAL REPRESENTATION, REFER TO THE MATERIAL SCHEDULE.
2. ALL MATERIALS TO BE PROVIDED AS SPECIFIED.
3. ALL MATERIALS TO BE PROVIDED AS SPECIFIED.
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23. ALL MATERIALS TO BE PROVIDED AS SPECIFIED.
24. ALL MATERIALS TO BE PROVIDED AS SPECIFIED.

first floor plan - bldg. M
1/8" = 1'-0"

LEVEL, LAYOUT, FINISH E, FOR SETS, 1/8" = 1'-0" S.E. 1/8" = 1'-0" S.E.

REVISION: TYPE A, 20.15



keynotes:

- general notes:**
- CONSTRUCTION TO VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT IMMEDIATELY.
 - GRIPPER WALLS SHALL BE FINISHED WITH FINISH WALLS AT ALL EXPOSURES.
 - WALLS TO BE FINISHED WITH FINISH WALLS AT ALL EXPOSURES.
 - FINISH TO BE DETERMINED BY ARCHITECT. ALL PARTITIONS AND EXPOSURES TO BE FINISHED TO MATCH EXISTING FINISH.
 - LOCATIONS OF NEW RELIEF PARTITIONS SHALL BE DETERMINED BY ARCHITECT.



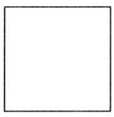
bldg. M
floor plan
a2.15

2008075
date: 04.20.2021
checked: df

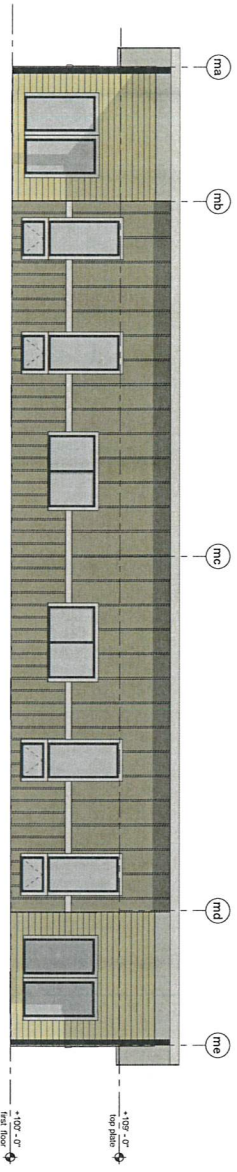
revision: 04.20.2021
date: 04.20.2021
checked: df

norfolk apartments - building M
caldwell, idaho

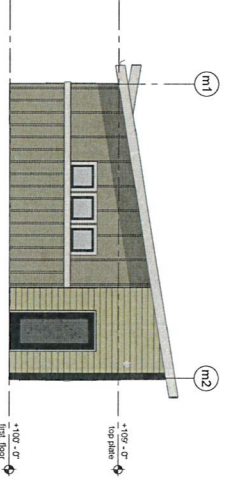
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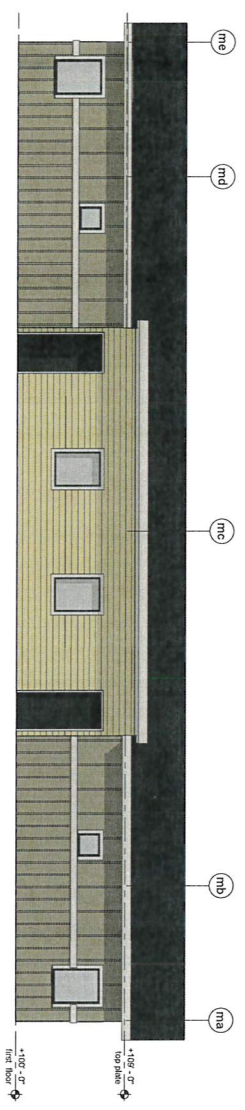
A-3



1 front elevation - bldg. M
1/8" = 1'-0"



2 side elevation - bldg. M
1/8" = 1'-0"



3 back elevation - bldg. M
1/8" = 1'-0"

General notes:
 A. DRAWING SCALE MATCH PATTERNS; FOR MATERIAL REPRESENTATION
 B. EXTERIOR WALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED
 C. EXTERIOR WALLS SHALL BE CONCRETE ON BLOCK OR CMU UNLESS OTHERWISE NOTED
 D. EXTERIOR WALLS SHALL BE INSULATED UNLESS OTHERWISE NOTED
 E. EXTERIOR WALLS SHALL BE FINISHED WITH STUCCO UNLESS OTHERWISE NOTED
 F. EXTERIOR WALLS SHALL BE FINISHED WITH SIDING UNLESS OTHERWISE NOTED
 G. EXTERIOR WALLS SHALL BE FINISHED WITH BRICK UNLESS OTHERWISE NOTED
 H. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 I. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 J. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 K. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
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 O. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 P. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 Q. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 R. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 S. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 T. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 U. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 V. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 W. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 X. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 Y. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED
 Z. EXTERIOR WALLS SHALL BE FINISHED WITH CLADDING UNLESS OTHERWISE NOTED

city of
 caldwell

PROVISION NO. DATE DATE

norfolk apartments - building M
 caldwell, idaho

FOR INFORMATION IN THIS ARCHITECT'S PLAN SET, PROFESSIONAL SEAL, SIGNATURE AND EXPIRATION DATE, THE ARCHITECT HAS REVIEWED THE DRAWINGS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE IDAHO BOARD OF ARCHITECTS. (2020)

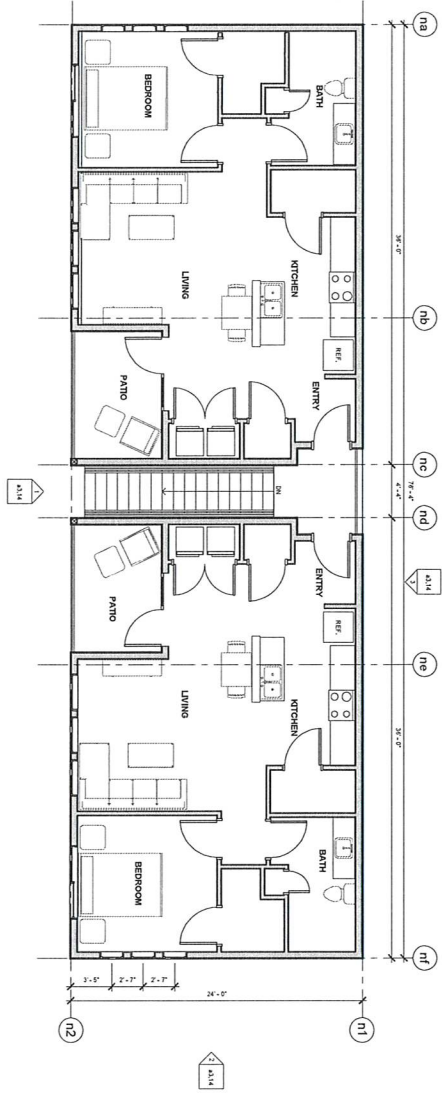
erstad ARCHITECTS, PA
 215 S. 2ND STREET, SUITE 200
 BOZEMAN, IDAHO 83725
 PHONE (208) 357-9511 FAX (208) 357-9522 WWW.ERSTADARCHITECTS.COM

A-3

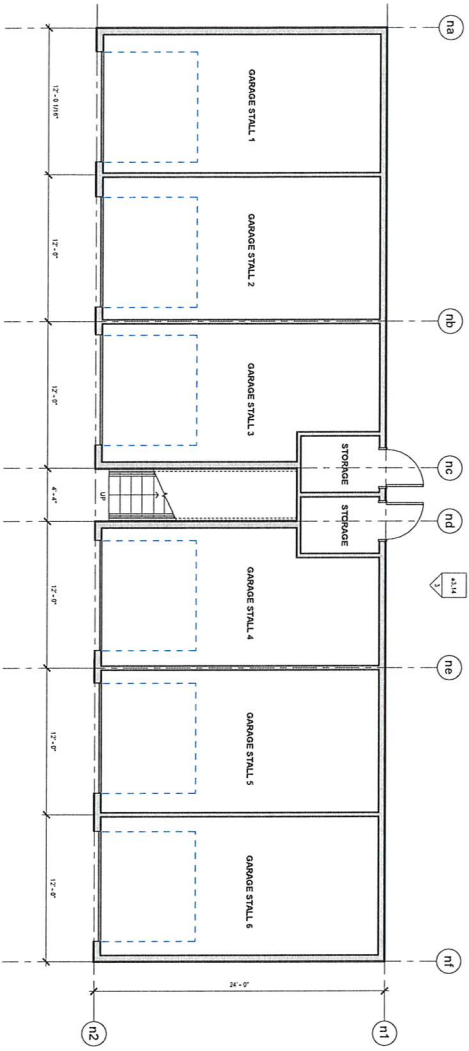
exterior
 elevations -
 bldg. M
a3.13

DATE: 202005
 DRAWN BY: JF
 CHECKED BY: JF
 SCALE: AS SHOWN
 SHEET NO.: 13
 PROJECT NO.: 202005

2 second floor plan - bldg. N
1/8" = 1'-0"



1 first floor plan - bldg. N
1/8" = 1'-0"



GENERAL CONTRACTOR: PORTLAND CONTRACTORS, INC. 1220 COMMERCIAL ST. SE. PORTLAND, OR 97202
ARCHITECT: erstad ARCHITECTS, PA 3101 S.W. River Road, Suite 100, Beaverton, OR 97005
DATE: 04.20.2021
DRAWING NO.: 2009005-01

city of
caldwell

keynotes:

general notes:

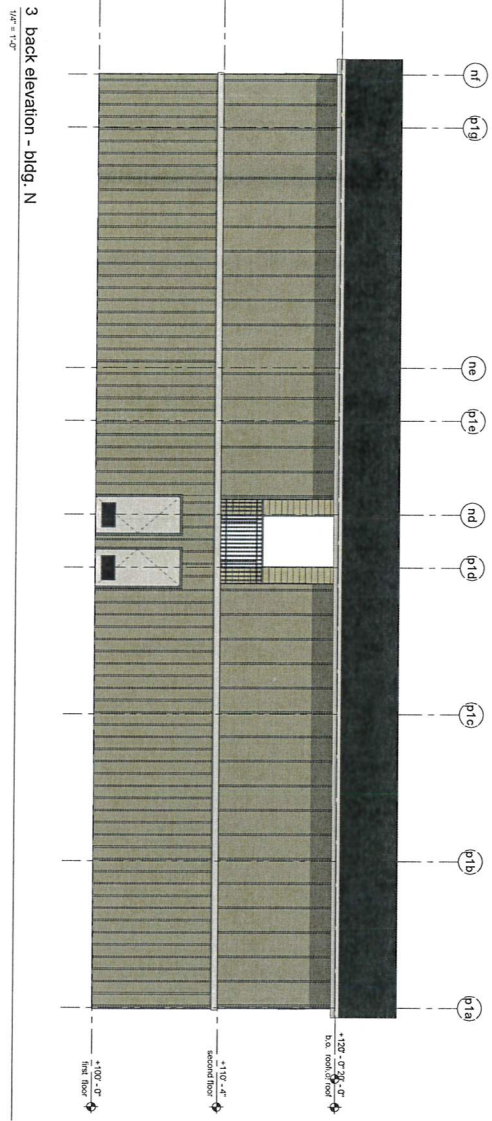
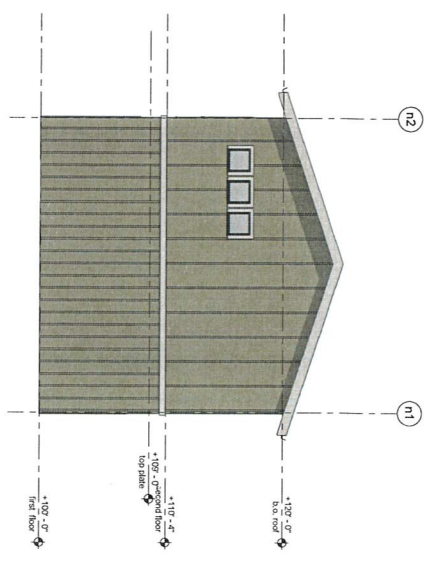
- CONSTRUCTION TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY IN WRITING.
- GRASSY AREAS TO BE MAINTAINED THROUGHOUT CONSTRUCTION. REPAIR AT ALL EXPENSES.
- ALL UTILITIES TO BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. ALL EXISTING WALLS ARE TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE. ALL PARTITIONS AND DIMENSIONS TO BE VERIFIED BY THE CONTRACTOR. DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS SPECIFICALLY NOTED OTHERWISE.

norfolk apartments - building N
caldwell, idaho

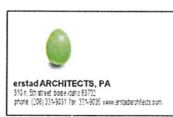
erstad ARCHITECTS, PA
3101 S.W. River Road, Suite 100
Beaverton, OR 97005
phone: 503.638.9201 fax: 503.638.9202 www.erstadarchitects.com

A-3

bldg. N
floor plans
a2.16



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A-3

norfolk apartments - building N
caldwell, idaho

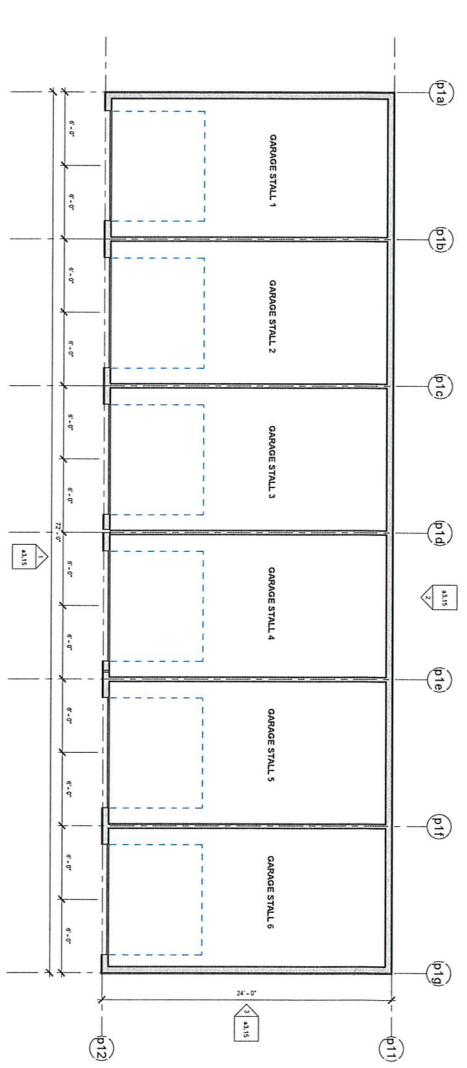
| revision | no. | desc. | date |
|----------|-----|-------|------|
| | | | |

sheet: 202002C
date: 04.20.2021
drawn: SF
checked: SF
schematic design

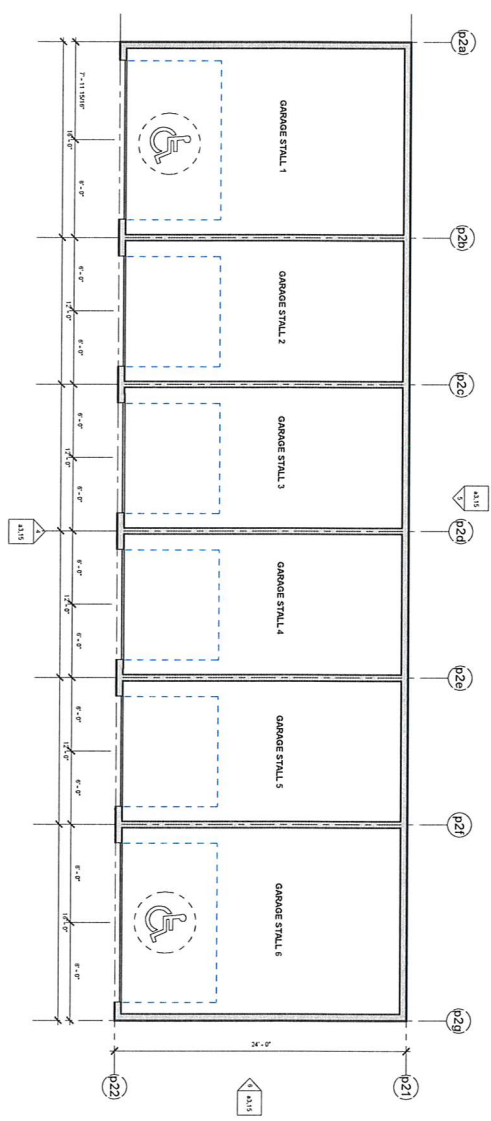
city of caldwell

exterior elevations - bldg. N
a3.14

General notes:
A. OWNER SCALE PLAN/PATENTING, FOR MATTER, REPRESENTATION
B. ALL DIMENSIONS ARE IN FEET AND INCHES
C. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
D. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT
E. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
F. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
G. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
H. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
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J. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
K. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
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M. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
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Q. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
R. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
S. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
T. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
U. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
V. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
W. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
X. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
Y. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO
Z. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CALDWELL, IDAHO



1 first floor plan - bldg. P1
1/8" = 1'-0"



2 first floor plan - bldg. P2
1/8" = 1'-0"

A-3



FOR INFORMATION IN THE ARCHITECT'S OFFICE, THE ARCHITECT'S FIRM, AND PROFESSIONAL SEAL, UTAH, PROFESSIONAL SEAL, UTAH, ARCHITECTS, INC. 100 WEST 50TH AVENUE SUITE 100 DENVER, CO 80202

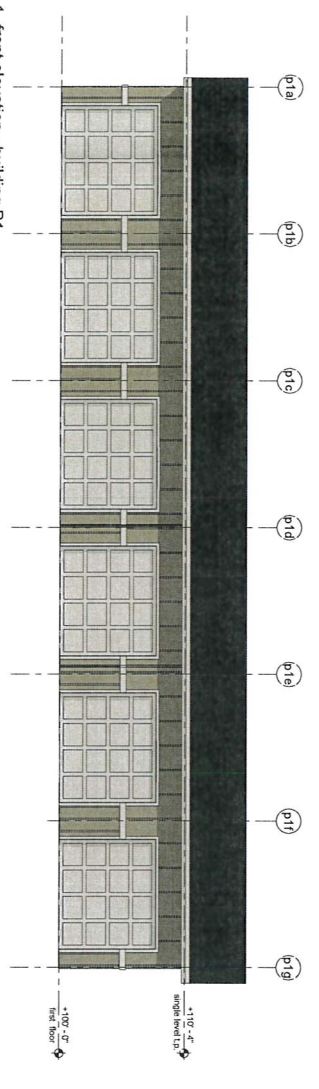
norfolk apartments
caldwell, idaho

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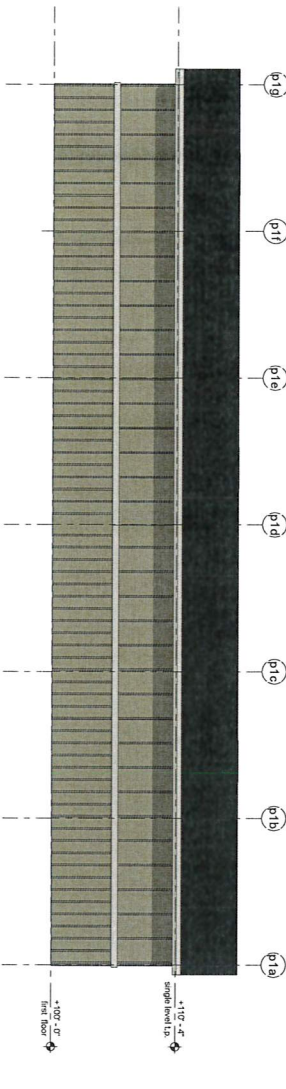
DATE: 200805
 DATE: 04.20.2021
 DRAWN BY: JF
 CHECKED BY: JF
 DESIGNER: JF
 SCHEMATIC DESIGN

city of caldwell

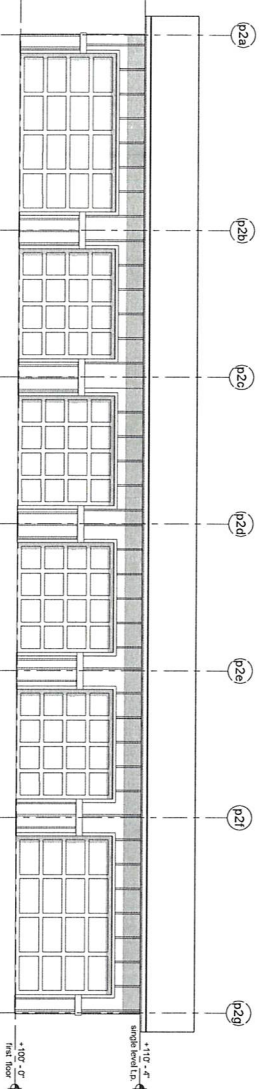
bldgs. P1+
 P2 floor
 plans
 a2.17



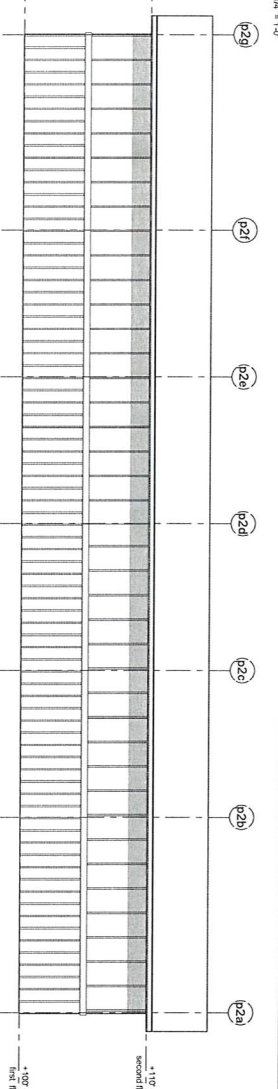
1 front elevation - building P1
1/4" = 1'-0"



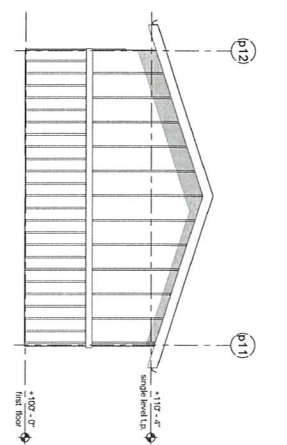
2 back elevation - bldg. P1
1/4" = 1'-0"



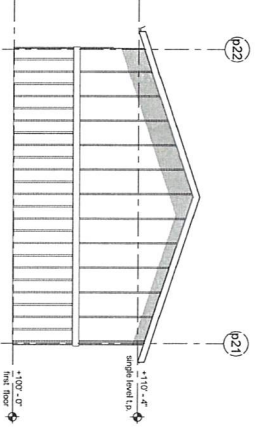
4 front elevation - bldg. P2
1/4" = 1'-0"



5 back elevation - bldg. P2
1/4" = 1'-0"



3 side elevation - bldg. P1 (opposite side to entrance and main stairs)
1/4" = 1'-0"



6 side elevation - bldg. P2 (opposite side to entrance and main stairs)
1/4" = 1'-0"

A-3

erstad ARCHITECTS, PA
 310 N. Duane Blvd. Suite 200
 Boise, ID 83725
 Phone: (208) 375-9577 Fax: (208) 375-9576 www.erstadofboise.com

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norfolk apartments
 caldwell, idaho

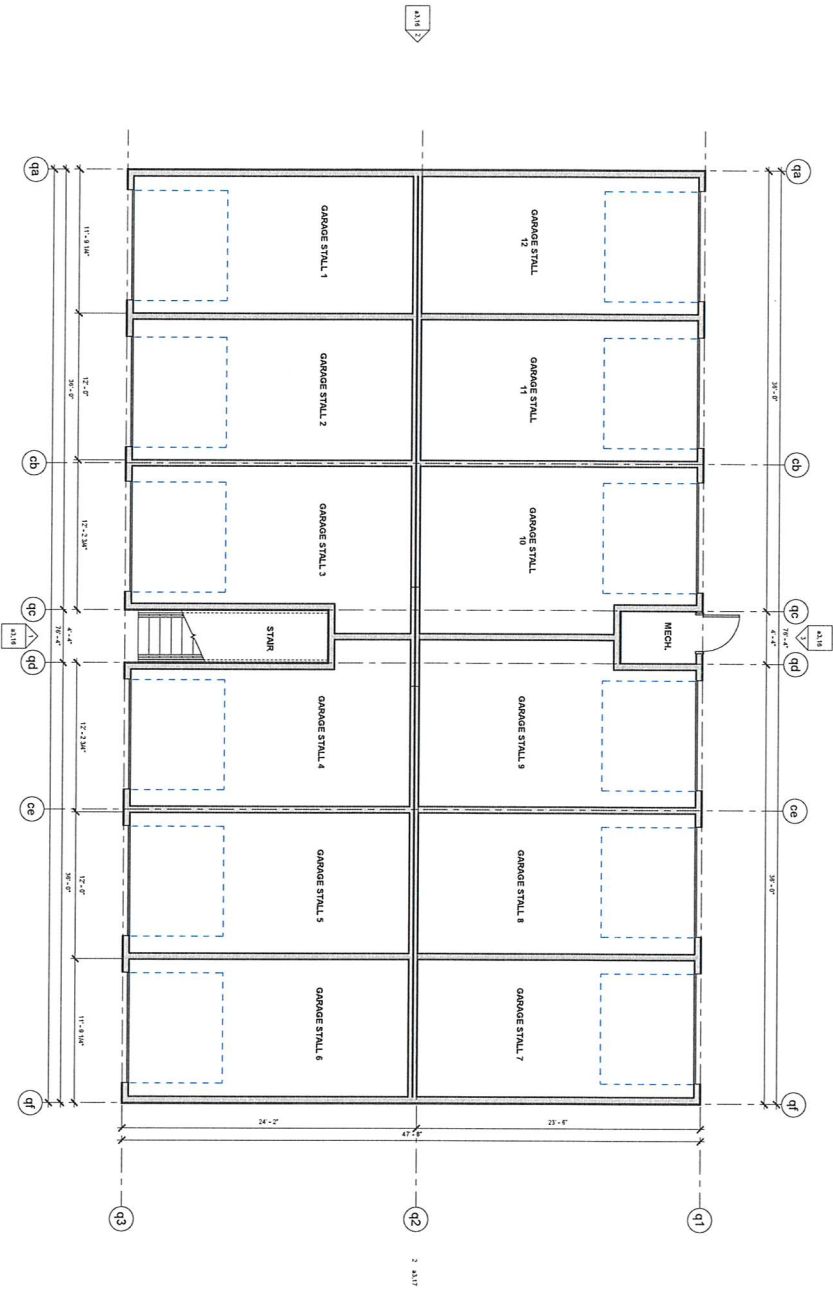
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

DATE: 2/20/2025
 DRAWN BY: DAVID Z. ZAKS
 CHECKED BY: DAVID Z. ZAKS

exterior elevations - bldg. P1+P2
 a3.15

city of caldwell

first floor plan - bldg. Q
1/8" = 1'-0"



NO. 2008051
DATE: 04.20.2021
PROJECT: 2008051
DRAWN BY: JF
CHECKED BY: JF

keynotes:

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY.
- B. GROUND PENETRATING RADAR APPLICATION & FINDINGS AT ALL EXPOSED AREAS TO BE PROVIDED TO ARCHITECT.
- C. GROUND PENETRATING RADAR APPLICATION & FINDINGS AT ALL EXPOSED AREAS TO BE PROVIDED TO ARCHITECT.
- D. UNLESS NOTED OTHERWISE, ALL SCHEDULES ARE COMPLETED TO THE END OF THE PROJECT.
- E. UNLESS OTHERWISE NOTED, ALL SCHEDULES ARE COMPLETED TO THE END OF THE PROJECT.

norfolk apartments
caldwell, idaho

NO. 2008051
DATE: 04.20.2021
PROJECT: 2008051
DRAWN BY: JF
CHECKED BY: JF

2008051
04.20.2021
2008051
JF
JF

city of
caldwell

bldg. Q first
floor plan
a2.18

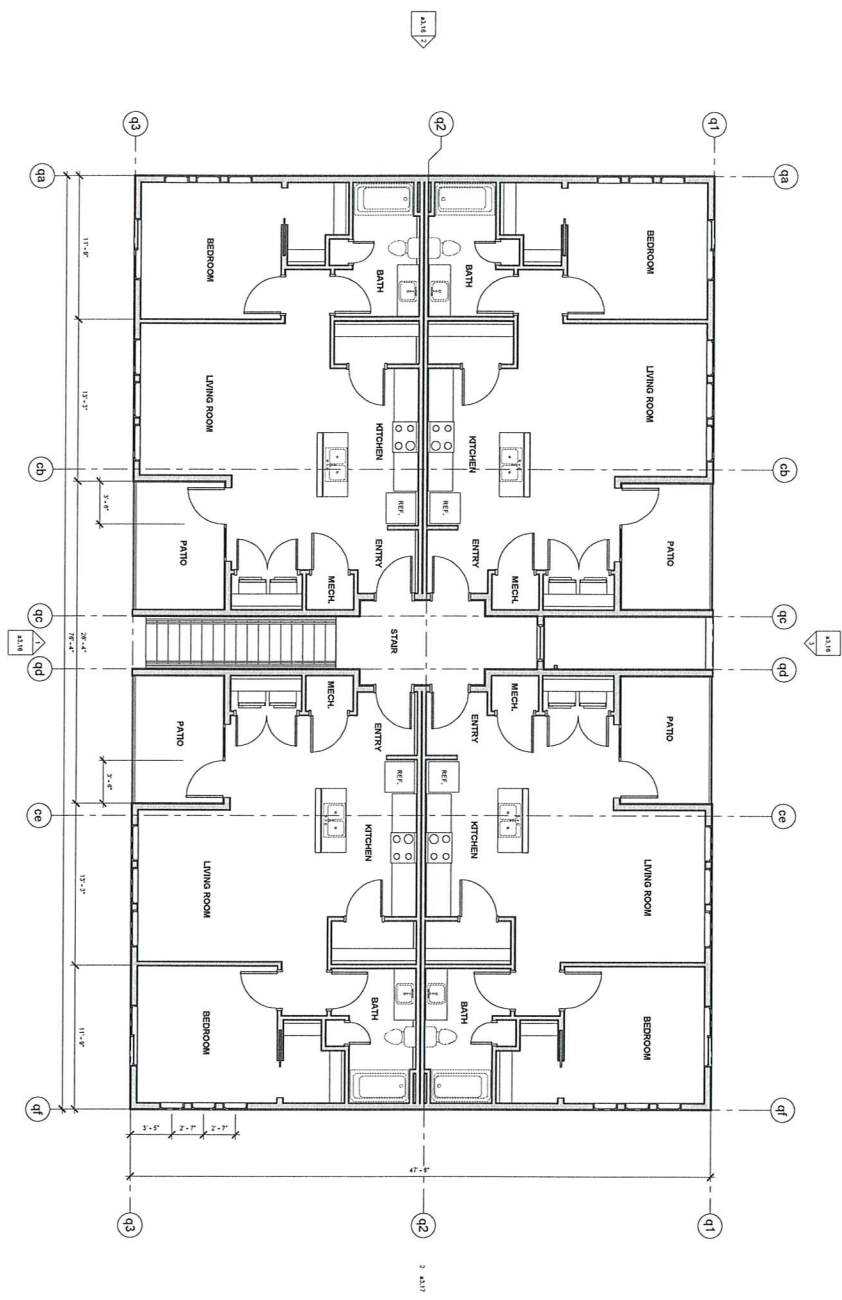
FOR INFORMATION IN THE ARCHITECT'S RECORD DRAWINGS, THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS FOUND THEM TO BE AS SHOWN ON THE RECORD DRAWINGS. THE ARCHITECT HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OF THE EXISTING CONDITIONS AND HAS NOT DETERMINED THE ADEQUACY OF THE EXISTING STRUCTURE FOR THE PROPOSED CONSTRUCTION.

erickson ARCHITECTS, PA
251 S. 20th Street, Suite 101
Caldwell, ID 83405
Phone: (208) 755-9222 Fax: (208) 755-9222
www.ericksonarchitects.com

A-3

⊕ second floor plan - bldg. Q
1/4" = 1'-0"

NORFOLK APARTMENTS - BUILDING Q, CALDWELL, IDAHO
GENERAL BUILDING CONTRACTORS - 7237 GARFIELD ST.,
BOYD AVE. - 716.53.



◆ keynotes:

- general notes:**
- CONSTRUCTION TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IMMEDIATELY IN WRITING IF DISCREPANCIES ARE FOUND.
 - VERIFY ALL DIMENSIONS AND CONDITIONS AT ALL EXPOSURE POINTS.
 - VERIFY ALL DIMENSIONS AND CONDITIONS AT ALL EXPOSURE POINTS.
 - VERIFY ALL DIMENSIONS AND CONDITIONS AT ALL EXPOSURE POINTS.
 - VERIFY ALL DIMENSIONS AND CONDITIONS AT ALL EXPOSURE POINTS.

city of
caldwell

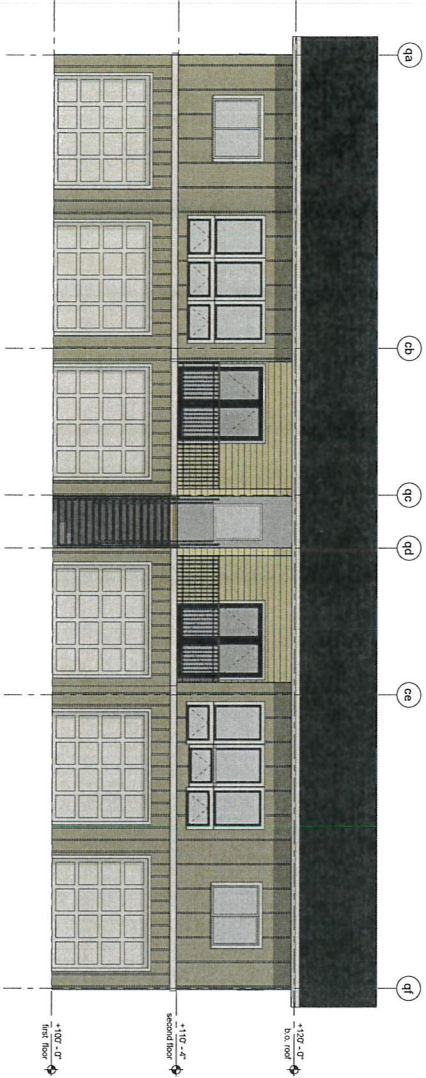
norfolk apartments - building Q
caldwell, idaho

revision no. desc. date
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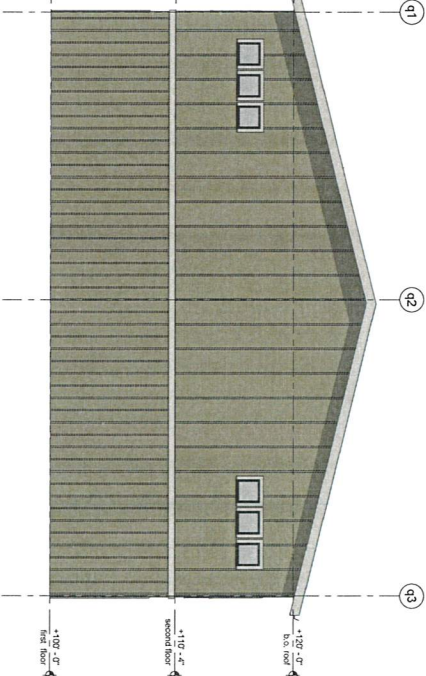
bldg. Q
second
floor plan
a2.19

enlad ARCHITECTS, PA
101 S. 2nd Street, Suite 100
Caldwell, Idaho 83402
phone (208) 335-5211 fax (208) 335-5202
www.enladarchitects.com

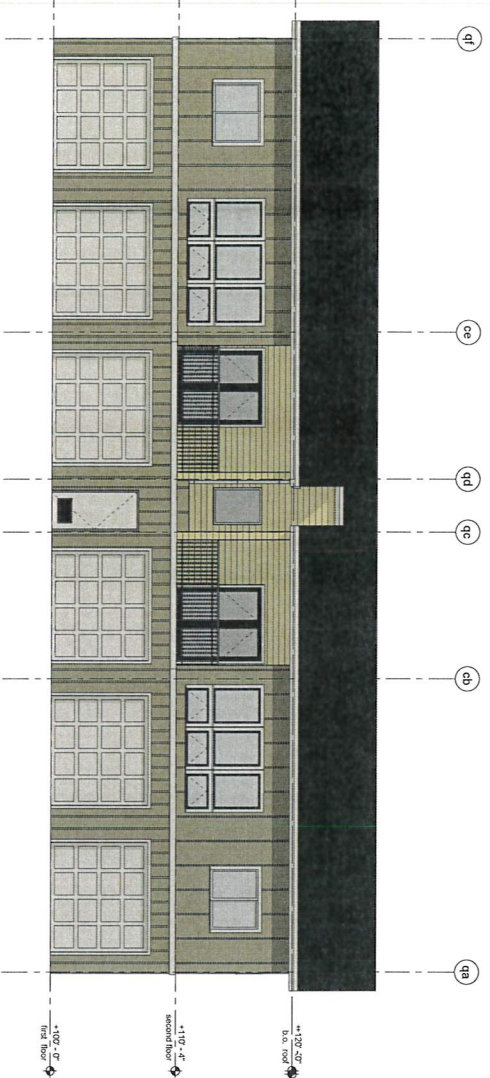
A-3



1 front elevation - bldg. Q
1/4" = 1'-0"



2 side elevation - bldg. Q (both sides are the same)
1/4" = 1'-0"



3 back elevation - bldg. Q
1/4" = 1'-0"

A-3



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norfolk apartments - building Q
caldwell, idaho

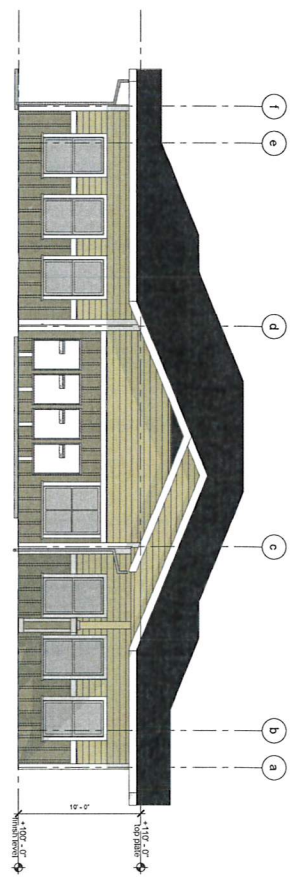
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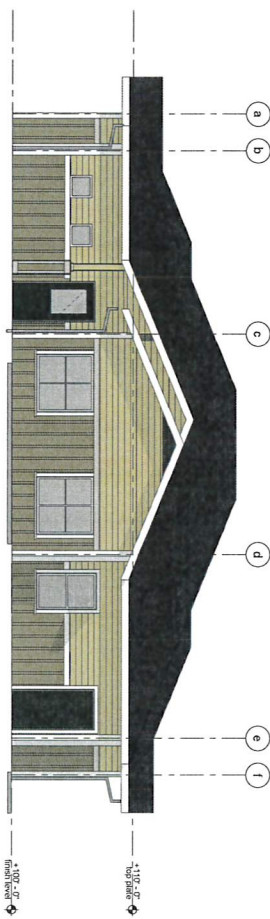
exterior elevations - bldg. Q
a3.16

general notes:
A. OWNER SHALL VERIFY ALL MATERIAL REPRESENTATIONS.
B. CONTRACTOR SHALL VERIFY ALL MATERIAL REPRESENTATIONS.
C. CONTRACTOR SHALL VERIFY ALL MATERIAL REPRESENTATIONS.
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Y. CONTRACTOR SHALL VERIFY ALL MATERIAL REPRESENTATIONS.
Z. CONTRACTOR SHALL VERIFY ALL MATERIAL REPRESENTATIONS.

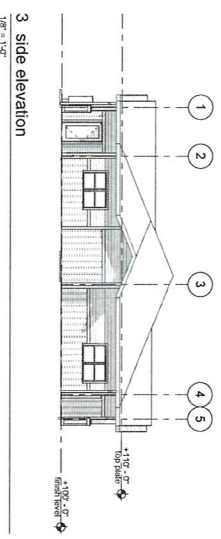
city of caldwell



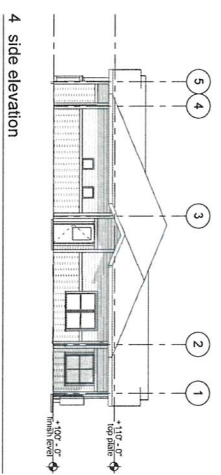
1 front elevation
1/8" = 1'-0"



2 rear elevation
1/8" = 1'-0"



3 side elevation
1/8" = 1'-0"



4 side elevation
1/8" = 1'-0"

paint legend:

| | |
|-----|----------------|
| 101 | FIELD PAINT #1 |
| 102 | FIELD PAINT #2 |
| 103 | FIELD PAINT #3 |
| 104 | TRIM PAINT #1 |
| 105 | TRIM PAINT #2 |

Colors per building elevations

- keynotes:**
1. ARCHITECTURAL COMPONENTS SHOWN OVER 1/4" HEIGHT
 2. QUOTE MATERIAL PER ITEM
 3. SCHEDULE NUMBER, MATERIAL CHANGE
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- general notes:**
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city of boise

exterior elevations
a3.17

exterior elevations
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project: 200905
date: 04.20.2021
sheet: 01

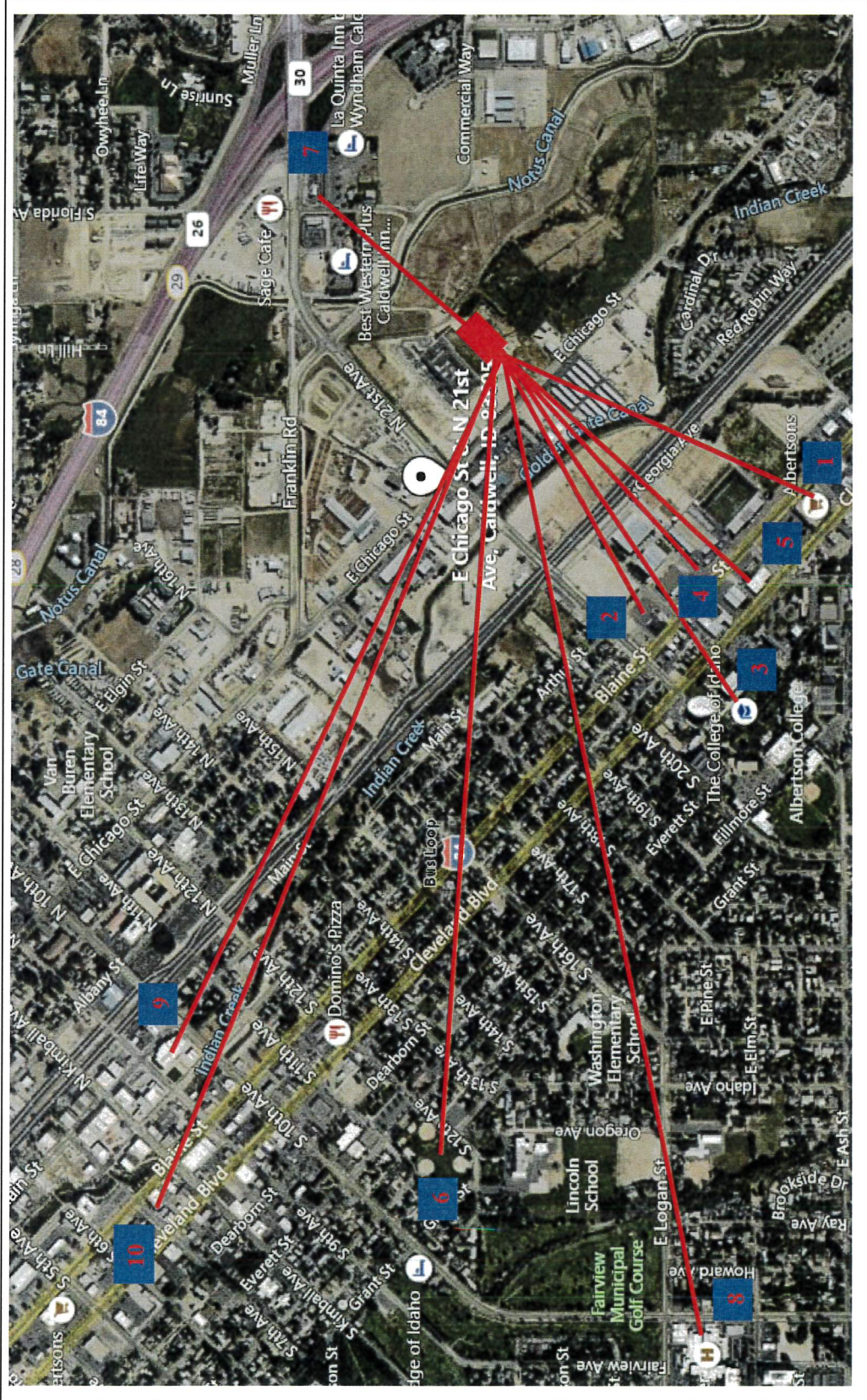
**norfolk apartments
community center**
caldwell, idaho

FOR INFORMATION IN THE
ARCHITECT'S OFFICE
PROFESSIONAL SEAL, SIGN
DATE, AND EXPIRATION DATE
THESE REQUIREMENTS ARE
THE MINIMUM REQUIREMENTS
FOR THE STATE OF IDAHO
(EXPIRES 02/2025)

iristad ARCHITECTS, PA
851 N. 50th Street, Boise, ID 83702
Phone: (208) 375-9501 Fax: (208) 375-9522 www.iristadarchitects.com



Norfolk Apartments
 Subject Property
 Chicago & 21st Avenue, Caldwell



- | | |
|---|--|
| 1. Albertsons Grocery Store – .47 miles | 6. Sebre Park – 1.47 miles |
| 2. Rite Aid – .44 miles | 7. Forever Fit – .42 miles |
| 3. College of Idaho – .54 miles | 8. West Valley Medical Center – 1.39 miles |
| 4. Public Transit – .41 miles | 9. US Post Office – .87 miles |
| 5. True Value Hardware – .47 miles | 10. Fire Department – .74 miles |

Neighborhood Meeting
February 18, 2021 6:00 p.m.
Norfolk Apartments

Sign in Sheet

| Name | Address | Phone # | Email Address |
|---------------|--|--------------|-------------------------|
| Linda Hines | 7116 McMullen owner of Grace Assisted Caldwell | 208-867-1001 | Linda Hines @AOL.com |
| Amber Morales | South Beck Baird | 2082845473 | morales@sbbgo.com |
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NORFOLK APARTMENTS
LEGAL DESCRIPTION

Parcel D of Record of Survey, recorded June 17, 2016, as Instrument No. 2016-023483, being more particularly described as follows:

This parcel is a portion of the NW $\frac{1}{4}$ of Section 26 in Township 4 North, Range 3 West of the Boise Meridian, Canyon County, Idaho and is more particularly described as follows:

COMMENCING at the Northwest corner of the NW $\frac{1}{4}$ of Section 26 (NW Section Corner, Section 26), a found brass cap monument;

thence South 00° 43' 24" West along the West boundary of the NW $\frac{1}{4}$ a distance of 447.20 feet to a point on the centerline of Chicago Street, a found aluminum cap monument;

thence South 46° 13' 24" East along said centerline a distance of 1009.86 feet to the intersection of Chicago Street and 21st Avenue, a found brass cap monument;

thence South 46° 14' 04" East continuing along the centerline of Chicago Street a distance of 73.48 feet;

thence North 43° 45' 56" East perpendicular to the centerline of Chicago Street a distance of 40.00 feet to a point on the North right of way of Chicago Street, a found right of way brass cap;

thence South 46° 14' 04" East along the North right of way of Chicago Street a distance of 703.77 feet to the **TRUE POINT OF BEGINNING**, a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352;

thence North 47° 43' 25" East a distance of 753.69 feet to a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352;

thence South 50° 59' 35" East a distance of 310.64 feet to a found $\frac{1}{2}$ inch diameter rebar;

thence South 43° 42' 25" West a distance of 777.66 feet to a point on the North right of way of Chicago Street, a found $\frac{1}{2}$ inch diameter rebar;

thence North 46° 14' 04" West along said right of way a distance of 362.39 feet to the **TRUE POINT OF BEGINNING**, containing 5.891 acres, more or less, and being subject to any and all easements and rights-of-way of record or implied.

2015-038903

RECORDED

10/05/2015 04:01 PM

CHRIS YAMAMOTO

CANYON COUNTY RECORDER

Pgs=3 MBROWN

\$16.00

TYPE: DEED

FIRST AMERICAN TITLE AND ESCROW

ELECTRONICALLY RECORDED

AFTER RECORDING MAIL TO:

FAEC as QI for F&C Corporation
350 N. 9th St, Suite 200
Boise, ID 83702

ELECTRONICALLY RECORDED - DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT.

WARRANTY DEED

File No.: **4102-2443969 (KY)**

Date: **September 30, 2015**

For Value Received, **Rick Coffman, Chairman of The Smeed Memorial Foundation Trust**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **21st & Chicago, LLC, an Idaho limited liability company**, hereinafter referred to as Grantee, whose current address is **350 N. 9th St, Suite 200, Boise, ID 83702**, the following described premises, situated in **Canyon County, Idaho**, to wit:

LEGAL DESCRIPTION: Real property in the County of Canyon, State of Idaho, described as follows:

A parcel of land located in the Northwest ¼ of Section 26, Township 4 North, Range 3 West, Boise Meridian, City of Caldwell, Canyon County, Idaho, described as follows:

Commencing at a brass cap monument in Franklin Road which marks the Northwest corner of said Section 26; thence,
S.00°43'24"W., 447.12 feet along the West line of said Section 26 to an aluminum cap in the center of Chicago Street at station 100+00, thence,
S. 46°13'26"E., 1009.85 feet along the centerline of said Chicago Street to a brass cap in the intersection of same with the centerline of 21st Avenue at Station 110+09.85; thence,
S.46°14'28" E. (S.46°14'05" E), 1139.64 feet along the centerline of said Chicago Street to a brass cap at the intersection of same with the centerline of 24th Street; thence
N.43°42'22" E., 40.00 feet to a ½ inch rebar found in the Northeasterly sideline of said Chicago Street at the TPB of a 6.95 acre parcel of land shown on Record of Survey No. 8818377, and the POINT OF BEGINNING; thence
N.46°14'28" W., 1066.09 feet along said Northeasterly sideline of Chicago Street to an ITD row marker at 21st Avenue station 87+26.92, 70.61 feet right of center; thence
N. 04°33'05" E., 34.55 feet along same to an ITD row marker at station 87+52.13, 47.00 feet right of center; thence
N. 47°40'08"E., 474.97 feet along the Southeasterly right of way for 21st Avenue to an ITD row marker at station 92+27.12, 47.00 feet right of center; thence
N.52'29'24"E., 400.69 feet along same to an ITD row marker at station 96+26.45, 80.68 feet R; thence,

Ab

APN: 35373000 0

Warranty Deed
- continued

File No.: 4102-2443969 (KY)
Date: 09/30/2015

N.51°18'02"E., 258.38 feet along same to an ITD row marker at station 98+84.32, 97.05 feet R; thence, S.87°28'58"E., 8.91 feet along same to an ITD row marker at station 98+90.72, 103.42 feet right of center; thence, leaving said right of way line and along the approximate centerline of said former drain, S.12°55'34" E., (S.13°04'10"E. per unrecorded survey for Ralph Smeed by Blakley Eng. Dated 5/09/1974), 101.31 feet to a found 1/2 inch rebar; thence, continuing along said former drain center, S.07°00'11"E., 475.61 feet (S.07°35'30"E., 474.43 feet) to a found 1/2 inch rebar; thence, S.28°40'35"E., 174.14 feet (S.29°14'50"E., 174.14 feet) to a found 1/2 inch rebar; thence, S.51°02'09"E., 335.50 feet (S.51°33'10"E., 335.56 feet) to a found 1/2 inch rebar; thence, leaving said former drain center, S.43°42'22"W., 777.71 feet (S.43°11'00"W., 777.68 feet) along the Northwesterly line of said 6.95 acre parcel of land shown on Record of Survey No. 8818377 to the POINT OF BEGINNING.

APN: 35373000 0

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

Rick Coffman, as Chairman of the Smeed Memorial Foundation Trust

By: Rick Coffman
Name: Rick Coffman
Title: Chairman

STATE OF Idaho)
)
COUNTY OF Ada Canyon)
)

On this 5th day of October, ~~September~~, 2015, before me, a Notary Public in and for said State, personally appeared **Rick Coffman**, known or identified to me to be the person whose name is subscribed to the within instrument as the Chairman of the **The Smeed Memorial Foundation Trust**, and acknowledged to me that he/she/they executed the same as such Chairman.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Kimberly Yelm
Notary Public for the State of Idaho
Residing at: Meridian, ID
My Commission Expires: 6/15/2019

AK

Property Owner Acknowledgement

I, Michael N. Fery, as Manager of 21st & Chicago, LLC, the record owner for real property addressed as See Attached Exhibit A, am aware of, in agreement with, and give my permission to Thomas Development Co., an Idaho corporation, to submit the accompanying application(s) pertaining the that property.

1. I agree to indemnify, defend and hold the City of Caldwell and its employees harmless from any claim or liability resulting from any dispute as to the statement(s) contained herein or as to the ownership of the property which is the subject of the application.
2. I hereby grant permission to City of Caldwell staff to enter the subject property for the purpose of site inspection(s) related to processing said application(s).

Dated this 10th day of February, 2021

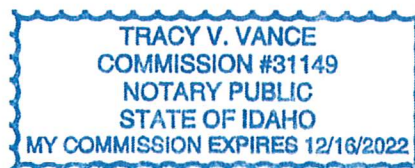
dv 
(Signature)

CERTIFICATE OF VERIFICATION

STATE OF IDAHO)
) ss.
County of Canyon)

I, Tracy V. Vance, a Notary Public, do hereby certify that on this 10th day of February, 2020, personally appeared before me Michael N. Fery, known or identified to me to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that she signed the foregoing document, and that the statements therein contained are true.


NOTARY PUBLIC FOR IDAHO
Residing at Meredith, ID
My Commission Expires 2-16-2022



AC

EXHIBIT A

Description of Property

The Land referred to herein below is situated in the County of Canyon, State of ID, and is described as follows:

PARCEL D OF RECORD OF SURVEY RECORDED JUNE 17, 2016, AS INSTRUMENT NO. 2016-023483, AND BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 26 IN TOWNSHIP 4 NORTH, RANGE 3 WEST OF THE BOISE MERIDIAN, CANYON COUNTY, IDAHO AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 26 (NORTHWEST SECTION CORNER, SECTION 26), A FOUND BRASS CAP MONUMENT; THENCE

SOUTH 00° 43' 24" WEST ALONG THE WEST BOUNDARY OF THE NORTHWEST QUARTER A DISTANCE OF 447.20 FEET TO A POINT ON THE CENTERLINE OF CHICAGO STREET, A FOUND ALUMINUM CAP MONUMENT; THENCE

SOUTH 46° 13' 24" EAST ALONG SAID CENTERLINE A DISTANCE OF 1009.86 FEET TO THE INTERSECTION OF CHICAGO STREET AND 21ST AVENUE, A FOUND BRASS CAP MONUMENT; THENCE

SOUTH 46° 14' 04" EAST CONTINUING ALONG THE CENTERLINE OF CHICAGO STREET A DISTANCE OF 73.48 FEET; THENCE

NORTH 43° 45' 56" EAST PERPENDICULAR TO THE CENTERLINE OF CHICAGO STREET A DISTANCE OF 40.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY OF CHICAGO STREET, A FOUND RIGHT OF WAY BRASS CAP; THENCE

SOUTH 46° 14' 04" EAST ALONG THE NORTH RIGHT OF WAY OF CHICAGO STREET A DISTANCE OF 703.77 FEET TO THE TRUE POINT OF BEGINNING, A 5/8 X 30 INCH REBAR SET WITH A PLASTIC CAP STAMPED P.L.S. 15352; THENCE

NORTH 47° 43' 25" EAST A DISTANCE OF 753.69 FEET TO A 5/8 X 30 INCH REBAR SET WITH A PLASTIC CAP STAMPED P.L.S. 15352; THENCE

SOUTH 50° 59' 35" EAST A DISTANCE OF 310.64 FEET TO A FOUND 1/2 INCH DIAMETER REBAR; THENCE

SOUTH 43° 42' 25" WEST A DISTANCE OF 777.66 FEET TO A POINT ON THE NORTH RIGHT OF WAY OF CHICAGO STREET, A FOUND 1/2 INCH DIAMETER REBAR; THENCE

NORTH 46° 14' 04" WEST ALONG SAID RIGHT OF WAY A DISTANCE OF 362.39 FEET TO THE TRUE POINT OF BEGINNING.

Alc



| NO. | DATE | REVISIONS |
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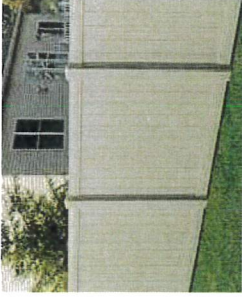
NORFOLK APARTMENTS
CALDWELL, IDAHO
LANDSCAPE SITE PLAN



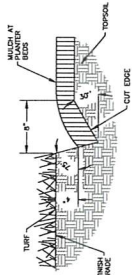
K&M ENGINEERING
1000 N. W. 10TH ST., SUITE 200
PORTLAND, OR 97228
PHONE: 503.255.1234
FAX: 503.255.1235
WWW.K&MENGINEERING.COM

CHECKED BY: KMP
DATE: FEBRUARY 2021
PROJECT NO.: 2021-001

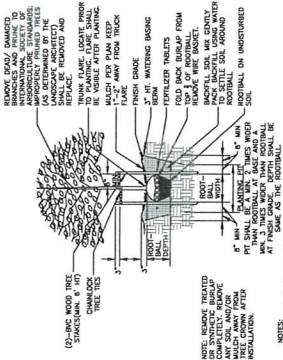
SHEET NO. 12.0



3 6-FOOT HEIGHT PRIVACY FENCE
NTS



2 SHOVEL CUT EDGE
NTS



1 DECIDUOUS TREE PLANTING AND STAKING DETAIL
NTS

NOTES:
1. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED AND STAKING SHALL BE FINISHED BY THE END OF THE ONE YEAR WARRANTY PERIOD.

A-9



420 W. Main Street, Suite 300
Boise, Idaho 83702
(208) 343-8877
E-Mail:

tmanschreck@thomasdevelopment.com

May 3, 2021

Via Email: jmapp@cityofcaldwell.org

Mr. Jerome Mapp
Community Development Director
City of Caldwell Planning & Zoning Department
621 Cleveland Blvd.
Caldwell, ID 83605

RE: Proposed Traffic Study/Impact Fees Modifications

Dear Jerome:

As you would expect, Thomas Development Co., is closely monitoring this issue as we anticipate permitting and constructing an 86-unit family low and moderate income apartment community on Chicago Avenue, starting September 2021.

Yes, our occupancies have been strong given the robust nature of the Treasure Valley and Idaho economy. That said, we do not, under the income and rent restrictions of the Affordable Housing Tax Credit and HOME programs, have the ability to raise rents to meet "the market".

As such, we need to be very mindful of fee increases which may impact our financial viability.

I recognize this proposal is in the preliminary stage, and other than the attached announcement, have not seen any detailed information as to what city staff is proposing.

Let me please go on record as follows:

1. Please put me on a mailing list for information as it become available.
2. The traffic study data/trip generation data for residential is easy to misinterpret.

For example, the data generally shows that average vehicle trips per day for single family residential are approximately 12 to 14 trips, with the majority occurring during morning and afternoon rush hours.

The data for market rate multi-family housing drops that number to about 8 to 10 vehicle trips per day.

Affordable housing, given the income profile of our residential community, has fewer access to cars, and hence, the data generally shows that family affordable housing communities will generate six to seven vehicle trips her day.

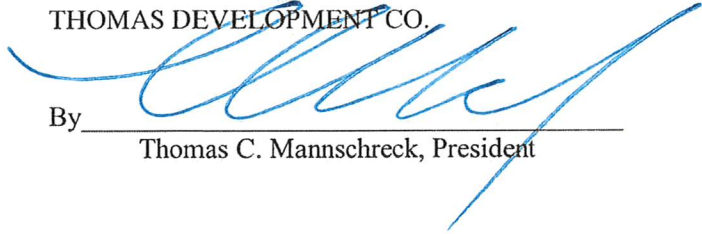
I am happy to further discuss with you or other members of the City of Caldwell staff but do want my observations contained in this letter to be included in the record for the May 3, 2021 working session.

Thank you very much, Jerome. I appreciate everything you do.

A-13

Sincerely,

THOMAS DEVELOPMENT CO.



By _____
Thomas C. Mannschreck, President

TCM:acc

Attachment: As indicated above.

cc: Madelaine Gregg, Thomas Development Co.
Daphne Romani, erstad Architects