

#### **DESIGN REVIEW**

Permit info: OSRF92019-1
Application Date: 11126/18 Rec'd by: MK

FOR OFFICE USE ONLY

6015 Glenwood Street = Garden City, ID 83714 = 208.472.2921 www.gardencityidaho.org = planning@gardencityidaho.org

APPLICANT	PROPERTY OWNER				
Name: David Ruby, AIA	Name: Keith Heron				
Company: The Architects Office, PLLC	Company: KW River Pointe Premier, LLC				
Address: 499 Main Street	Address: 151 S. El Camino Dr.				
City: Boise	City: Beverly Hills				
State: Idaho Zip: 83702	<b>State:</b> CA <b>Zip:</b> 90212				
Tel.: 208-639-6406	Tel.: 805-586-4218				
E-mail: david@taoidaho.com	E-mail: kherren@kennedywilsom.com				
PROPERTY AND DESIGN INFORMATION					
	t New 🗆 Addition 🗆 Subdivision				
Site Address: 6265 Strawberry Glenn					
Subdivision Name: Strawberry Glenn Sub	Lot: Parcel 5455 Block:				
Tax Parcel Number: R8191505455	Zoning: R-3 Total Acres: 5				
Proposed Use: Multi-Family Apartment Community	Floodplain: Yes No				

#### **OBJECTIVES 8-4C**

- 1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
- 2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
- 3. What are the building materials?
- 4. What are the existing notable site features and how does the design respect them?
- 5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

Landscaping: Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design**: How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.

Signature of the Applicant (date) Signature of the Owner (date)

APPLICATION INFORMATI	ON REQUIRED
OTE: N ELECTRONIC COPY OF THE ENTIRE APPLICATION S	UBMITTAL REQUIRED
COMPLETE APPLICATIONS WILL NOT BE ACCEPTED I	JNDER ANY CIRCUMSTANCES
ONE (1) HARD COPY OF EACH CHE	CKLIST ITEM REQUIRED:
	Affidavit of Legal Interest Sustainability Checklist *if applicable
Lighting Plan Topographic Survey Grading Plan	es to resiman better pritable a control 2 class sylvis by a consect to reconsect squable sign for standard guittings a control control of the sign to recondition on the control
Will Serve Letter **If required, must submit a Fire Ada County Approved Addresses	Flow Request

### PLEASE CHECK THE FOLLOWING:

#### INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

#### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- 8 ½" x 11" size minimum
- ☑ Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- M Impact of the proposed siting on existing buildings, structures, and/or building envelopes

#### INFORMATION REQUIRED ON SITE PLAN:

- $\boxtimes$  Scale not less than 1" = 20', legend, and north arrow.
- M Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- ☑ The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- 🖄 Sidewalks, bike and pedestrian paths.
- 🖄 Berms, walls, screens, hedges and fencing.
- ☑ Location and width of easements, canals, ditches, drainage areas.
- □ Location, dimensions and type of signs.
- I Trash storage and mechanical equipment and screening.
- M Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- $\Delta$  Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- △ Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

#### **INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- M Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- \( \sum \) Locations and dimensions of open space and proposed storm water systems

#### **INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- $\square$  Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- IN Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- ☑ Specifications on exterior surface materials and color

#### INFORMATION REQUIRED ON LIGHTING PLAN:

- □ 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- **EXECUTE** Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- **△** Location of municipal street lights

#### **INFORMATION FOR TOPOGRAPHIC SURVEY:**

- ☑ The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

#### INFORMATION REQUIRED ON GRADING PLAN:

- Scale not less than one inch equals twenty feet (1" = 20')
- ∑ Two foot (2') contours for the entire proposal site
- ∅ One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- **Existing easement and utility locations**
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of revegetating. Show all areas of disturbance and construction fencing location; revegetation is required for all disturbed areas
- ☑ Proposed storm water systems

# INFORMATION REQUIRED MASTER SIGN PLAN: \*Required for developments of two or more buildings: □ Location, elevations, and materials of proposed signage INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM: \*Required if irrigation canal/irrigation ditch runs through property or along property lines: □ Letter from company indicating approval INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS: □ Statement must include a list of the application materials to be waived and an explanation for the request.

Page 5 of 5 5/29/2018



6015 Glenwood Street Garden City, Idaho 83714 Phone 208 - 472-2921 Fax 208 - 472-2926 www.gardencityidaho.org

### **Affidavit of Legal Interest**

State of Idaho ) )SS	
County of Ada	
I, Kent Mouton Premiere, LLC), Name	151 S El Camino Drive
Beverly Hills	CA 90212 State and Zip
Being first duly sworn upon oath, depose and	say:
<ol> <li>That I am the record owner of the prop permission</li> </ol>	erty described on the attached, and I grant my
to <u>Pavid Ruby</u> , Name to submit the accompanying application	499 Main Street, Boise TV Address n pertaining to that property.
	the City of Garden City and its employees ulting from any dispute as to the statements of the property which is the subject of the
<ol><li>I hereby grant permission to City of Ga the purpose of site inspections related</li></ol>	rden City staff to enter the subject property for to processing said applications.
Dated this	_day of November , 2018
Signature	
Subscribed and sworn to before me the day a	nd year first above written
	nd year first above written
Notary Public for Idaho	
Residing at:	fel /
My Commission expires	

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA	)
	) ss
COUNTY OF LOS ANGELES	)

On November 28, 2018, before me, Rosaura Casas Zamora, Notary Public, personally appeared Kent Mouton who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Seal

WITNESS my hand and official seal.

Rosaura Casas Zamora

ROSAURA CASAS ZAMORA
Commission # 2100439
Notary Public - California
Los Angeles County
My Comm. Expires Mar 16, 2019



499 Main Street Boise, Idaho 83702 (208) 343-2931 www.taoidaho.com

November 26, 2018

Jenah Thornborrow City of Garden City 6015 Glenwood Street Garden City, ID 83714

RE: River Pointe Apartments, Phase II | 6265 N. Strawberry Glen Design Review Application | PN 118079

Dear Ms. Thornborrow and the Design Review Committee,

We are pleased to submit the design review application associated with phase II (two) of the River Pointe Apartments (the "Project" or "Development"). The 5-acre Project site is generally located west of the existing River Pointe Apartments, at the northern terminus of N. Strawberry Glenn Road and the Boise River (see blue area below). The property is adjacent to the south side of the Boise River, and bounded by N. Strawberry Glen Road to the east, Waterside Villa Subdivision to the south, and R E No. 4, Swallow Tail, and Brookhaven Subdivisions to the west.



Figure 1, Vicinity Map & Project

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The property is a portion of Lot 21 of the Strawberry Glenn Subdivision and is currently vacant land. The Warm Springs Canal operated by Drainage District No. 2 bisects the southern portion of the property. This canal is proposed to be piped. The proposed piping is not only supported, but is preferred by the Drainage District No. 2, who has jurisdiction of the canal. Any wetlands associated with the canal will be relocated to the northwest corner of the property adjacent to the Boise River where other, higher quality, wetlands exist.

The property is zoned R-3 in Garden City. The R-3 zoning designation is a medium density residential designation with an allowed density range between 14 to 35 dwelling units per acre. Typical housing types include single family, two-family and multiple-family dwelling units.

The Project site is also in the Boise River and Greenbelt Overlay District (BRG). The BRG was adopted February 12, 2018. The purpose of the BRG states: The BRG Overlay District is intended to preserve, protect, and enhance the river, and the public's enjoyment and access to the Boise River and Greenbelt through carefully planned and designed development. Mixed use, commercial development, and urban density housing are encouraged that focus on, celebrate, connect and enhance the Boise River environment.

A pre-application hearing was held with the Garden City Design Review Committee on October 15, 2018. A neighborhood meeting was held at the River Pointe Apartments Clubhouse on October 30, 2018. Neighbor feedback has been incorporated into the current design.

#### The highlights include:

- Preserve existing homeowner privacy:
  - The apartment buildings are situated to maximize separation from the existing residential subdivisions.
  - The apartment buildings are rotated to limit the number of windows and balconies facing west.
- 36 Single-story garages are placed around the Project perimeter to serve as an added buffer to the existing residences.
- Outdoor plaza.
- Walking trails with connection to the greenbelt.
- Increased open space.
- Upgraded project amenities including an art gallery, bicycle repair, and enclosed bike storage.

The Project site plan details a three, and four-story multi-family development. Multi-family is a permitted use within the R-3 zoning district. The development includes 108 units in four apartment buildings, bike repair/storage community building, outdoor plaza, art gallery, walking trails with connection to the greenbelt, enclosed canal, and relocated wetland adjacent to the Boise River. The proposed density is 21.6 units per acre, which is within the allowed density range for the R-3 zone; the R-3 zone does not have a maximum building height. The BRG allows for four-stories.

Parking provided includes 36 garage spaces, 105 carport spaces, 5 accessible spaces, and 57 open stalls for a total of 198 vehicle parking spaces for a parking ratio of 1.77 parking spaces/unit. Additionally, 162 bicycle parking spaces (154 indoor spaces) are provided.

A parking reduction is requested. There are sections of City code that allow for a reduction in parking to

Page 3 of 5



be considered. GCC8-4D-3 allows for offsite parking for residential uses to be 300' from the site. 8-4D-6 permits alternatives to onsite parking when there is alternative transportation. This site is on the greenbelt and includes 162 bicycle parking spaces and is approximately ½ mile from a bus stop. With the art gallery, this project is a mixed-use project. Mixed-use developments may reduce their parking.

A parking study was recently conducted on the existing community (phase I) by a third-party contractor, L2 Data Collection, to monitor parking usage. The existing phase I community is parked at a ratio of 1.79. Based on the results of the study, an excess of parking exists to the tune of 0.32 spaces/unit, or 65 spaces based on the highest utilization rates measured. This number is based on adjustments made for property occupancy rates at the time of the study. The excess parking available at the Phase I property supports the proposed number of spots provided at Phase II while providing a margin of error roughly equal to that at Phase I.

The development will be professionally managed with employees operating out of the onsite Phase I clubhouse and maintenance buildings. Phase II residents will enjoy access to the Phase I clubhouse and pool amenities.

The amenities provided or shared amongst the Phase I and Phase II residents within this community will include:

- o Exiting Phase I Shared Community Amenities
  - Clubhouse/community building with lounge
  - Pool and spa
  - Fitness facility
- o New Phase II Amenities
  - Art gallery
  - Dog park
  - Enclosed bike storage
  - Adjacent to greenbelt
- Open Space
  - Dedicated private patio or balcony at each unit
  - Barbecue and picnic areas
  - Large consolidated lawn areas
  - Plaza area
  - Central mailbox location.
  - Concrete walkways from the greenbelt

The heart of the project is a single-story community building that serves to bring residents together and provide a sense of place. Designed to complement the residential buildings, and at the same time stand on its own, this clubhouse is both a lifestyle center and the entrance to the community's core.

The main clubhouse in Phase I includes lounge spaces, TV and game areas, a swimming pool and spa, and fitness facilities which are provided for the residents. The main clubhouse building also contains leasing offices, a mailroom, and restrooms.

The wetland areas along the Boise River will be left in its natural state (to the greatest extent possible), continuing to provide habitat for indigenous birds and animals.

Page 4 of 5



The project has been designed to comply with the City-required landscape buffers and open space. Utility services are available to serve the Project. The construction of the project will not be phased as the entire development will be constructed as one time, minimizing the construction timeline and any construction related inconveniences to neighbors, including those at the Phase I apartments.

Architectural design concepts are included with this application. The building elevations are generally representative of the Craftsman style and are designed to complement the existing apartment buildings. The main entrances are covered. The external material palate consists of open metal balconies, shingled roofs, and horizontal, and board and batten siding with variation in color, texture, and pattern. The color schemes are gray and black to match phase I. The apartment buildings will include fire sprinklers.

Vehicular access is programmed from two gated points from N. Strawberry Glen Road. Sidewalk and landscaping frontage improvements are planned along the Strawberry Glenn road frontage.

The site will include 81,051 SF (37%) of landscaping located around the perimeter of the site, between the buildings, and within the parking areas. The total landscaping includes approximately ½ acre of open space with turf sod. There are existing trees on the site. Trees deemed in poor condition or in conflict with the development plan will be removed. Mitigation, per Garden City Code is proposed.

The majority of the Project site is within the AE floodplain. The buildings will be constructed above the floodplain BFE. All storm water will be retained onsite.

The Project is in compliance with the Garden City Comprehensive plan objectives:

- 1.4: Create a premier destination place to live, work and recreate.
- 4.3: Beautify sidewalks and gateway with landscaping and trees.
- 5.4: Develop a river walk
- 6.3: Maintain the diversity of housing
- 7.1: Create pedestrian and bicycle friendly connections.

This application is in compliance with Garden City Code:

- 1. The proposed design is in conformance with the purpose of the zoning district and dimensional standards;
- 2. The proposed design adheres to the standards for the protection of health, safety, and general welfare;
- The proposed design improves the accessibility of development to non-motorized and public modes of transportation;
- 4. The proposed design improves the accessibility of development to non-motorized and public modes of transportation;



- 5. The proposed design supports a development pattern in nodes rather than strip commercial along arterial corridors;
- 6. The proposed design supports a compact development pattern that enables intensification of development and changes over time; and
- 7. The proposed design provides outdoor spaces and landscaping compatible with the southwest Idaho climatic conditions that encourage pedestrian activity.

Thank you in advance for your consideration and support. We look forward to working with the City of Garden City to plan a quality project of which we can all be proud.

Sincerely,

THE ARCHITECTS OFFICE #

David Ruby, AIA

The Architects Office, PLLC



#### CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714 Phone 208/472-2900 • Fax 208/472-2996

19 September 2018

Building Department City of Garden City 6015 North Glenwood Street Garden City, Idaho 83714

Subject:

6265 Strawberry Glenn Road

110 Unit Apartment Project Parcel Number R8191505455

Water and Sanitary Sewer Ability to Serve

ATS2018-20

I am a consultant (employed by B & A Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 24 August 2018 (fire hydrant 7022) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. The applicant must verify location and available grade to the city sewer system. The applicant is hereby advised that city public sewer

6265 Strawberry Glenn Road 110 Unit Apartment Project lines are located on the property accepting flows from upstream properties. Those flows must be preserved. Easements to adequately cover city sewer lines will be required.

The applicant is responsible to verify that a proposed land use is capable of being served by the existing city sanitary sewer service. Should depths not be adequate to serve the site, the applicant may have to provide and pay for facilities to reasonably discharge to the city system or to alter a preferred site design to be able to discharge to the city system.

New sanitary sewer connections must be coordinated, reviewed and approved by the city prior to installation.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,

PROFESSOR OF LOND OF L

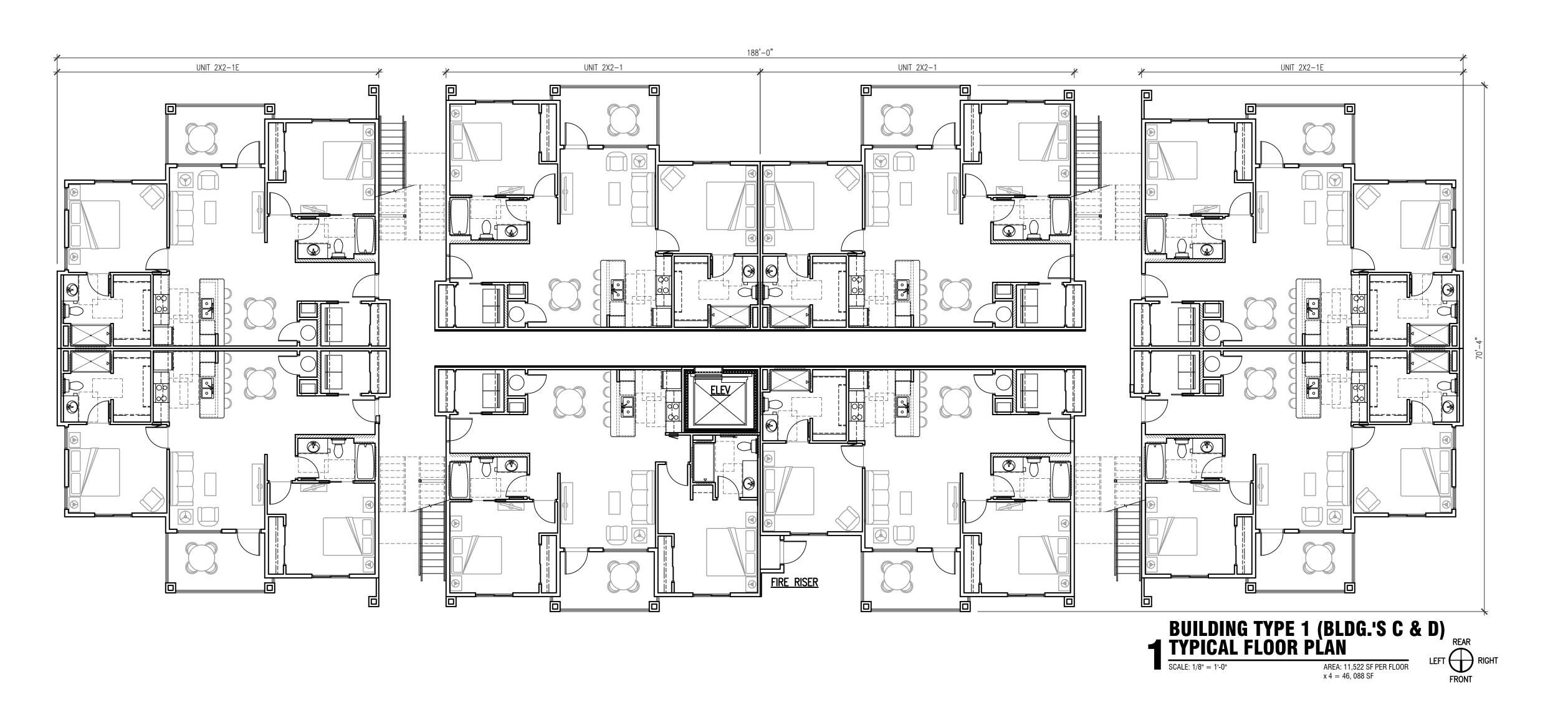
J. D. Canning, PE/PLS B & A Engineers, Inc. Garden City Engineer

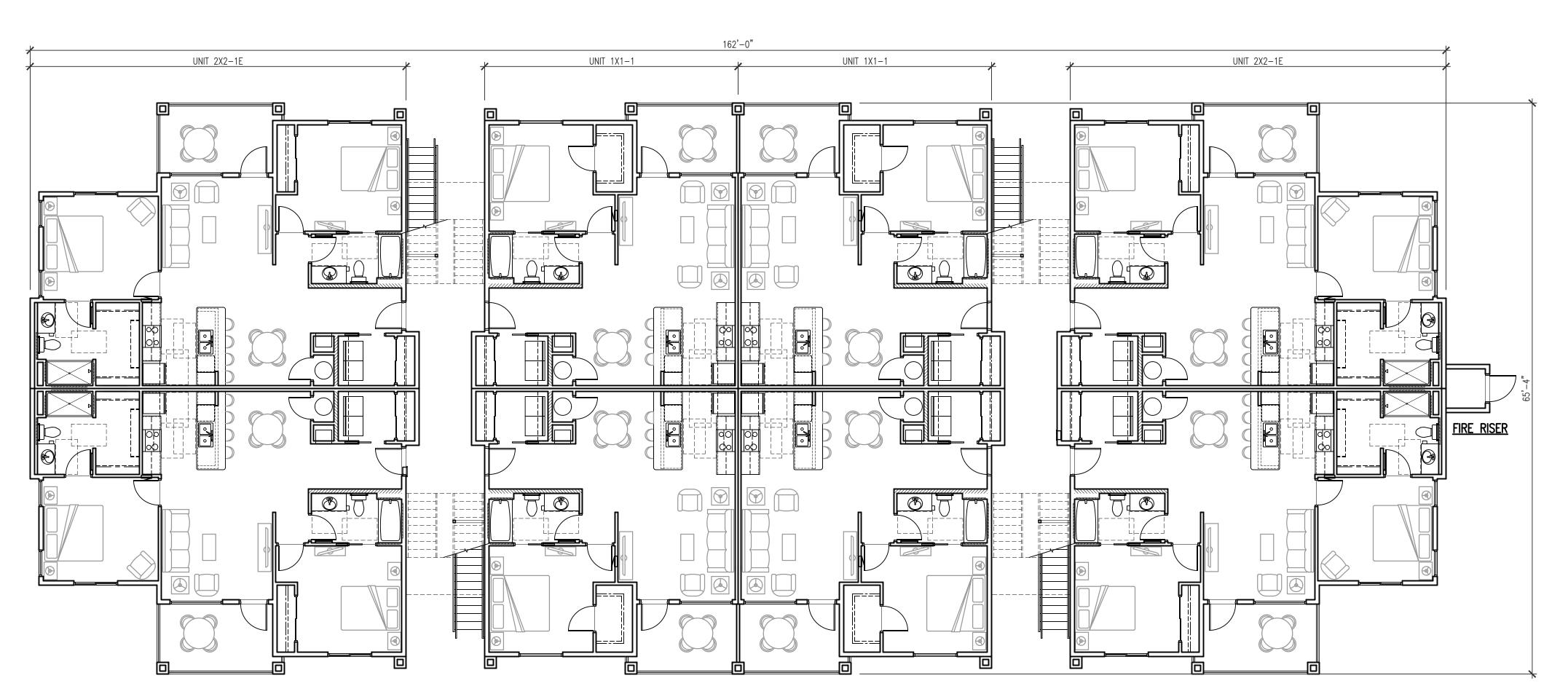
ec. Mr. Colin Schmidt
Public Works Director
City of Garden City

Mr. Troy Vaughn
Garden City Collections/Construction Manager
City of Garden City

Mr. Chad Vaughn Garden City Public Works Water Division City of Garden City

> 6265 Strawberry Glenn Road 110 Unit Apartment Project





BUILDING TYPE 2 (BLDG. B)
TYPICAL FLOOR PLAN

AREA: 9,696 SF PER FLOOR x 4 = 38,784 SF





RIVER POINTE
APARTMENTS
EXPANSION

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FILE

DATE

NOVEMBER 26, 2018

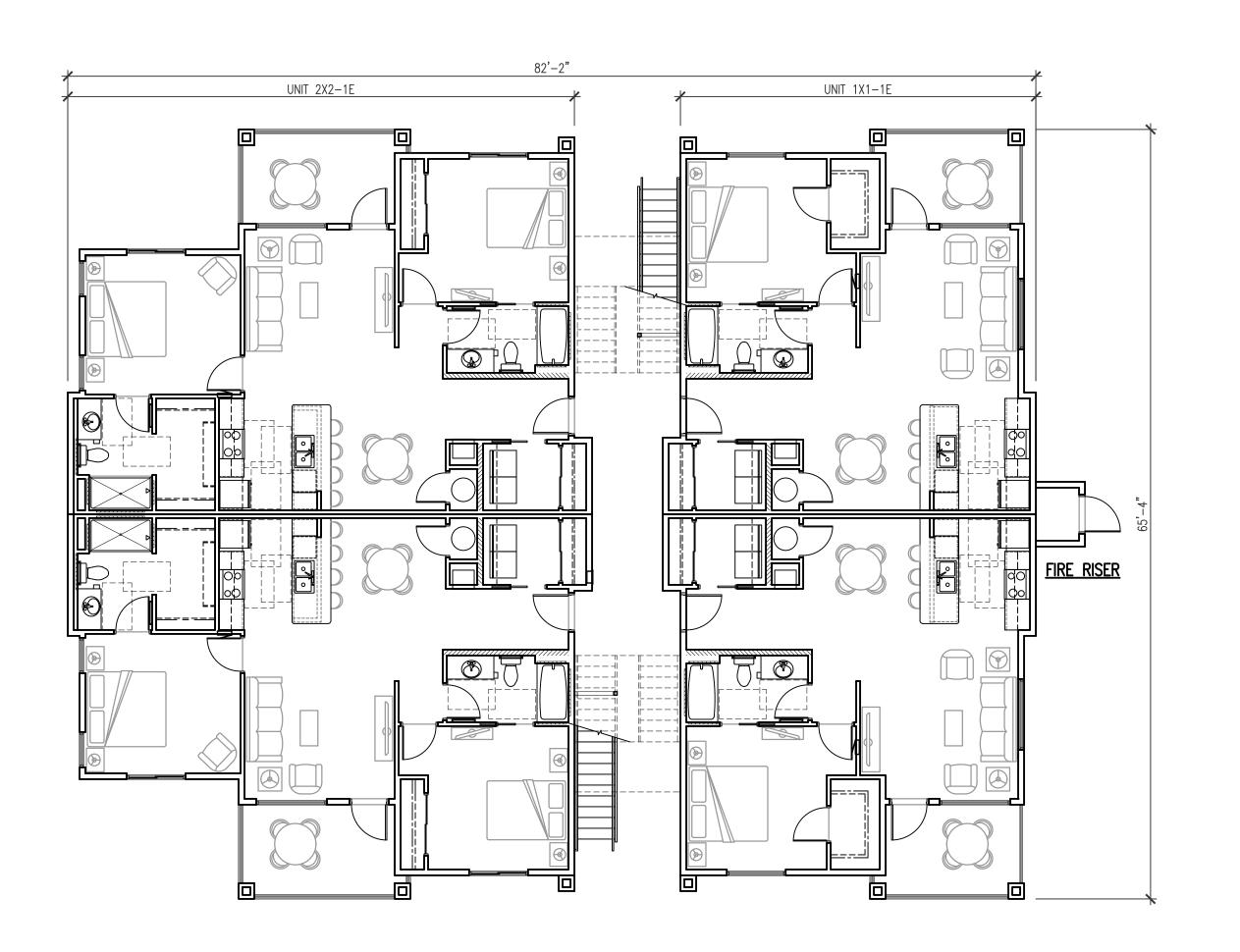
DAVID RUBY, AIA

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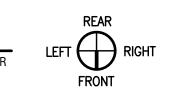
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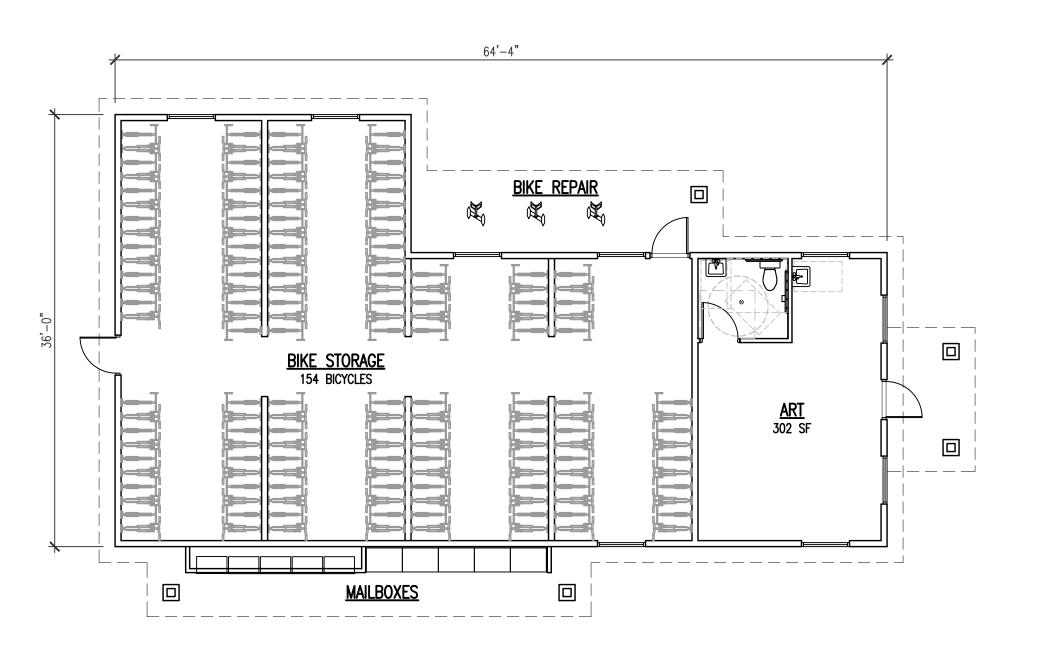
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PRELIMINARY FLOOR PLANS



### BUILDING TYPE 3 (BLDG. A) TYPICAL FLOOR PLAN AREA: 4,903 SF PER FLOOR x 3 = 14,709 SF











PROJECT **RIVER POINTE APARTMENTS EXPANSION** 



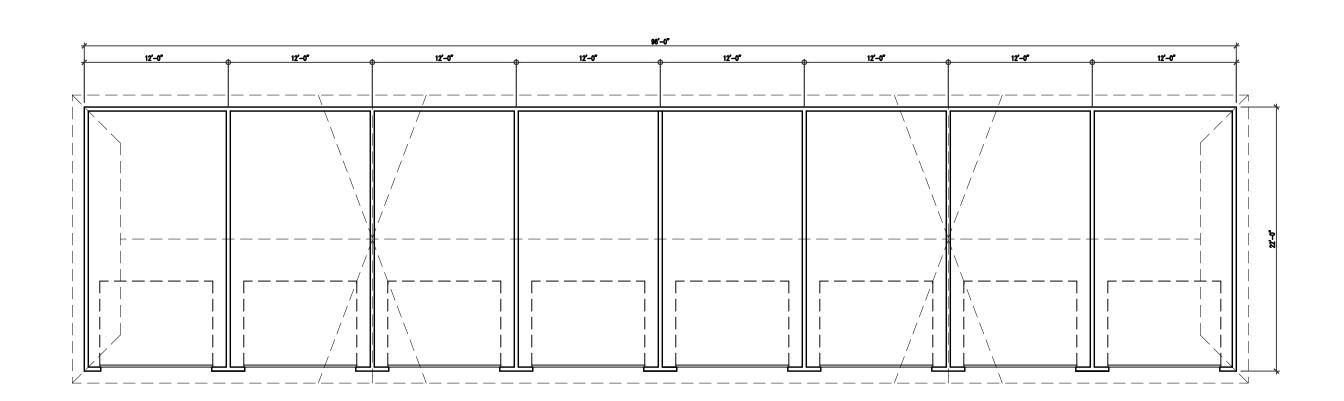
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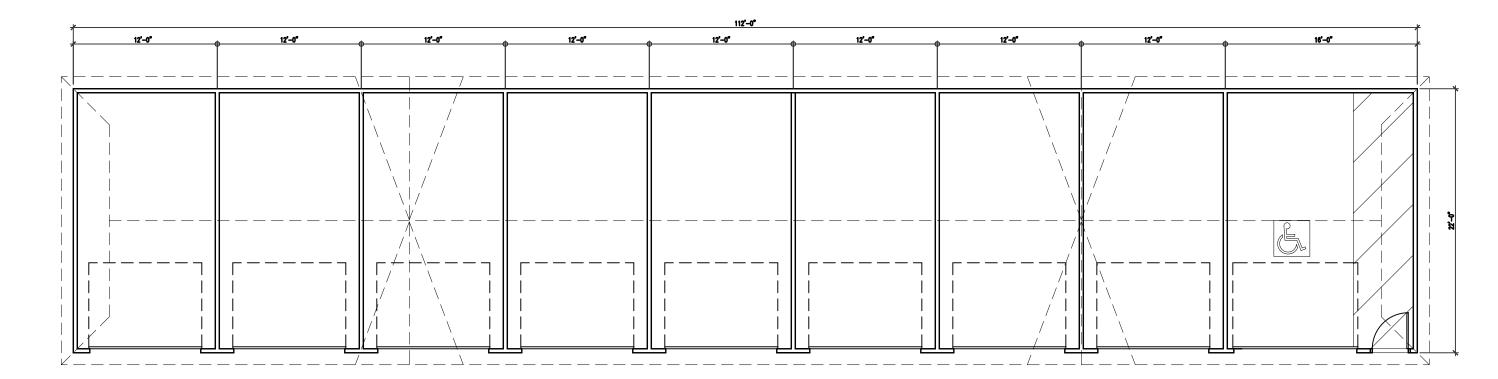
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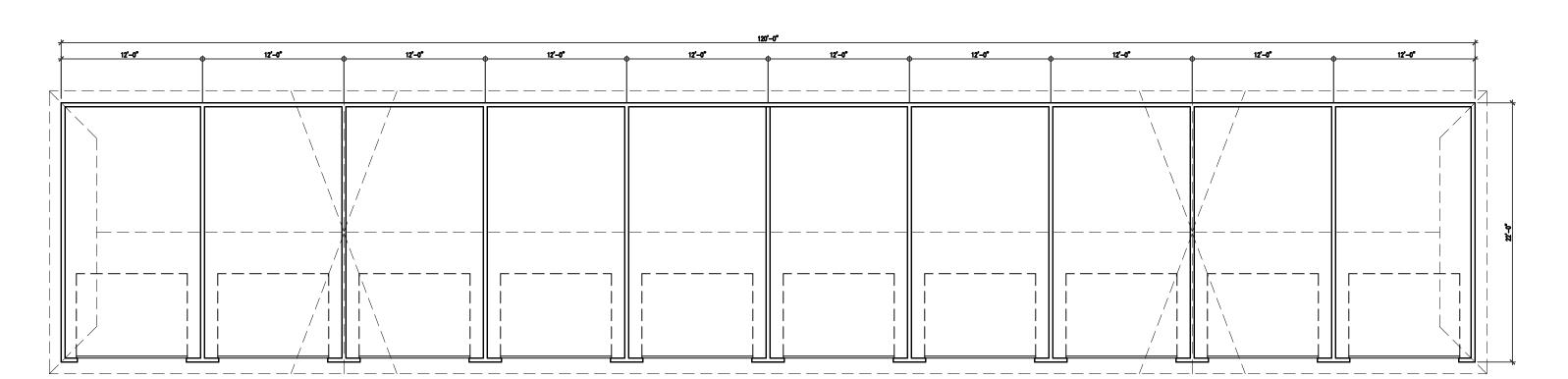




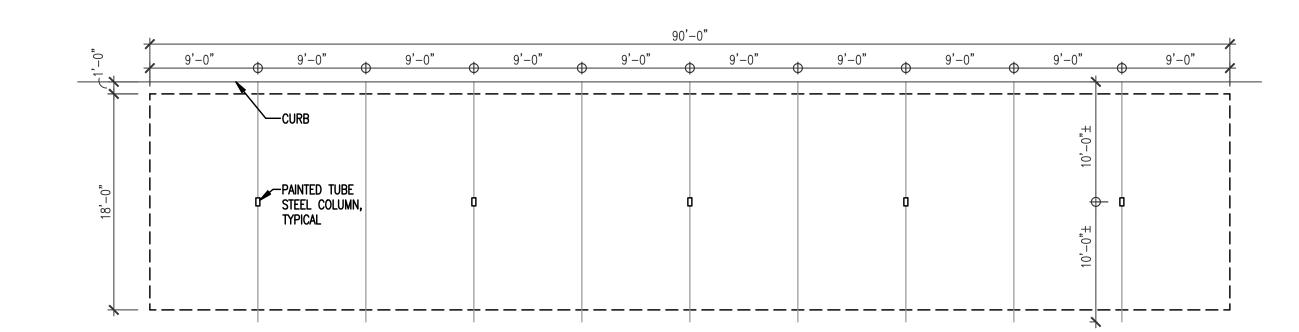
### 8-BAY GARAGE FLOOR PLAN SCALE: 1/8" = 1'-0" AREA: 2,112 SF



### 2 9-BAY HC GARAGE FLOOR PLAN SCALE: 1/8" = 1'-0" AREA: 2,464 SF

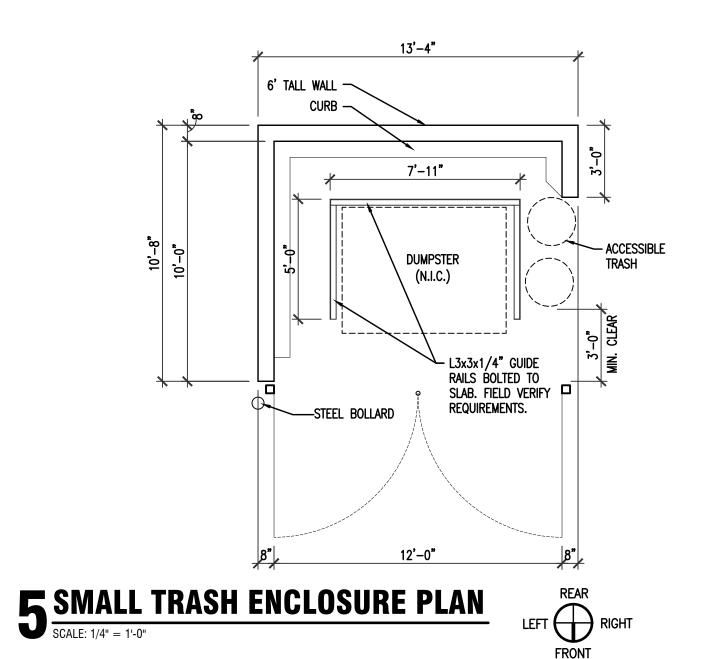


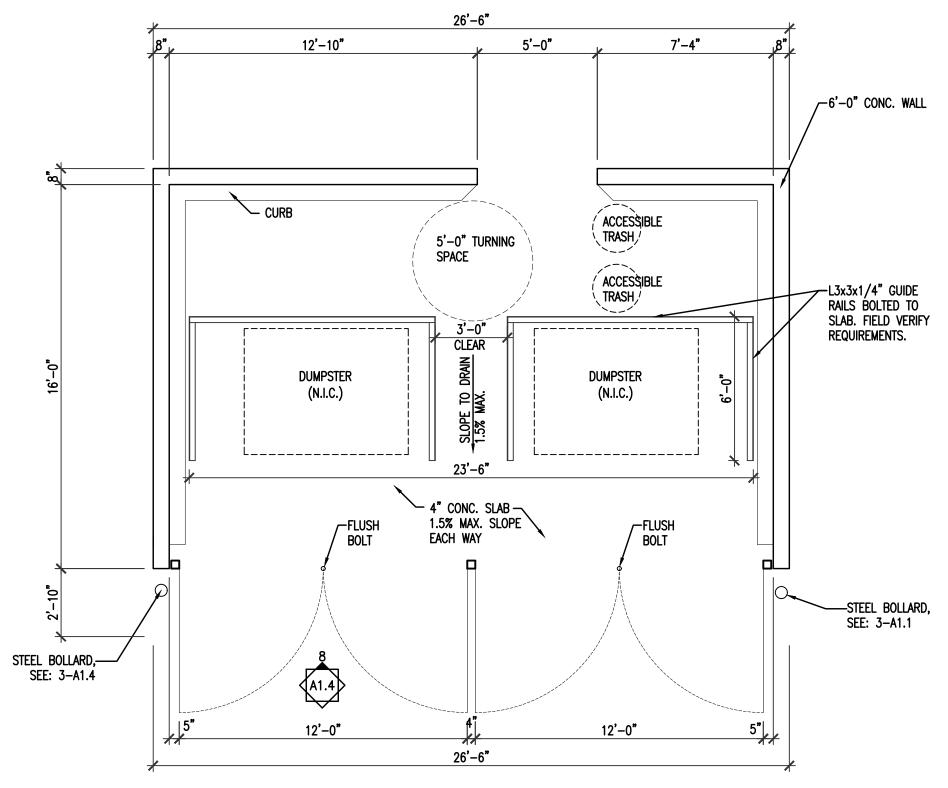
### 3 10-BAY GARAGE FLOOR PLAN SCALE: 1/8" = 1'-0" AREA: 2,640 SF REAR FRONT















PROJECT **RIVER POINTE APARTMENTS EXPANSION** 

SEAL

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NOVEMBER 26, 2018

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DAVID RUBY, AIA

REVISIONS

PRELIMINARY FLOOR PLANS



# FRONT ELEVATION - BUILDING TYPE 1, BLDG.'S C & D REAR ELEVATION SIMILAR SCALE: 1/8" = 1'-0"

MATERIAL	MANUFACTURER	NUMBER/STYLE	COLOR NAME
ROOF SHINGLE	PABCO	PREMIER	MATCH EXISTING
PREFINISHED METAL SUTTERS AND DOWNSPOUTS	SEE SPECIFICATIONS	-	WHITE
PREFINISHED METAL LASHINGS	SEE SPECIFICATIONS	-	WHITE
HORIZONTAL SIDING	JAMES HARDI	-	GRAY
BOARD & BATTEN SIDING	JAMES HARDI		GRAY
/INYL WINDOWS	SEE SPECIFICATIONS	-	WHITE
EXTERIOR DOORS	SEE SPECIFICATIONS	-	WHITE
VINDOW TRIM, ATTIC /ENTS	SHERWIN WILLIAMS	TBD	BLACK
TRIM, BELLY BAND, FASCIA	SHERWIN WILLIAMS	TBD	WHITE

NOTE: ALL PRODUCTS DESCRIBED HERE ARE BASIS-OF-DESIGN. SEE SPECIFICATIONS FOR ALTERNATE MANUFACTURERS, IF APPLICABLE.



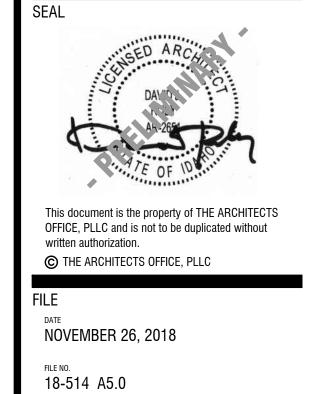
2 SIDE ELEVATION - BUILDING TYPE 1, BLDG.'S C & D

SCALE: 1/8" = 1'-0"



PROJECT

RIVER POINTE APARTMENTS EXPANSION



REVISIONS

DAVID RUBY, AIA

CHEET

A5.0

PRELIMINARY EXTERIOR ELEVATIONS



### FRONT ELEVATION - BUILDING TYPE 2, BLDG. B REAR ELEVATION SIMILAR

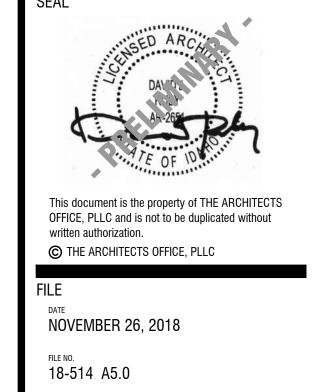


2 SIDE ELEVATION - BUILDING TYPE 2, BLDG. B
SCALE: 1/8" = 1'-0"



PROJECT

# RIVER POINTE APARTMENTS EXPANSION



REVISIONS

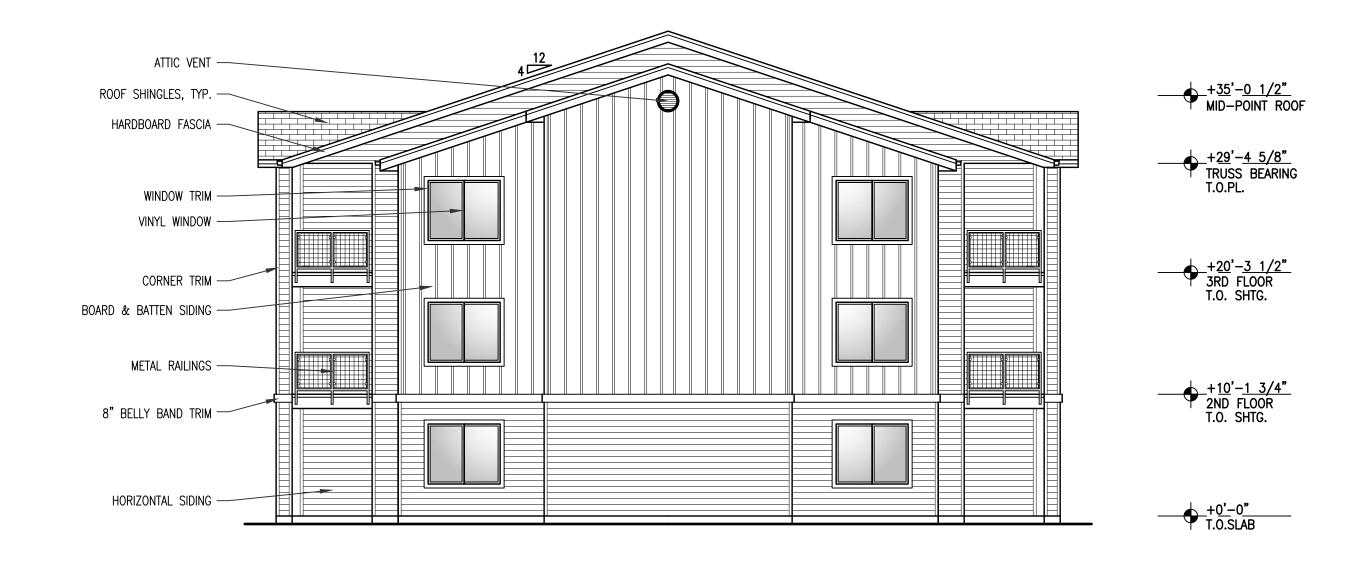
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SHEET

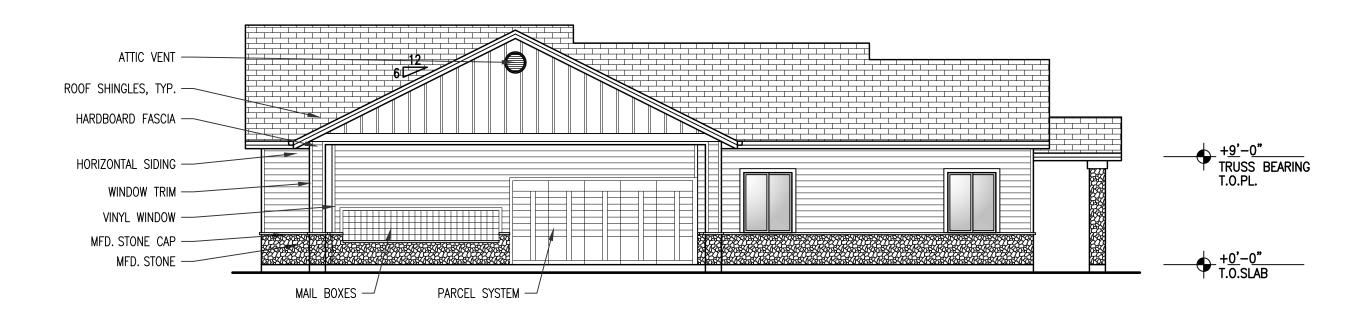
PRELIMINARY EXTERIOR ELEVATIONS



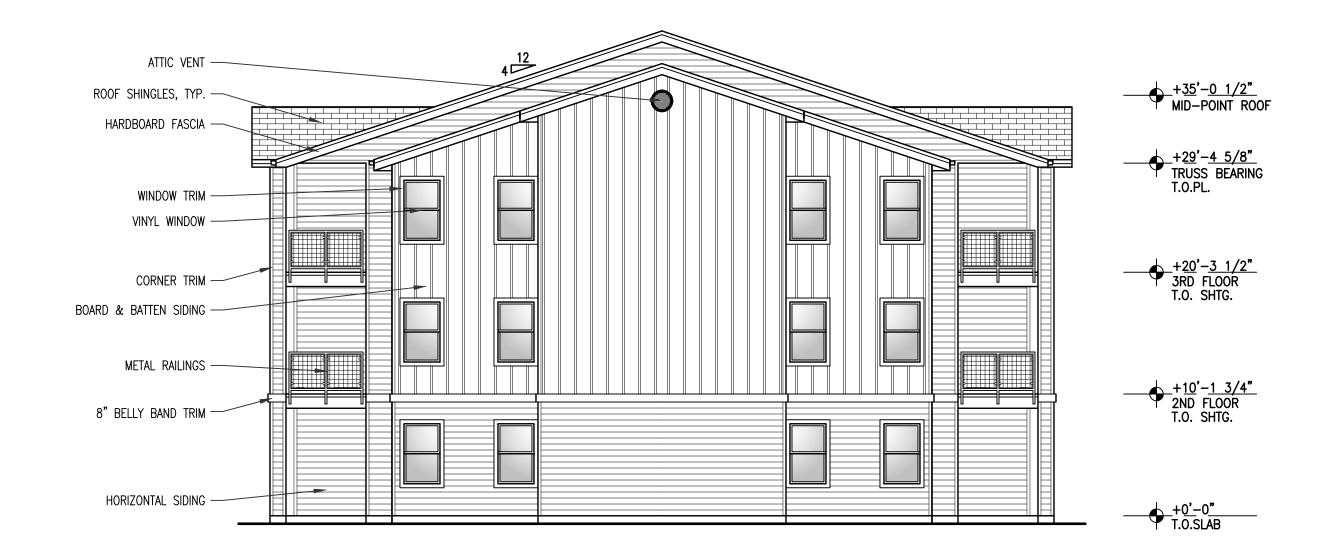
## FRONT ELEVATION - BUILDING TYPE 3, BLDG. A REAR ELEVATION SIMILAR, OPPOSITE SCALE: 1/8" = 1'-0"



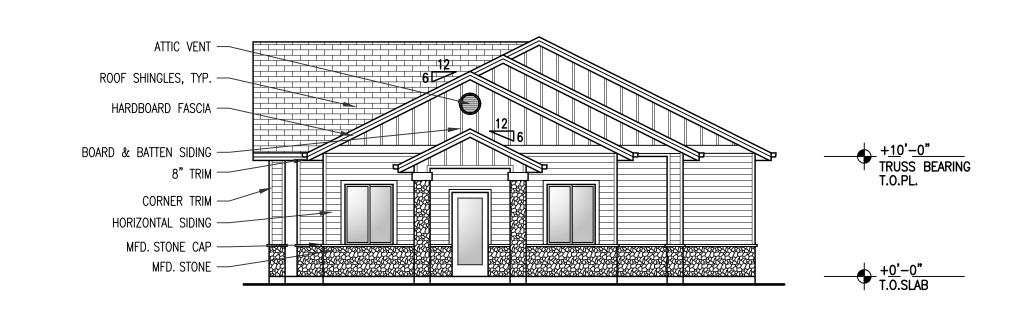
3 RIGHT ELEVATION - BUILDING TYPE 3, BLDG. A SCALE: 1/8" = 1'-0"



6 SOUTH ELEVATION - AMENITY BUILDING
SCALE: 1/8" = 1'-0"



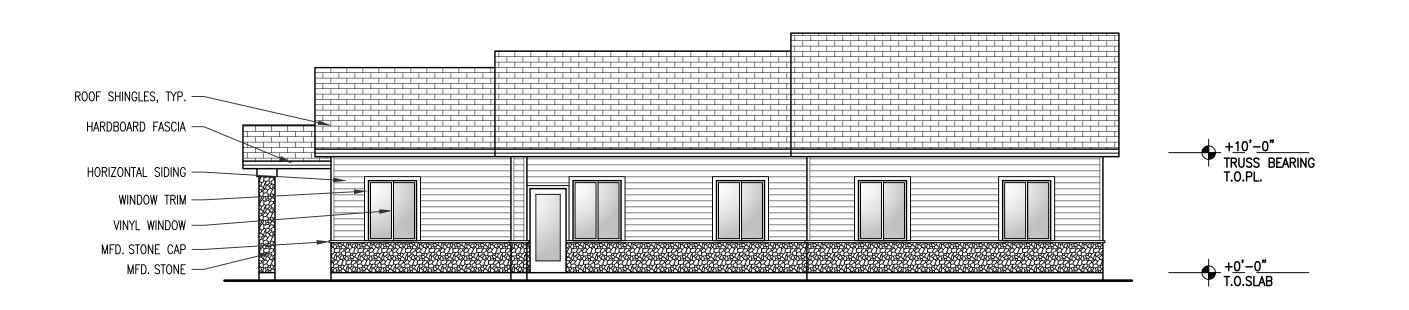
### 2 LEFT ELEVATION - BUILDING TYPE 3, BLDG. A SCALE: 1/8" = 1'-0"



### 4 EAST ELEVATION - AMENITY BUILDING SCALE: 1/8" = 1'-0"

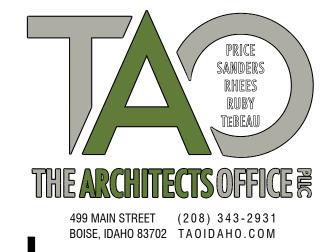


### 5 WEST ELEVATION - AMENITY BUILDING SCALE: 1/8" = 1'-0"



7 NORTH ELEVATION – AMENITY BUILDING

SCALE: 1/8" = 1'-0"



PROJECT

RIVER POINTE APARTMENTS EXPANSION



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NOVEMBER 26, 2018

FILE NO.

18-514 A5.0

DAVID RUBY, AIA

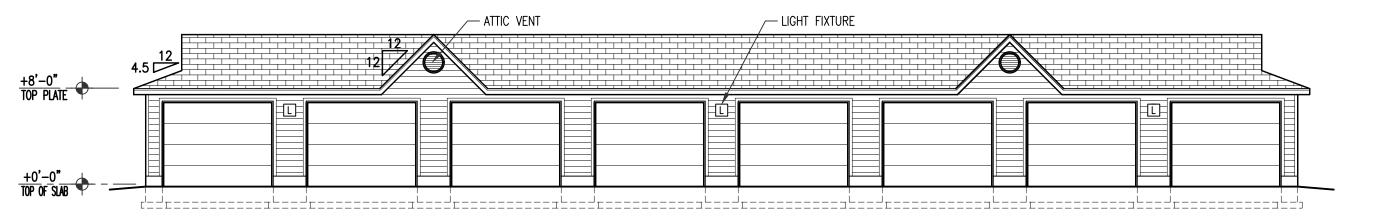
REVISIONS

SHEET

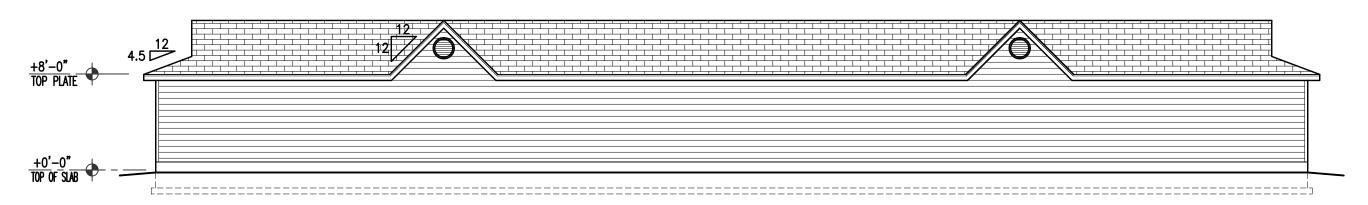
A5.2

PRELIMINARY EXTERIOR ELEVATIONS

### 1 TYPICAL GARAGE ELEVATION - SIDE SCALE: 1/8" = 1'-0"



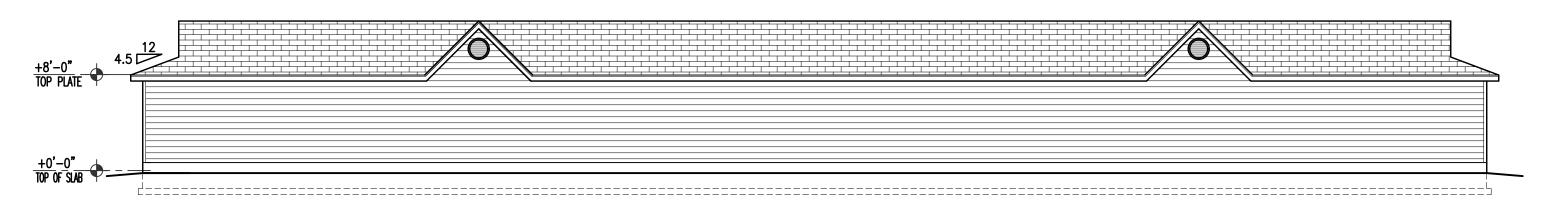
### 2 TYPICAL 8-BAY GARAGE ELEVATION - FRONT SCALE: 1/8" = 1'-0"



### 3 TYPICAL 8-BAY GARAGE ELEVATION - REAR SCALE: 1/8" = 1'-0"



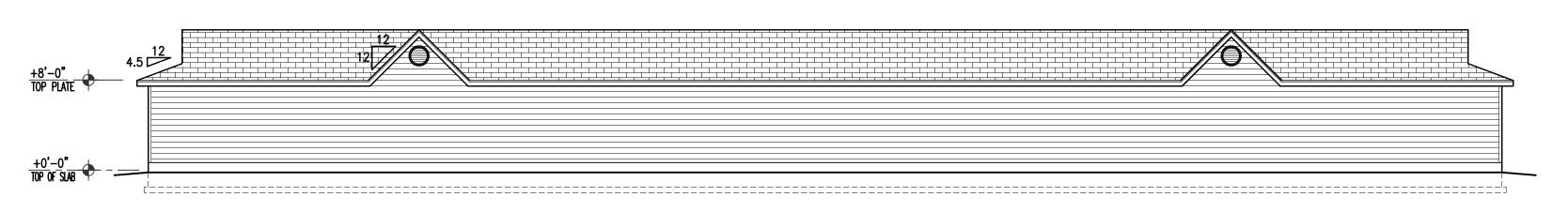
### 4 TYPICAL 9-BAY HC GARAGE ELEVATION - FRONT SCALE: 1/8" = 1'-0"



### 5 TYPICAL9-BAY HC GARAGE ELEVATION - REAR SCALE: 1/8" = 1'-0"



### 6 TYPICAL 10-BAY GARAGE ELEVATION - FRONT SCALE: 1/8" = 1'-0"

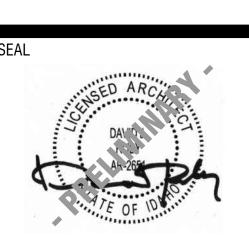


### **TYPICAL 10-BAY GARAGE ELEVATION - REAR**SCALE: 1/8" = 1'-0"



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RIVER POINTE APARTMENTS EXPANSION



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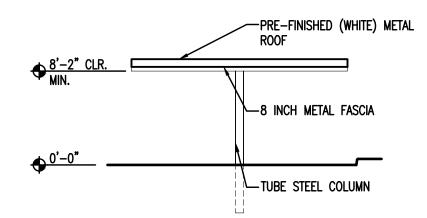
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DAVID RUBY, AIA

REVISIONS

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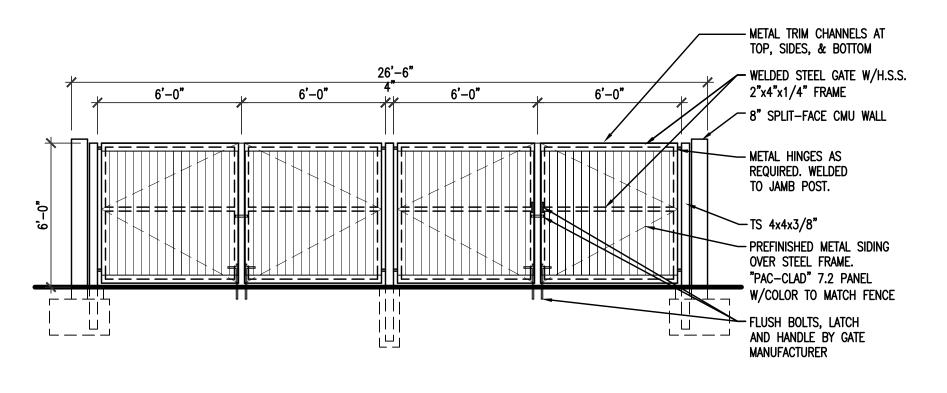
A5.3

PRELIMINARY
EXTERIOR ELEVATIONS

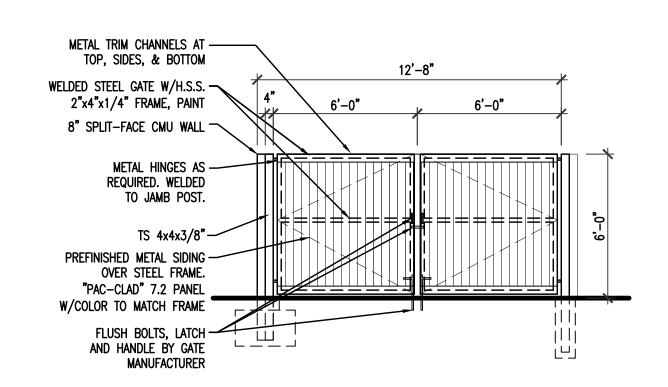


### 1 TYPICAL CARPORT ELEVATION - SIDE SCALE: 1/8" = 1'-0"

### 2 10-BAY CARPORT ELEVATION - FRONT SCALE: 1/8" = 1'-0"



3 LARGE TRASH ENCLOSURE ELEVATION - FRONT SCALE: 1/4" = 1'-0"

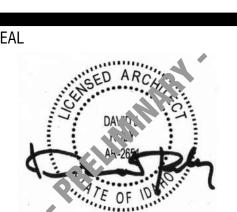


4 SMALL TRASH ENCLOSURE ELEVATION - FRONT SCALE: 1/4" = 1'-0"



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RIVER POINTE APARTMENTS EXPANSION



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PRELIMINARY EXTERIOR ELEVATIONS

10. GROUND-LEVEL H.V.A.C. UNIT WITH SCREENING FENCE (TYP OF ALL)

12. GRAVITY IRRIGATION STRUCTURE PER DRAINAGE DISTRICT No. 2 REQ'MTS.

13. GRAVITY IRRIGATION PIPING OF EXISTING DRAIN DITCH PER DRAINAGE

11. GREENBELT CONNECTION

DISTRICT No. 2 REQ'MTS.

14. BENCH

Zoning Regulations:

CURRENT ZONING: R-3

PROPOSED ZONING: R-3 (NO CHANGE)

BUILDING SETBACKS:
FRONT: 5-FT
SIDE: 5-FT
REAR: 15-FT
RIVER: 70-FT

SITE UTILIZATION:
BUILDINGS: ±49,407-SF
IMPERVIOUS SURFACE: ±75,846-SF
LANDSCAPE: ±81,051-SF

**Project Summary:** PROPERTY SIZE: ±4.99-AC (217,504-SF) PARKING CALCULATIONS: PARCEL NUMBER: R8191505455 PARKING STALLS: TOTAL APARTMENT BUILDINGS: 1-BDRM UNITS 22 SPACES 1/UNIT TOTAL APARTMENT DWELLING UNITS: 108 2-BDRM UNITS 2/UNIT 172 SPACES 0.5/UNIT 54 SPACES APARTMENT UNIT MIX: 248 (2.3/UNIT) 198\* 1-BEDROOM / 1-BATH UNITS: 2-BEDROOM / 2-BATH UNITS: 86 (80%) GARAGE PARKING: (\* = GARAGE SPACES INCLUDED IN TOTAL ABOVE)SPACES REQUIRED 1/UNIT 108 BUILDING NUMBER OF STORIES / BUILDING HEIGHT / TYPE\* / SQUARE FOOTAGE: (37 GARAGES PROVIDED WITH ONE TO BE USED FOR BUILDING MAINTENANCE) BUILDING A:

12 UNITS, 3-STORY, 35-FT. TYPE 3 / 4,903-SF PER LEVEL / 14,709-SF TOTAL CARPORT PARKING: (\* = CARPORT SPACES INCLUDED IN TOTAL ABOVE) BUILDING B: 32 UNITS, 4-STORY, 45 FT. SPACES PROVIDED TYPE 2 / 9,696-SF PER LEVEL / 38,784-SF TOTAL 32 UNITS, 4-STORY, 45 FT. BICYCLE PARKING: TYPE 3 / 11,522-SF PER LEVEL / 46,088-SF TOTAL BIKE PARKING 32 UNITS, 4-STORY, 45 FT. TYPE 3 / 11,522-SF PER LEVEL / 46,088-SF TOTAL ACCESSIBLE PARKING: (\* = ACCESSIBLE SPACES INCLUDED IN TOTAL ABOVE) GARAGE BUILDINGS: 1-STORY, 12-FT. GENERAL USE (COMMUNITY BUILDING): G-01 = 9-BAY HC TYPE / 2,464-SF TOTALBUILDING A/B G-02 = 10-BAY TYPE / 2,640-SF TOTAL**BUILDING D** G-03 = 8-BAY TYPE / 2,112-SF TOTALG-04 = 10-BAY TYPE / 2,640-SF TOTAL

Sheet Notes:

1 ALL DIMENSIONS ARE MEASUR

ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE, BUILDING WALL OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 GRADING & DRAINAGE:

 THE PROJECT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA. PROJECT GRADING WILL BE DESIGNED TO ELEVATE ALL OCCUPIED BUILDINGS

Vicinity Map:

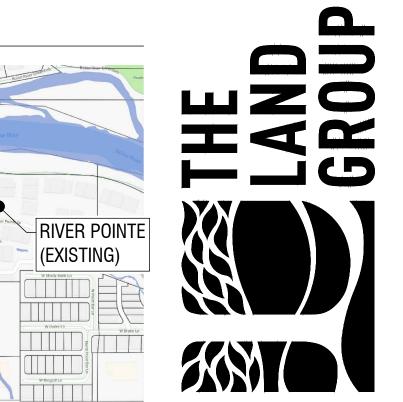
BOISE RIVER

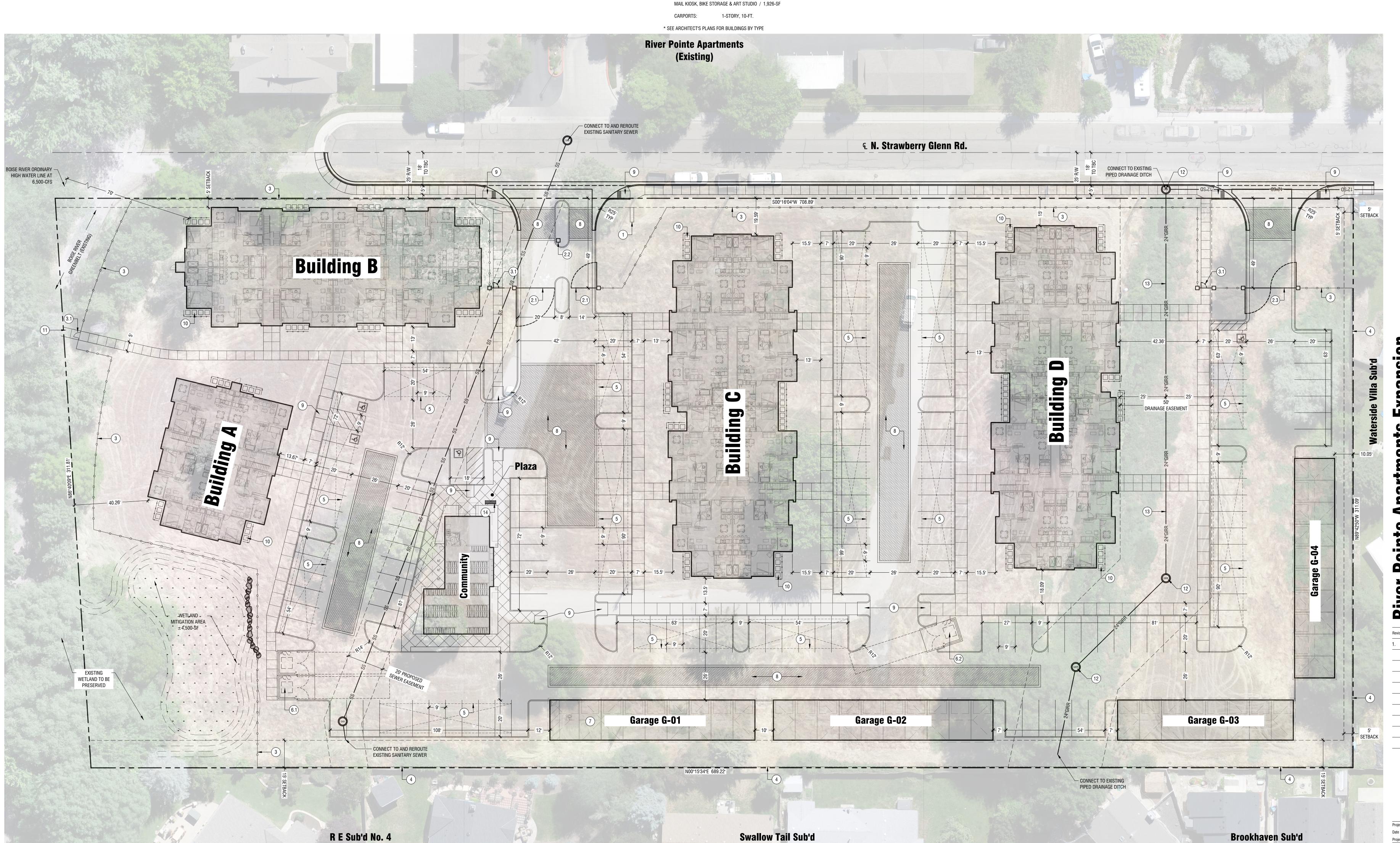
W Marigold St. Www.MARIGOLD/STopus

8-3B.
2.2. PROJECT GRADING WILL DIRECT STORMWATER TO DRAINAGE SYSTEMS DESIGNED TO CAPTURE AND RETAIN STORMWATER FROM THE DESIGN STORM IN ACCORDANCE WITH GARDEN CITY REQUIREMENTS.

ABOVE THE ESTABLISHED BASE FLOOD ELEVATION. PROJECT DESIGN

WILL CONFORM TO THE REQUIREMENTS OF GARDEN CITY CODE SECTION







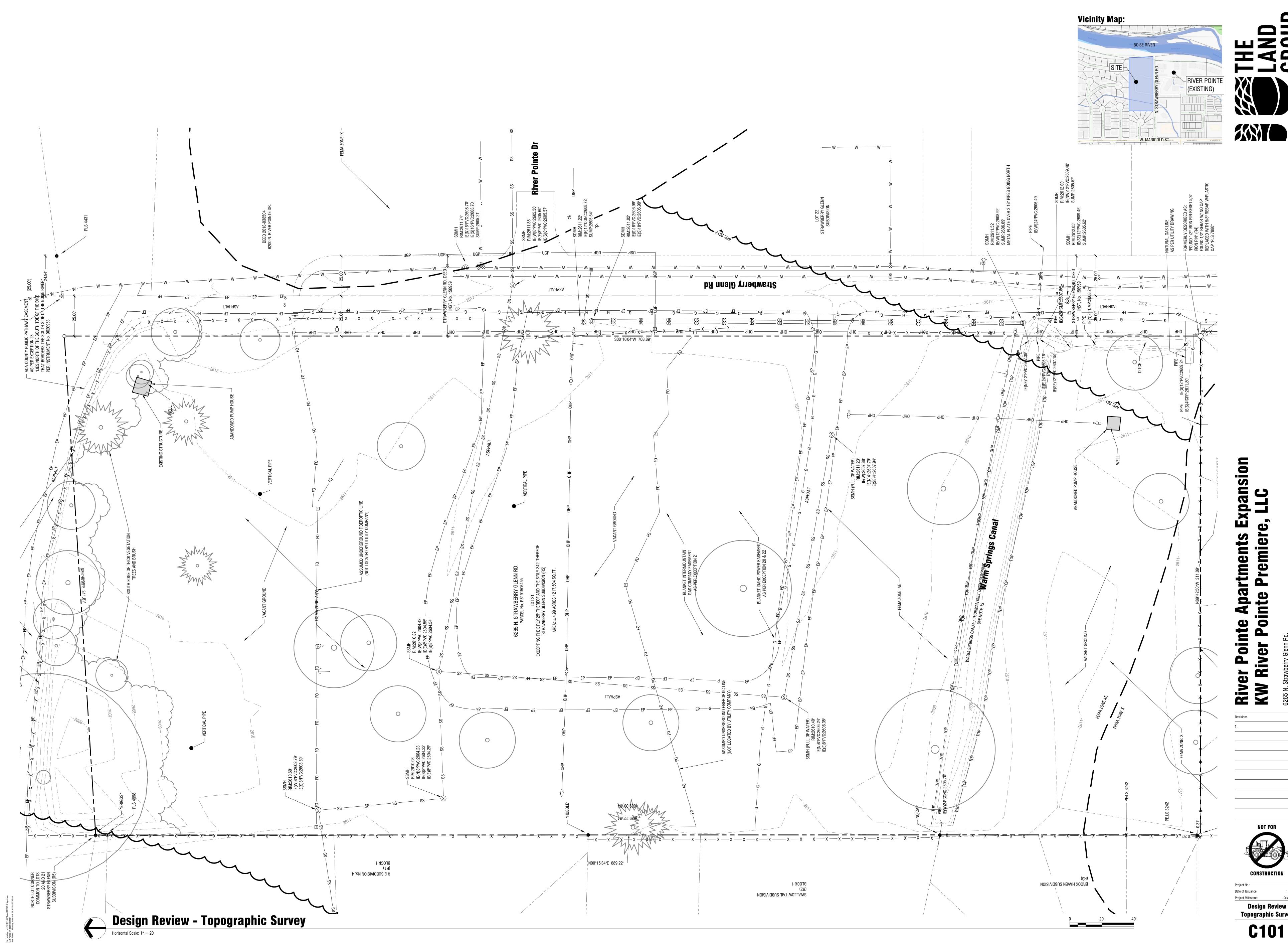
Project No.:
Date of Issuance: 10Project Milestone: Design

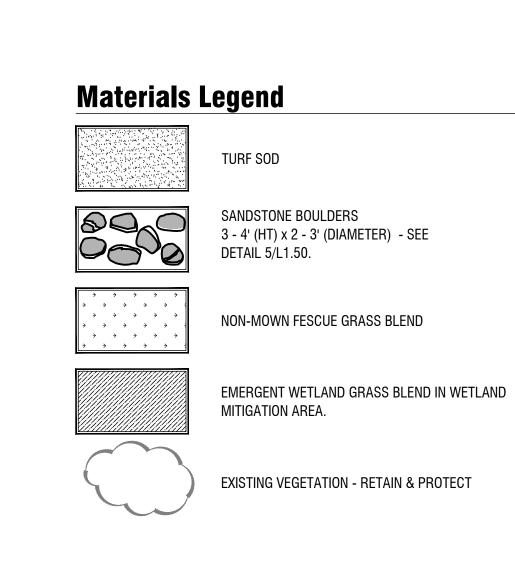
Site Plan

Design Review - Site Plan

Horizontal Scale: 1" = 20'

C100







- Keynotes
- 2. 4' WROUGHT-IRON FENCE SEE DETAIL 1/L1.50.
- 3. 6' SOLID VINYL FENCE.- SEE DETAIL 2/L1.50.
- 4. PLANTER EDGE CUT EDGE SEE DETAIL 3/L1.50.
- 5. REMOVE EXISTING TREE.

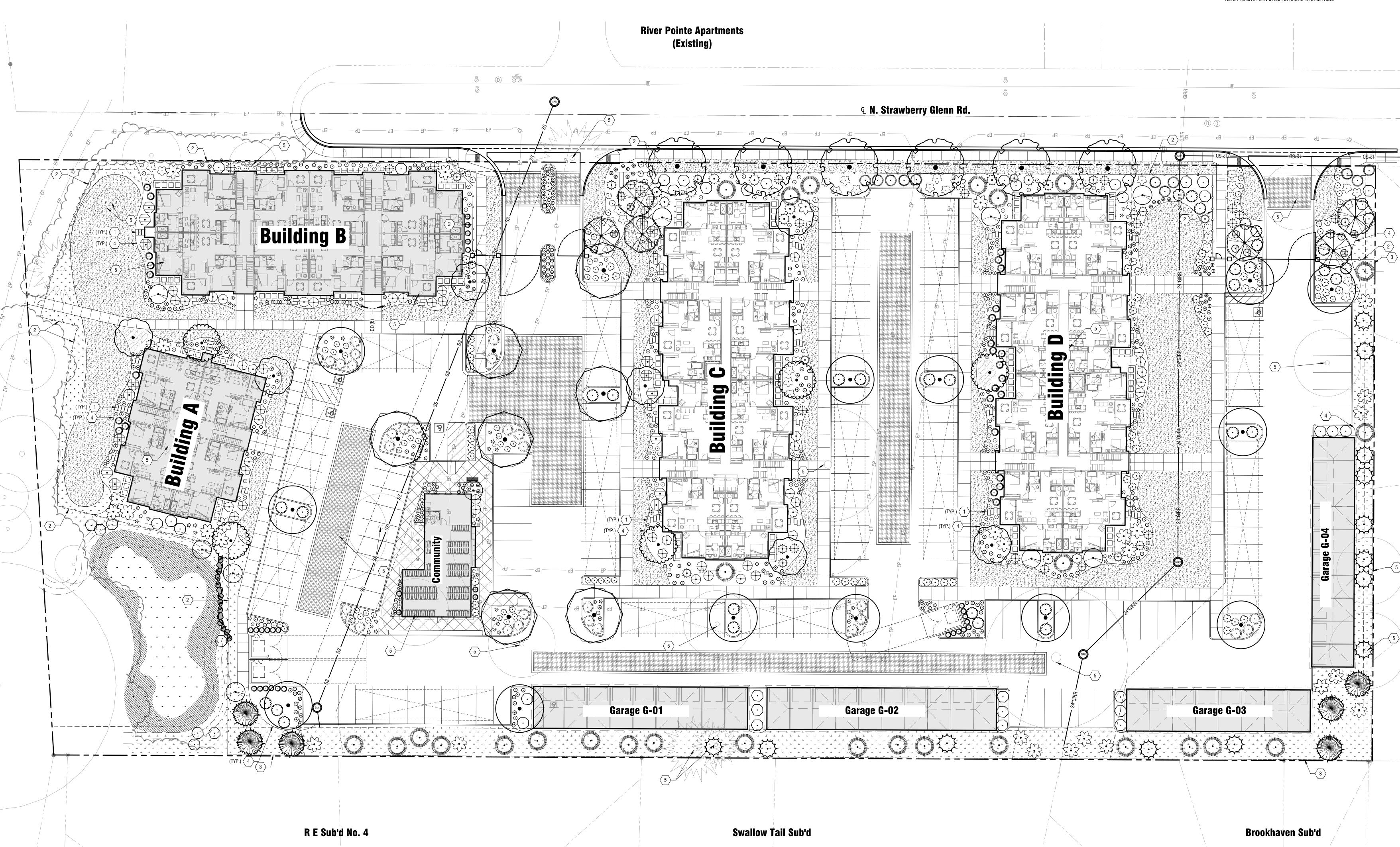
### Landscape Material Log

- TURF SOD AREA APPROX. 22,000 SF (0.51 ACRES) NON-MOWN FESCUE GRASS BLEND AREA - APPROX. 16,180 SF (0.37 ACRES) EMERGENT WETLAND GRASS BLEND AREA - APPROX. 2,650 SF (0.06 ACRES)
- OPEN WETLAND MITIGATION AREA APPROX. 2,400 SF (0.06 ACRES) PLANTER BED (DECORATIVE BARK MULCH) AREA - APPROX. 28,550 SF (0.66 ACRES) 6. EXISTING VEGETATION AREA - APPROX. 8,075 SF (0.19 ACRES)

### **Landscape Plan Notes:**

REQUIRED WATER USES.

- 1. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, PLAN SHEET C1.00. 2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY
- DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY. 3. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION
- OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS. 4. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS/L1.50 AND CONTRACT SPECIFICATIONS.
- 5. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- 6. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- 7. ALL NON-TURF PLANTERS SHALL RECEIVE 3" LAYER OF DECORATIVE BARK MULCH UNLESS OTHERWISE NOTED.
- 8. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR
- 16. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- 17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- 18. STORM WATER TO BE MANAGES USING PERMEABLE PAVERS IN PARKING AREAS, REFER TO SITE PLAN C1.00 FOR MORE INFORMATION.





L1.00

	CHEDULE	0175	Total	DEMARKS
REES	BOTANICAL / COMMON NAME  CRATAEGUS PHAENOPYRUM WASHINGTON HAWTHORN	SIZE  2" CAL. B & B	QTY 6	REMARKS 25` HT. X 25` W
${\bigcirc}$	FRAXINUS AMERICANA `AUTUMN PURPLE` AUTUMN PURPLE ASH	2" CAL. B & B	7	50` HT. X 35` W
$\overline{\bigcirc}$	GLEDITSIA TRIACANTHOS INERMIS `SKYCOLE` TM SKYLINE THORNLESS HONEY LOCUST	2" CAL. B & B	13	35` HT. X 25` W
$\overline{\bigcirc}$	LIRIODENDRON TULIPIFERA `EMERALD CITY` TM EMERALD CITY TULIP TREE	2" CAL. B & B	7	55` HT. X 25` W
	MALUS X `SPRING SNOW` SPRING SNOW CRAB APPLE	2" CAL. B & B	5	25` HT. X 15` W
	PICEA ABIES NORWAY SPRUCE	40` HT. X 20` W		
	PINUS STROBUS `FASTIGIATA` PYRAMIDAL WHITE PINE	HT.	13	30` HT. X 10` W
	PINUS NIGRA `OREGON GREEN` OREGON GREEN PINE	HT.	28	15` HT X 10` W
Second Second	TILIA TOMENTOSA `STERLING` STERLING SILVER LINDEN	2" CAL. B & B	6	60` HT. X 30` W
RUBS	BOTANICAL / COMMON NAME  BUXUS MICROPHYLLA `FAULKNER` FAULKNER BOXWOOD	SIZE 5 GAL	QTY 27	REMARKS 4` HT. X 4` W
	BERBERIS THUNBERGII `HELMOND PILLAR` COLUMNAR BARBERRY	5 GAL	54	4` HT. X 2` W
(•)	CORNUS SERICEA `ISANTI` ISANTI REDOSIER DOGWOOD	5 GAL	51	2` HT. X 2` W
	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`	1 GAL	70	2` HT X 2` W
	FEATHER REED GRASS  CALAMAGROSTIS X ACUTIFLORA `OVERDAM` OVERDAM FEATHER REED GRASS	1 GAL	89	2` HT. X 2` W
$\bigcirc$	CORNUS SERICEA RED TWIG DOGWOOD	5 GAL	43	6` HT. X 6` W
+	HEUCHERA X `AMETHYST MIST` CORAL BELLS	1 GAL	30	18" HT. X 18" W
+	HEUCHERA X `GEORGIA PEACH` GEORGIA PEACH CORAL BELLS	1 GAL	39	18" HT. X 18" W
0	HEUCHERA X `LIME MARMALADE` CHARTREUSE CORAL BELLS	1 GAL	44	18" HT. X 18" W
<b></b>	HYDRANGEA PANICULATA `LIMELIGHT` TM LIMELIGHT HYDRANGEA	5 GAL.	32	
0	HEMEROCALLIS X `STELLA DE ORO` STELLA DE ORO DAYLILY	1 GAL	94	2` HT X 2` W
$\oplus$	HYDRANGEA PANICULATA `QUICK FIRE` LITTLE QUICK FIRE HYDRANGEA	5 GAL.	14	
(o)	HEUCHERA X `SOUTHERN COMFORT` SOUTHERN COMFORT	1 GAL	16	18" HT. X 18" W
	JUNIPERUS HORIZONTALIS `BLUE CHIP` BLUE CHIP JUNIPER	5 GAL.	30	
AMADAAAAA	JUNIPERUS CHINENSIS `MINT JULEP` MINT JULEP JUNIPER	5 GAL	11	5` HT. X 6` W
Jan San San San San San San San San San S	JUNIPERUS SCOPULORUM `SKYROCKET` SKYROCKET JUNIPER	5 GAL	15	15` HT. X 3` W
	MUHLENBERGIA CAPILLARIS `IRVINE` PLUMETASTIC PINK MUHLY	5 GAL.	9	
	MAGNOLIA STELLATA STAR MAGNOLIA MULTI-TRUNK	HEIGHT 4`-5`	10	
<del>\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\</del>	PENNISETUM ALOPECUROIDES `BURGUNDY BUNNY` BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL	40	18" HT. X 18" W
<b>*</b>	PHYSOCARPUS OPULIFOLIUS `COPPERTINA` COPPERTINA NINEBARK	5 GAL	14	8` HT. X 6`W
£3	PHYSOCARPUS OPULIFOLIUS `DIABLO` DIABLO NINEBARK	5 GAL	32	8` HT X 8` W
****	PINUS MUGO `MOPS` MUGO PINE	5 GAL.	39	
	PRUNUS LAUROCERASUS `OTTO LUYKEN` LUYKENS LAUREL	5 GAL.	22	
$\odot$	RHUS AROMATICA `GRO-LOW` GRO-LOW FRAGRANT SUMAC	5 GAL	32	3` HT. X 6` W
$\langle \hat{j} \rangle$	ROSA RUGOSA RUGOSA ROSE	5 GAL	33	5` HT. X 5` W
and the second	RHAMNUS FRANGULA `FINE LINE` FINE LINE BUCKTHORN	5 GAL	9	6` HT. X 2` W
$\odot$	SALVIA GREGGII `HEATWAVE BLAZE` HEATWAVE BLAZE SALVIA	5 GAL.	89	
$\odot$	SPIRAEA X BUMALDA `GOLDMOUND` GOLD MOUND SPIREA	3 GAL	58	3` HT. X 4` W
(+)	SALVIA X SYLVESTRIS `MAY NIGHT` MAY NIGHT SAGE	1 GAL	89	2` HT. X 2` W
ROUND COVERS	BOTANICAL / COMMON NAME  PACHYSANDRA TERMINALIS `GREEN SHEEN`	SIZE 1 GAL.	QTY 215 SF	REMARKS

YEAR WARRANTY PERIOD.

PREVENT SLIPPAGE.

ARCHITECT IMMEDIATELY.

INSTALLATION OF PLANT MATERIAL.

NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.

SOIL LINE

UTILIZE SOIL/ROOT PROBE AROUND TRUNK -

(APPROX. 3-4" AWAY FROM TRUNK) TO LOCATE

HIGHEST ROOTS. HIGHEST ROOTS SHOULD BE

POSITIONED AT OR SLIGHTLY ABOVE GRADE LEVEL.

REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP -

½ OF ROOTBALL, REMOVE ALL NAILS, TIES, AND PLASTIC

FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO

REMOVED. ONLY BIODEGRADEABLE BURLAP SHALL BE

Coniferous Tree Planting

WRAP THE ROOTBALL, IT SHALL BE COMPLETELY

LEFT ON THE BOTTOM OF THE ROOTBALL.

WATER TREE TWICE WITHIN THE FIRST 24 HOURS.



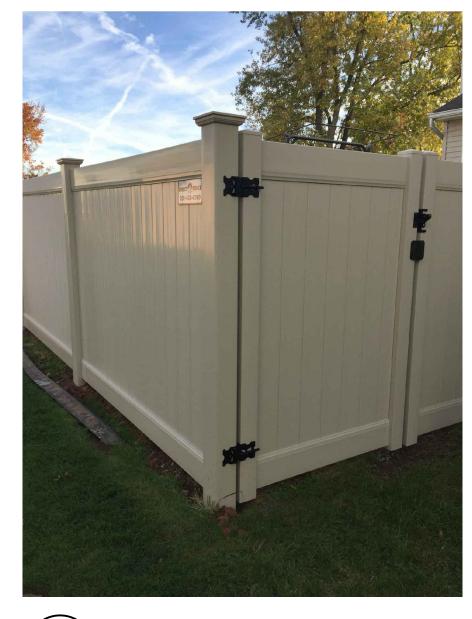
★ 2x ROOTBALL DIAMETER → ★

— 3x ROOTBALL DIAMETER —

 HEIGHT: 4' 2. COLOR: GREEN TO MATCH EXISTING AT RIVER POINTE APARTMENT COMPLEX.

THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS - REMOVE DEAD/DAMAGED BRANCHES AND PRUNE TO RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS; STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE IMPROPERLY PRUNED TREES (AS DETERMINED BY THE LANDSCAPE ARCHITECT) SHALL BE REMOVED AND REPLACED. 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO PREVAILING WIND DIRECTION 4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO --- RUBBER CINCH TIE 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE \_\_\_\_ 2" x 2" x 8" CEDAR STAKE - <u>DO NOT PENETRATE ROOTBALL</u>. SEE NOTE 1. SET STAKES PARALLEL TO PREVAILING WIND. / 3" THICK BARK MULCH LAYER, KEEP BARK MULCH 3" AWAY FROM TRUNK — BACKFILL WITH SOIL PLANTING MIX. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COMMERCIAL SLOW RELEASE FERTILIZER TABLETS

- SET ROOTBALL ON NATIVE UNDISTURBED SUBSOIL



— BARK MULCH AT PLANTER BEDS

1. HEIGHT: 6' SOLID VINYL 2. COLOR: BEIGE, CREAM, OR OFF-WHITE.

**↑ Planter Edge Cut Edge** 

1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS - REMOVE DEAD/DAMAGED BRANCHES AND PRUNE TO RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS; STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE IMPROPERLY PRUNED TREES (AS DETERMINED BY THE YEAR WARRANTY PERIOD. LANDSCAPE ARCHITECT) SHALL BE REMOVED AND REPLACED. 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING. 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL. PREVAILING WIND DIRECTION 4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH - TREE WRAP TRUNK PROTECTION, GALVANIZED NAILS TO PREVENT SLIPPAGE. REMOVE AFTER INSTALLATION 5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS. 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE RUBBER CINCH TIE ARCHITECT IMMEDIATELY. — 2" x 2" x 8" CEDAR STAKE - <u>DO NOT PENETRATE ROOTBALL</u>. ROOT PROBE -SEE NOTE 1. SET STAKES PARALLEL TO PREVAILING WIND. /-- 3" THICK BARK MULCH LAYER, KEEP BARK MULCH 3" AWAY FROM TRUNK UTILIZE SOIL/ROOT PROBE AROUND TRUNK -- BACKFILL WITH SOIL PLANTING MIX. SEE (APPROX. 3-4" AWAY FROM TRUNK) TO LOCATE SPECIFICATIONS FOR ADDITIONAL INFORMATION. HIGHEST ROOTS. HIGHEST ROOTS SHOULD BE POSITIONED AT OR SLIGHTLY ABOVE GRADE LEVEL. REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP — ½ OF ROOTBALL, REMOVE ALL NAILS, TIES, AND PLASTIC COMMERCIAL SLOW RELEASE FERTILIZER TABLETS FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADEABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL. — SET ROOTBALL ON NATIVE UNDISTURBED SUBSOIL

— 3x ROOTBALL DIAMETER -

- WATER RETENTION BASIN BARK MULCH LAYER — 3" DEPTH COMMERCIAL - BACKFILL WITH SOIL PLANTING FERTILIZER TABLETS MIX. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



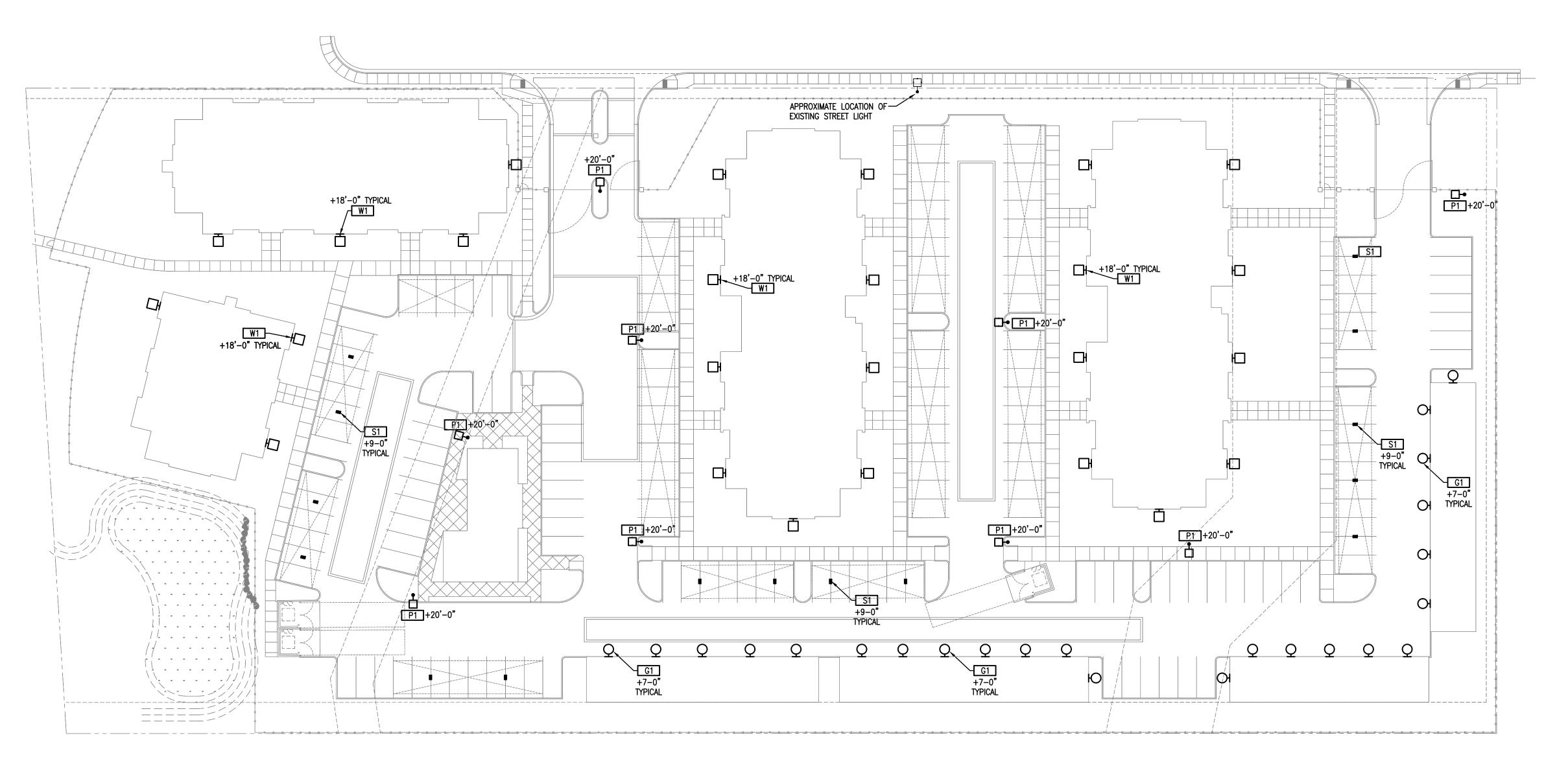


Design Review Landscape Details

**\ 6' Solid Vinyl Fence** 

Scale: NTS

L1.50







### **GENERAL NOTES:**

- A. CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
- B. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
- C. ROUTE ALL EXTERIOR LIGHTING (INCLUDING SOFFIT AND AREA LIGHTING SHOWN ON SHEET E2.0L AND E2.1L) THROUGH A LIGHTING CONTACTOR. LOCATE LIGHTING CONTACTOR IN ELECTRICAL ROOM. PROVIDE PHOTO-CELL ON ROOF AND ELECTRO-MECHANICAL 7-DAY TIME CLOCK ADJACENT TO CONTACTOR CABINET. REFER TO DETAIL X, SHEET XXX.
- D. ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY IPCO AND SHALL FORWARD IPCO WORK ORDER INVOICE TO OWNER FOR PAYMENT BY
- E. PROVIDE HOUSE SIDE SHIELDS ON ALL P1 POLE LIGHTS.

### **KEYED NOTES:**

- PROVIDE (1) 4"CO WITH PULL CORD FOR TELEPHONE SERVICE CABLE. VERIFY EXACT LOCATION OF CONDUIT WITH TELEPHONE COMPANY.
- 2. APPROXIMATE ROUTING/LOCATION OF IPCO PRIMARY UNDERGROUND CONDUIT/CONDUCTORS. SHOWN FOR REFERENCE ONLY. IPCO PRIMARY CONDUIT, CONDUCTORS, AND TERMINATIONS BY IPCO.
- 3. NEW TRANSFORMER AND PAD BY IPCO. COORDINATE WITH IPCO AS REQUIRED FOR CONSTRUCTION SCHEDULE.
- 4. FUTURE SIGN. 1"CO TO ABOVE PANEL LA
- 5. REFER TO DETAIL XX, SHEET XXX, ONE-LINE (RISER) DIAGRAM FOR CONDUIT AND WIRE REQUIREMENTS.
- 6. REFER TO DETAIL XX, SHEET XXX FOR TYPICAL TRENCHING DETAIL.
- 7. REFER TO DETAIL XX, SHEET XXX FOR POLE BASE DETAIL. TYPICAL ALL LIGHT POLE BASES.
- 8. METER, METER BASE, AND CT CABINET BY IPCO.
- 9. APPROXIMATE LOCATION OF MAIN SWITCHBOARD 'MSB.' REFER TO SHEET XXX FOR EXACT LOCATION.
- 10. APPROXIMATE LOCATION OF TELEPHONE TERMINAL BOARD. REFER TO SHEET XXX FOR EXACT LOCATION.





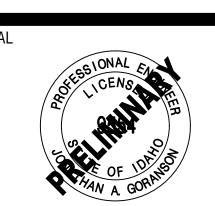


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208.288.2181





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REVISIONS

ELECTRICAL SITE PLAN

0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0			
0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10			
O *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.			
0 *0.0 <u>*0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0</u>			-0.0 -0.0 -0.0 -0.0 -0.1 -0.2 -0.2 -0.2 -0.1 -0.2 -0.1 -0.1 -0.1 -0.1 -0.2 -0.4 -0.5 -0.5 -0.6 -0.6 -0.5 -0.1 -0.0 -0.1 -0.0 -0.1 -0.0
0. *0.d  *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.			0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.2 *0.3 *0.4 *0.3 *0.2 *0.2 *0.1 *0.1 *0.0 *0.2 *0.3 *0.4 *0.6 *0.6 *0.6 *0.7 *0.7 *0.7 *0.7 *0.7 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.1 *0.0 *0.0
0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0			0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.7 *0.9 *0.6 *0.4 *0.3 **\frac{1}{2} *0.2 *0.2 *0.3 **\frac{1}{2} *0.6 *0.7 *0.8 **\frac{1}{2} *0.9 *0.9 *0.9 *0.2 **\frac{1}{2} *0.1 **\frac{1}{2} *0.1 **\frac{1}{2} *0.2 **
±0.0	*2.1 *2.5 *2.9 *2.8 *2.5 *2.1 *1.8 *1.7 *1.6 *1.7 *1.7 *1.7 *1.7 *1.7 *1.3 *0.3 *0.2 *0.0 *0.4	0 <del>*0.0 *0.0 *0.0 *0.0 *0.0 *0.5 *1.0 *1.2 *1.2 *0.9 *0.6 *0.4 *0.0 *0.0 *0.1 *0.4 *0.8 *1.3 *1.6 *1.8 *1.6 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0</del>	↑0.0 ↑0.0 ↑1.7 ↑2.0 ↑1.7 ↑1.4 ↑0.9 ↑0.5 ↑0.2 ↑0.2 ↑0.2 ↑0.7 ↑0.9 ↑1.1 ↑1.2 ↑1.3 ↑1.3 ↑0.3 ↑0.1 ↑0.1 ↑0.1 ↑0.0
**\cdot \display \dis	3.5 4.0 4.0 3.6 2.8 2.3 2.1 2.1 2.2 2.4 2.7 3.0 2.6 0.4 0.3	*0.0 *0.7 *2.3 *2.5 *2.1 *1.7 *1.0 *0.5 *0.1 *0.1 *0.1 *0.5 *1.2 *2.1 *2.4 *3.0 *3.0 *0.0 **	<b>10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 10.0 </b>
**************************************	<b>1.5.5 1.6 1.6 1.2 1.0 1.3 1.6 1.6 1.6 1.6 1.7 1.6 1.7 1.6 1.7 1.6 1.7 1.6 1.7 1.6 1.7 1.6 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.7 1.</b>	0.0 †3.8 †3.3 †2.5 †2.2 †1.5 †0.6 †0.1 †0.1 †0.2 †0.5 †1.1 †2.1 †2.4 †3.8 †4.6	1.7 *4.1 *2.4 *2.2 *1.3 *0.6 *0.3 *0.2 *0.2 *0.5 *1.0 *1.4 *1.7 *20 *2.2 *1.9 *0.7 *0.3 *0.2 *0.1 *0.0
±0.0 ±0.0 ±0.0 ±0.0 ±0.0 ±0.0 ±0.1 ±0.1	5.6 5.8 4.6 4.2 4.3 3.3 3.1 2.8 2.7 2.6 2.9 3.4 3.3 5.0	1.2 \(^2.12\)	4.9 *4.1 *2.4 *2.2 *1.3 *0.6 *0.3 *0.2 *0.2 *0.5 *1.0 *1.4 *1.8 *2.3 *2.3 *2.7 *1.1 *0.4 *0.3 *0.1 *0.1
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.1 ↑0.1 ↑0.1	*4.0 *4.7 *4.3 *4.1/ *4.3 *4.3 *4.3 *4.8 *5.1	*4.5 *3.7 *2.5 *2.3 *1.4 *0.8 *0.3 *0.3 *0.4 *0.8 *1.4 *2.3 *2.6 *3.4 *3.7 *0.9	0.0
<sup>+</sup> 0.0 ↑0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.1	71.8 *2.4 *2.6 *2.5 *2.5 *2.3 *1.9 *1.5 *1.5 *1.8 *2.6 *2.8 *3.3 *3.0	*\frac{1.0}{2.9} \frac{1}{3.0} \frac{1.7}{2.7} \frac{1.6}{2.4} \frac{1.6}{1.6} \frac{1}{1.0} \frac{1.5}{0.5} \frac{10.5}{0.4} \frac{10.5}{0.5} \frac{1.8}{1.0} \frac{1.8}{1.8} \frac{12.2}{2.2} \frac{12.5}{2.3} \frac{10.9}{1.0} \frac{1.8}{1.8} \frac{1.8}{1.0} \frac{1.8}{1	0.0 2.1 2.4 2.1 1.8 1.1 0.7 0.4 0.3 0.3 0.6 1.1 1.5 1.5 1.9 2.5 2.6 3.6 2.0 0.4 0.5 0.1 0.1
<sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.0	*\big  1.0 \display 0.0 \display 0.7 \display 1.1 \display 1.4 \display 1.3 \display 1.1 \display 1.1 \display 1.0 \display 1.1 \display 1.2 \display 1.8 \display 2.1 \display 2.1 \display 1.7 \	+0.9 +1.7 +2.0 +2.0 +1.7 +1.3 +1.1 +0.6 +0.6 +0.7 +1.0 +0.8 +1.3 +1.7 +1.7 +1.4	1.2 1.6 1.6 1.3 0.9 0.6 10.5 10.4 10.5 10.7 11.1 1.4 1.8 12.4 12.3 13.0 1.3 10.5 10.3 10.1 10.1
*\begin{picture}(10.0 \\ \dot{0}.0\\ \dot{0}.0\\ \dot{0}.1\\ \dot{0}.1\\ \dot{0}.1\\ \dot{0}.2\\ \dot{0}.3\\ \dot{0}.3\\ \dot{0}.3\\ \dot{0}.3\\ \dot{0}.1\\ \dot{0}.0\\ \dot{0}.1\\ \dot{0}.1\\ \dot{0}.0\\ \dot{0}.1\\ \dot{0}.1\\\ \dot{0}.1\\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\dot{0}.1\\\\d	**************************************	*1.3 *1.6 *1.8 *1.5 \ +1.3 *1.1 \ +0.7 *0.8 *0.8 *1.2 *1.1 *1.6 *1.9 *1.9 *1.5	*1.4 *1.8 *1.9 *1.6 *1.1 *0.8 *0.7 *0.9 *1.2 *1.2 *1.3 *1.5 *1.8 *2.1 *2.4 *2.1 *0.9 *0.3 *0.2 *0.1 *0.0
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	4.8 5.0 +3.5 72.1 +1.0 +0.6 70.7 +0.8 +0.9 +0.9 +1.0 +1.0 +1.0 +1.3 +1.5/+2.0 +2.4 +2.3 +2.1	*1.8 *2.2 *2.3 *2/2 *1.8 *1.4 *0.9 *1.0 *1.5 \$\frac{1}{1}.6 *2.4 *2.7 *3.1 *2.6	2.5 *3.0 *2.7 *2.4 *1.7 *1.1 *1.0 *2.4 *5.1 *2.9 *1.6 *1.5 *1.6 *1.9 *1.8 *1.6 *0.5 *0.2 *0.1 *0.1 *0.0
**\begin{pmatrix} \begin{pmatrix} \\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	*\dagger* \dagger* \d	*3.1 *3.4 *3.0 *3.1 *2.5 *1.8 *1.2 *1.4 *1.4 *1.9 /*1.7 \*2.5 *2.8 *4.3 *****	4.3 <sup>4</sup> .3 <sup>1</sup> 2.9 <sup>1</sup> 2.6 <sup>1</sup> 1.9 <sup>1</sup> 1.1 <sup>1</sup> 4.0 <sup>1</sup> 1.3 <sup>1</sup> 4.7 <sup>1</sup> 1.7 <sup>1</sup> 1.2 <sup>1</sup> 1.3 <sup>1</sup> 1.4 <sup>1</sup> 1.5 <sup>1</sup> 1.4 <sup>1</sup> 0.3 <sup>1</sup> 0.1 <sup>1</sup> 0.1 <sup>1</sup> 0.2 <sup>1</sup> 0.0
**\begin{pmatrix} \begin{pmatrix} pmatr	28 27 27 22 1.2 06 0.6 0.8 1.0 1.1 1.2 1.3 1.4 1.6 1.9 25 3.0 4.7 18	1.7 +1.9 +1.7 +2.5 +2.9 +3.1 +2.6 +2.1 +1.7 +1.9 +1.7 +2.5 +2.8 +4.7 +4.7	*** **** **** **** **** ***** ***** ****
**\begin{array}{c c c c c c c c c c c c c c c c c c c	2.6 +2.5 /*2.6 +1.9 +1.0 /*0.5 +0.6 +1.0 +1.2 +1.4 +1.6 +1.7 +1.7 +1.8 /*1.9 +2.5 +3.1 +4.8 +4.9	5.0 +4.6 +3.0 / 3.1 +2.7 +2.3 +2.0 +2.3 +2.1 +2.5 +1.8 +2.6 +2.9 +4.2 +4.2	*4.1 *4.3 *3.0 *2.6 *2.0 *1.1 *0.8 *1.0 *1.3 *1.2 *0.9 *0.8 *0.8 *0.8 *0.8 *0.8 *0.8 *0.2 *0.1 *0.1 *0.1 *0.0
	1.9 *1.8 *1.9 *1.4 0.7 *0.5 *0.6 *1.0 *1.4 *1.7 *2.0 *2.5 *2.1 *2.4 *2.0 *2.8 *3.1 *3.8 *3.3 *0.0	*0.0 *0.0 *3.6 *3.8 *3.2/ *3.3 *2.9 \*2.4 *2.0 *2.3 *2.6 *3.3 *1.6 *2.5 *3.0 *3.3 *2.7 *0.0	*0.0 *2.6 *3.3 *3.1 *2.6 *1.8 *1.1 *0.8 *1.0 *1.3 *1.1 *0.8 *0.7 *0.7 *0.7 *0.7 *0.6 *0.1 *0.0 *0.1 *0.1 *0.0
*0.1 *0.1 *0.3 *0.7 *1.5 *2.4 *2.6 *4.0 *4.4 *0.5 *0.5 *0.4 *0.6 *3.5 *3.6 *2.9 *2.4 *1.8 *1.2 *0.7 *0.8 *1.1 *1.3	*1.2 *1.1 *1.2 *0.9 *0.5 *0.4 *0.6 *1.0 *1.3 *1.8 *2.3 *2.4 *2.8 *2.9 *1.7 *2.5 *2.9 *2.9 *2.4 *0.0	*0.0 *0.0 *2.5 *3.2 *3.1 *3.0 *2.6 *2.4 *2.1 *2.4 *3.0 *2.5 *2.7 *3.0 *2.8 *2.3 *0.0	*2.1 *2.7 *2.8 *2.4 *1.6 *1.2 *1.0 *2.2 *4.2 *2.4 *1.0 *0.6 *0.6 *0.5 *0.5 *0.4 *0.1 *0.0 *0.0 *0.0 *0.0
$m{H}$ $m{I}$ $m{I}$ $m{I}$ $m{I}$ $m{I}$ $m{I}$ $m{I}$ $m{I}$	^0.7/ ^0.7 ^0.7 ^0.6/ ^0.3 ^0.3 ^0.5 ^0.9 ^1.3 ^1.7 ^2.3 ^2.4 <del>^3.5</del> <del>3.7 ^2.4 ^2.8</del> <del>^3.1</del> ^2.9 ^2.4 ^0.0	*2.4 *3.0 *3.1 *3.0 *2.6 *2.5 *2.1 *2.4 *3.0 *3.1 *2.7 *3.0 *3.3 *3.5 *2.8 *0.0	**\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin{picture}(\begin\begin)\begin{picture}(\begin\begin\begin)\begin\begin\begin\begin\begin\begin\begin\b
↑0.1 ↑0.2 ↑0.3 ↑0.5 ↑0.9 ↑1.1 ↑1.2 ↑1.0 +18'-0" TYPICAL 15.0 ↑5.0 ↑4.1 ↑5.2 ↑7.5 ↑3.4 ↑1.3 ↑0.7 ↑0.8 ↑0.8 ↑0.8	†0.9 †0.8 †0.8 †0.4 †0.2 †0.3 †0.5 †0.9 †1.4 †1.8 †2.4 †2.5 <del>3.4 <u>*4.1 *2.6 *3.2</u> *3.3 *3.7 *3.1 *0.0</del>	*3.3 *3.6 *3.3 *3.4 *2.9 *2.5 *2.1 *2.3 *2.5 *3.2 *1.7 *2.5 *2.9 *4.4 *4.5	4.3 4.4 3.0 2.6 1.9 1.1 1.0 2.6 5.5 2.8 0.9 0.5 0.4 0.3 0.3 0.2 0.1 0.0 0.0 0.0
**O.1 **O.2 **O.2 **O.3 **O.4 **O.4 **O.4 **O.4 **O.4 **I.0 **I.1	71.1 *1.1 *0.9 70.2 *0.2 *0.3 *0.5 *0.9 *1.3 *1.8 *2.3 *2.4 *3.0 *3.3 *1.9 *2.5 *3.1 *4.7 **********************************	*4.9 *4.5 *3.0 *3.2 *2.8 *2.3 *2.0 *2.3 *2.1 *2.4 *1.7 *2.5 *2.8 *4.7 \[ \]	**A.8 **2.9 **2.5 **1.9 **1.0 **0.7   **1.0 **1.3 **1.0 **0.5 **0.4 **0.3 **0.3 **0.4 **0.5 **0.2 **0.1 **0.0 **0.0 **0.0
**\begin{pmatrix} \dagger{0.0} \dagger{0.1} \dagger{0.1} \dagger{0.1} \dagger{0.1} \dagger{0.2} \dagger{0.2} \dagger{0.2} \dagger{0.2} \dagger{0.2} \dagger{0.2} \dagger{0.2} \dagger{0.1} \dagger{0.1} \dagger{0.1} \dagger{0.1} \dagger{0.2}	*1.6 *1.5 *1.1/ *0.2 *0.3 *0.5 *0.9 *1.4 *1.8 *2.2 *2.5 *2.3 *2.5 *1.9 / 2.5 *3.1 *4.7 *4.9	5.0 +4.6 +3.0 +3.2 +2.8 +2.2 +1.8 +2.0 +1.8 +2.2 +1.8 +2.6 +2.8 +4.1 +4.1	*4.0 *4.1 *2.9 *2.6 *1.9 *1.0 *0.6 *0.6 *0.6 *0.5 *0.4 *0.3 *0.3 *0.5 1.9 \( \infty \) 8.8 *0.9 *0.1 \( \bar{1} \) *0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.1 ↑0.1 ↑0.1 ↑0.1 ↑0.1 ↑0.1 ↑0.1	*2.2 *1 7 *1.0 *0.3 *0.2 *0.3 *0.5 *1.0 *1.4 *1.6 *2.0 *2.2 *2.0 *2.1 *2.0 *2.6 *2.9 *3.6 *3.2	*3.4 *3.6 *3.1 *3.3 *2.7 *2.0 *1.4 *1.5 *1.6 *1.9 \*1.5/*2.2 *2.6 *2.9 *2.4	*2.3 *2.9 *2.6 *2.3 *1.6 *1.0 *0.6 **0.7 *0.5 *0.4 *0.3 *0.4 *0.6 **0.0 **0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.0 ↑0.1 ↑0.1 ↑0.1 ↑0.0 ↑0.0 ↑0.0	*2.5 *21 /*0.9 *0.4 *0.3 *0.4 *0.5 *0.9 *1.2 *1.5 *1.7 *1.8 *1.9 *1.7 *1.4 *2.0 *2.3 *2.4 *2.0	*2.1 *2.5 *2.6 *2.5 *2.1 *1.8 *1.2 *1.2 *1.3 *1.5 *1.0 *1.4 *1.8 *1.7 1.4	1.3 *1.7 *1.8 *1.5 *1.1 *0.8 *0.8 *1.3 *2.1 *1.3 *0.6 *0.4 *1.0 *1.5 *1.5 *1.0 *0.0 *0.0 *0.0
**\begin{pmatrix} \dagger{0.0}	\$\frac{1.5}{2.7} \frac{1}{1.0} \frac{1}{0.4} \frac{1}{0.3} \frac{1}{0.5} \frac{1}{0.8} \frac{1}{1.1} \frac{1}{1.2} \frac{1}{1.4} \frac{1}{1.5} \frac{1}{1.7} \frac{1}{1.3} \frac{1}{0.9} \frac{1}{1.4} \frac{1}{1.7} \frac{1}{1.6} \frac{1}{1.1}	*1.3 *1.7 *2.0 *1.8/*1.6 *1.1 *1.2 *1.3 *1.3 *0.8 *1.3 *1.7 *1.7 *1.7 *1.4 **********************************	1.3 1.7 1.7 1.4 1.0 0.8 1.0 3.3 18.5 3.6 0.9 0.4 1.0 5.2 0.0 0.0 0.0 0.0 0.0
	3.1 1.0 10.5 10.4 10.3 10.5 10.8 1.0 1.2 1.4 1.4 1.7 1.3 1.0 1.6 1.9 1.9 1.6	*0.8 *1.6 *1.9 *2.1 *2.0 \ *1.7 *1.6 *1.2 *1.2 *1.3 *1.3 *1.1 *1.9 *2.3 *2.7 *2.5 *2.5	0.0 2.3 2.7 2.3 2.0 1.3 0.9 1.1 3.6 9.1 4.0 1.0 0.4 0.5 0.9 0.0 0.0 0.0 0.0 0.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*3.4 * <del>2.7 *0.6 *0.4 *0.3</del> *0.3 *0.4 *0.7 *1.0 *1.2 *1.4 *1.4 *1.7 *1.4 *1.4 *2.3 *2.6 *3.0 *2.8	*\frac{1.9}{2.8} \frac{1}{2.9} \frac{1.8}{2.8} \frac{1.2}{2.0} \frac{1.6}{1.6} \frac{1.1}{1.2} \frac{1.3}{1.3} \frac{1.3}{1.3} \frac{1.3}{2.3} \frac{1.2.5}{2.5} \frac{1.6}{3.6} \frac{4.0}{4.0}	\$\frac{1}{0.0}\$ \$\frac{1}{3.8}\$ \$\frac{1}{3.7}\$ \$\frac{1}{2.6}\$ \$\frac{1}{2.5}\$ \$\frac{1}{1.6}\$ \$\frac{1}{0.9}\$ \$\frac{1}{1.8}\$ \$\frac{1}{2.8}\$ \$\frac{1}{1.8}\$ \$\frac{1}{0.7}\$ \$\frac{1}{0.4}\$ \$\frac{1}{0.9}\$ \$\frac{1}{2.5}\$ \$\frac{1}{0.0}\$ \$\frac{1}{0.0}
**\begin{pmatrix} \dagger{0.0}	*2.5	*4.4 *3.6 *2.8 *2.8 *2.0 *1.5 *1.2 *1.2 *1.3 *1.2 *2.2 *2.4 *3.9	5.0 <sup>4</sup> .2 <sup>4</sup> 2.4 <sup>4</sup> 2.3 <sup>4</sup> 1.4 <sup>4</sup> 0.8 <sup>4</sup> 0.8 <sup>4</sup> 1.8 <sup>4</sup> 3.0 <sup>4</sup> 1.9 <sup>4</sup> 0.7 <sup>4</sup> 0.4 <sup>4</sup> 1.2 <sup>7</sup> 7.3 <sup>4</sup> 0.0 <sup>4</sup> 0.0 <sup>4</sup> 0.0 <sup>4</sup> 0.0 <sup>4</sup> 0.0
**\begin{pmatrix} \begin{pmatrix} \dot 0.0 & \dot 0.0 \d	1.6 1.9 1.4 1.3 12.3 12.4 14.3 14.3 15.4 1.6 1.9 1.4 1.3 12.3 12.4 14.3 14.3 14.3 14.3 14.3 14.3 14.3 14	4.8 +3.8 +2.7 +2.8 +2.1 +1.7 +1.4 +1.5 +1.6 +1.5 +1.2 +2.1 +2.4 +3.8 +4.4	*4.5 *4.0 *2.4 *2.3 *1.4 *0.8 *1.0 *3.6 *9.7 *4.0 *1.0 *0.4 *0.6 *1.5 *0.0 *0.0 *0.0 *0.0
**O.0 **O.1 **1.2 **2.0 **S.0 **6.1 **5.7 **2.1 **O.9 **O.8 **O.9 **1.1 **1.3 **1.5 **1.8	*1.0 *0.2 *0.4 *0.9 *1.3 *1.6 *1.8 *1.9 *2.0 *1.6 *1.4 *2.3 *2.5 *3.7 *3.9 *0.0 *0.0	**\begin{picture}(100,0) \psi_0.0                                                                                                                                                                                                                                                                                                                                                \q	↑0.0 ↑0.1 ↑2.9 ↑3.0 ↑2.6 ↑2.2 ↑1.4 ↑0.8 ↑1.0 ↑3.3 ↑8.0 ↑3.7 ↑0.9 ↑0.4 ↑0.7 ↑1.5 ↑0.0 ↑0.0 ↑0.0 ↑0.0
**O.O			+0.3 × 0.3 *1.6 *1.8 *1.7 *1.4 *0.9 *0.7 *0.8 *1.6 *2.5 *1.7 *0.7 *0.4 1.2 O
**O,D **O.O	*0.1 *0.4 *0.9 *1.3 *1.7 *2.3 *2.9 *2.5 *0.6 *1.0 *1.3 *1.3 *1.2 *0.3 *0.5 *0.7	**O.1 *0.6 *0.5 *0.8 *1.2 *1.5 *1.6 *1.7 *1.8 *2.0 *2.2 *2.3 *2.6 *2.5 *1.0 *0.8 *1.0 *0.9 *0.8 *0.4 *0.7 *1.7 3.1 4.9	
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*0.1 *0.3 *0.9 *1.3 *1.7 *2.3 *2.5 *3.4 *3.1 *1.2 *0.9 *0.8 *0.6 *0.4 *1.1 *2.2 *3.	7 <sup>4</sup> .9 <sup>4</sup> .7 <sup>4</sup> 3.2 <sup>4</sup> 1.9 <sup>4</sup> 1.0 <sup>4</sup> 0.6 <sup>4</sup> 0.7 <sup>4</sup> 0.8 <sup>4</sup> 1.0 <sup>4</sup> 1.2 <sup>4</sup> 1.6 <sup>4</sup> 1.9 <sup>4</sup> 2.2 <sup>4</sup> 2.4 <sup>4</sup> 3.1 <sup>4</sup> 3.2 <sup>4</sup> 1.1 <sup>4</sup> 0.7 <sup>4</sup> 0.6 <sup>4</sup> 0.5 <sup>4</sup> 0.4 <sup>4</sup> 0.9 <sup>4</sup> 2.0 <sup>4</sup> 3.4 <sup>4</sup> 4.5	9 *5.1 *4.5 *5.4 *1.9 *1.1 *0.7 *0.6 *0.5 *0.4 *0.4 *0.4 *0.9 *5.7 *10.5 *4.2 *0.9 *0.4 *0.5 *0.8 *0.0 *0.0 *0.0 *0.0
10,0 10,0 10.0 10.0 10.0 10.0 10.0 10.0	*0.1 *0.3 *0.8 *1.3 *1.7 *2.3 *2.5 *3.5 *3.1 *1.2 *0.8 *0.9 *0.9 *0.7 *0.7 *1.3 *2.6 *3.	7 *4.1 *4.0 *3.4 *2.4 *1.3 *0.7 *0.6 *0.8 *1.1 *1.4 *1.7 *1.9 *2.2 *2.5 *3.2 *1.2 *0.7 *0.6 *0.6 *0.7 *1.0 *1.6 *2.7 *3.8 *4.0	0 *4.7 5.6 *5.1 *3.6 *2.2 *1.6 *1.4 *1.0 *0.8 *0.7 *0.7 *0.9 *2.9 *6.6 *3.1 *0.8 *0.4 *1.1 *4.9 *0.0 *0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*0.1 *0.3 *0.8 *1.2 *1.7 *2.2 *2.3 *2.9 *2.5 *1.0 *1.1 *1.9 *2.6 *1.7 *1.0 *1.6 *3.2 *4.1	6 *3.9 *3.3 *4.0 *3.8 *2.1 *1.0 *0.9 *1.6 *2.7 *2.5 *1.9 *1.9 *2.2 *2.4 *2.7 *2.6 *0.9 *0.7 *0.7 *0.7 *0.9 *1.1 *1.6 *2.7 *3.9 *4.1	1 4.5 *5.1 *4.5 *3.3 *2.4 *1.9 *1.6 *1.2 *1.0 *0.9 *0.7 *0.7 *1.1 *1.6 *1.1 *0.5 *0.3 *1.0 *4.9 *0.0 *0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*0.1 0.4 *0.8 *1.3 *1.6 *2.0 *2.5 *2.2 *1.7 *0.9 *1.4 *4.9 *9.7 *4.1 *1.3 *1.7 *5.1 *11	1.5 *6.8 *4.0 *6.7 #10.6 *4.3 *1.3 *1.3 *3.9 #9.8 *5.4 *2.3 *1.9 *2.1 *2.4 *2.2 *1.8 *0.8 *0.5 *0.7 *0.7 *0.8 *1.0 *1.3 *2.2 *3.1 *3.5	5 *3.6 *3.9 *3.4 *2.8 *2.4 *2.1 *1.6 *1.1 *0.9 *0.8 *0.6 *0.5 *0.5 *0.5 *0.5 *0.0 *0.3 *0.2 *0.5 *0.8 *0.6 *0.0 *0.0 *0.0
**O.0	1.0 10.7 1.5 10.4 10.3 10.3 10.5 10.9 1.2 1.4 1.7 1.9 1.8 1.2 106 1.1 3.8 16.7 3.2 1.2 1.4 3.8 18	1 49 *28 *4.9 *7.6 *3.5 *1.2 *1.2 *3.3 *7.3 *4.5 *2.1 *1.7 *1.8 *2.0 *1.8 *1.3 *1.5 *1.5 *1.6 *0.6 *0.6 *0.7 *0.9 *1.1 *1.6 *2.1 *2.4	\$ <sup>+</sup> 2.5 <sup>+</sup> 2.6 <sup>+</sup> 2.5   <sup>+</sup> 2.3 <sup>+</sup> 2.1 <sup>+</sup> 1.7 <sup>+</sup> 1.4   <sup>+</sup> 1.0   <sup>+</sup> 0.8   <sup>+</sup> 0.7   <sup>+</sup> 0.6   <sup>+</sup> 0.5   <sup>+</sup> 0.4   <sup>+</sup> 0.3   <sup>+</sup> 0.2   <sup>+</sup> 0.2   <sup>+</sup> 0.2   <sup>+</sup> 0.2   <sup>+</sup> 0.2   <sup>+</sup> 0.0   <sup></sup>
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*1.9 *1.7 *1.3 *1.0 *0.8 *0.7 *0.7 *0.9 *1.1 *1.2 *1.3 *1.4 *1.6 *0.9 *0.4 *0.6 *1.2 *1.5 *1.1 *0.7 *0.8 *1.4 *1.6	9 1.5 1.2 1.6 1.8 1.2 0.7 0.7 1.2 1.8 1.7 1.4 1.3 1.4 1.5 1.6 1.1 0.4 0.4 0.5 0.5 0.6 0.7 0.9 1.2/1.5 1.5 1.7	7 *1.7 *1.8 *1.8 *1.7 *1.6 *1.4 *1.1 *0.8 *0.7 *0.6 *0.5 *0.4 *0.3 *0.2 *0.2 *0.2 *0.2 *0.2 *1.1 *0.0 *0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*2.4 *1.7 *1.3 *1.0 *0.8 *0.7 *0.7 *0.8 *0.9 *0.9 *1.1 *1.1 *1.2 *0.7 *0.3 *0.3 *0.5 *0.5 *0.5 *0.4 *0.3 *0.3 *0.4 *0.4 *0.4 *0.4 *0.4 *0.4 *0.4 *0.4	4 *0.4 *0.6 *0.6 *0.4 *0.3 *0.3 *0.3 *0.5 *0.6 *0.8 *0.9 *0.9 *1.0 *1.1 *1.2 *0.8 *0.3 *0.3 *0.4 *0.5 *0.5 *0.6 *0.7 *0.9 *1,1 *1.2	2 1.2 1.2 1.2 1.2 1.2 1.2 1.2 1.2 1.0 0.8 0.6 0.6 0.5 0.4 0.3 0.3 0.2 0.2 0.2 0.5 1.4
*\frac{1}{0.0} \big  0.0 \	*2.1 *1.7 *1.3 *1.1 *0.9 *0.8 *0.7 *0.7 *0.8 *0.9 *1.2 *1.3 *1.2 *0.8 *0.6 *0.5 *0.5 *0.7 *0.5 *0.4 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6 *0.6	<u>4 *0.6 *0.7 *0.4 *0.2 *0.3 *0.4 *0.4 *0.4 *0.6 *0.7 *0.8 *1.0 *1.0 *1.1 *1.2 *0.7 *0.4 *0.4 *0.5 *0.5 *0.5 *0.5 *0.5 *0.6 *0.</u> 7 *0.7	· *0.7 *0.7 *0.7 *0.8 *0.9 *1.1 *0.9 *0.8 *0.8 *0.6 *0.7 *0.6 *0.5 *0.6 *0.5 *0.6 *0.5 *0.6 *0.4 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*2.0 *1.6 *1.5 *1.5 *1.4 *1.0 *0.8 *0.7 *0.8 *1.0 3.4 \(\sigma 5.1 \) *1.6 *2.1 \(\sigma \) *1.4 *1.4 \(\sigma \) *2.0 *0.9 \(\sigma \) *3.2 *0.9	9 <u>32</u> Q+4.1 +0.7 +0.2 +0.6 Q +1.1 +1.1Q +1.1 126 Q2.9 +1.3 22Q+2.7 +1.0 Q +1.6 +0.8 Q +1.2 +0.5 +0.3 +0.3 +0.3	**O.2 *O.2 *O.3 *O.4 *O.6 *1.8 *Q *2.0 3*2 *Q 4.4 *1.5 *Q *2.8 *1.9 *Q *1.8 3*0 *Q 4.2 *0.7 *O.1 *O.0 *O.0 *O.0 *O.0 *O.0 *O.0 *O.0 *O.0
↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0 ↑0.0	*2.4 1.7 *2.1 *4.1 *1.8 *0.8 *0.6 *0.1	↑0.0 ↑1.8 ↑0.5 ↑0.2 ↑0.1 ↑0.1	**O.1 *O.1 *O.4 **J.7 **O.0 *O.0 *O.0 *O.0 *O.0 *O.0 *O.0 *O.
*0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	2.7 1.6 2.7 8.7 9.4 2.6 0.9 0.5 0.4 0.1	→0.0 →0.9/ →0.1 →0.1 →0.1 →0.1 →0.1 →0.1 →0.1 →0.1	*0.1 *0.1 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0
<sup>↑</sup> 0.0 <sup>↑</sup> 0.1 <sup>↑</sup> 0.1 <sup>↑</sup> 0.1 <sup>↑</sup> 0.1 <sup>↑</sup> 0.2 <sup>↑</sup> 0.2 <sup>↑</sup> 0.3 <sup>↑</sup> 0.4 <sup>↑</sup> 0.4 <sup>↑</sup> 0.5 <sup>↑</sup> 0.8 <sup>↑</sup> 1.7 <sup>↑</sup> 3.9 <sup>↑</sup> 3.4	*1.5 1.0 1.6 3.5 3.6 1.5 0.6 0.4 0.2 0.1	↑0.0 ↑1.7 <u>↑0.5 ↑0.1 ↑0.1 ↑0.6</u>	<u>→ • • • • • • • • • • • • • • • • • • •</u>
*\(\text{0.} \tau_{0.0} \tau_{0.0	*0.6 *0.5 *0.6 *0.8 *0.8 *0.5 *0.3 *0.2 *0.1 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0	, *o.o *o.o *o.o *o., *o., *o.o *o.o *o.
*0,0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	*0.2 *0.2 *0.2 *0.2 *0.2 *0.2 *0.1 *0.1 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	o *o.o *o.o *o.o *o.o *o.o *o.o *o.o *o	, *o.o *o.o *o.o *o∕o *o.1 *o.o *o.o *o.o *o.o *o.o *o.o *o.
**O.O	*0.1 *0.1 *0.1 *0.1 *0.1 *0.1 *0.1 *0.1	0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0
*0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0	*** to.0 ***** to.0 ************************************	0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0	, *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.0 *0.

1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'-0"
NORTH

Schedule - (	For Reference	e Only)								
Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Filename	Wattage
	G1	Lithonia Lighting	LIL LED 30K MVOLT PE DDBTXD	LIL Wallpack (Standard)	LED	1	833	1	LIL_LED_30K_MVOLT_PE_DDBT XD.ies	8.36
•-	P1	Lithonia Lighting	KAD LED 30C 1000 30K R3 MVOLT HS	KAD LED, 30 LED, 1 AMP MVOLT DRIVER, 3000K, TYPE 3 OPTICS WITH HOUSE SIDE SHIELDS.	LED	1	8524	1	KAD_LED_30C_1000_30K_R3_ MVOLT_HS.ies	108
Ю	S1	Lithonia Lighting	DMW2 3000LM WD PFL MVOLT 30K 80CRI	DMW2 L24 3000LM WD PFL MVOLT GZ1 30K 80CRI (GLEDS)	LED	1	2628	1	DMW2_3000LM_WD_PFL_MVOL T_30K_80CRI.ies	27.85
Ю	W1	Lithonia Lighting	KAXW LED P2 30K R4 MVOLT EGS	KAXW LED, PERFORMANCE PACKAGE 2, 3000K, TYPE 4, 120- 277V, HOUSE-SIDE SHIELD	LED	1	5661	1	KAXW_LED_P2_30K_R4_MVOLT _EGS.ies	49

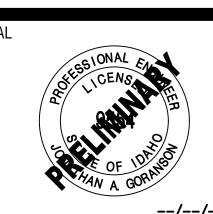
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	11.5 fc	0.0 fc	N/A	N/A



- VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVEL AT GRADE IN FOOT—CANDLES.
- 2. LUMINAIRE SCHEDULE PROVIDED ON THIS SHEET IS FOR REFERENCE PURPOSES ONLY. FOR DETAILED INFORMATION SUCH AS MANUFACTURER AND PART NUMBER, REFER TO THE LUMINAIRE SCHEDULE ON SHEET Ex.xx.



PROJECT



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REVISIONS

SITE PHOTOMETRIC PLAN

DC ENGINEERING Careful listening. Dynamic solutions. www.dcengineering.net
208.288.2181 Project:18TAO04







### Contractor Select™ LIL LED Wall Mount Lighting

The Lithonia Lighting® LIL wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

#### FEATURES:

- Replaces up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution, Photocell and battery pack options available
- Back box accessory available for conduit wiring





)us Ed	5 R warranty	NIGHTTIME FRIENDLY	

UPC	Description	Replaces Up To	Lumens	Wattage	сст	Voltage	Finish	Pallet qty.
191848072998	WALL PACKS	100W INCANDESCENT/32W COMPACT FLUORESCENT	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
191848073025	WALL PACKS	100W INCANDESCENT/32W COMPACT FLUORESCENT	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
191848072981	WALL PACKS	100W INCANDESCENT/32W COMPACT FLUORESCENT	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
191848073032	WALL PACKS	100W INCANDESCENT/32W COMPACT FLUORESCENT	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
191848073971	BACK BOX, CONDUIT	N/A	N/A	N/A	N/A	N/A	TEXTURED DARK BRONZE	60
	191848072998 191848073025 191848072981 191848073032	191848072998 WALL PACKS  191848073025 WALL PACKS  191848072981 WALL PACKS  191848073032 WALL PACKS  191848073031 BACK BOX,	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT           191848073071         BACK BOX,         N/A	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800           191848073073         BACK BOX, DAG THUORESCENT         800	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K           19184807307371         BACK BOX,         N/A         N/A         N/A         N/A         N/A	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K         120-277V           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K         120-277V           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K         120-277V           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K         120-277V           19184807307371         BACK BOX,         N/A         N/A         N/A         N/A         N/A         N/A	191848072998         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K         120-277V         TEXTURED DARK BRONZE           191848073025         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         3000K         120-277V         TEXTURED DARK BRONZE           191848072981         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K         120-277V         TEXTURED DARK BRONZE           191848073032         WALL PACKS         100W INCANDESCENT/32W COMPACT FLUORESCENT         800         8W         4000K         120-277V         TEXTURED DARK BRONZE           19184807307271         BACK BOX,         N/A         N/A         N/A         N/A         N/A         TEXTURED DARK BRONZE

\*PE and EL options can't be ordered together. \*\*BB option is not available with EL option.

Accessories: Order as separate catalog number. \*\*\*LIL LED BB DDBTXD Back box for conduit entry applications, dark bronze - CI Code \*249WXH

CONTRACTOR SELECT LIL LED

Page 1 of 2

### LITHONIA LIGHTING® Catalog Number

### FEATURES & SPECIFICATIONS

INTENDED USE —For areas that require good vertical illumination and excellent glare control at low mounting heights. Ideal for open areas, retail spaces and aisles. **Certain airborne contaminants can** diminish the integrity of acrylic and/or polycarbonate. <u>Click here for Acrylic-Polycarbonate</u> Compatibility table for suitable uses. **CONSTRUCTION** — One-piece 5VA rated fiberglass housing with integral perimeter channel utilizes

continuous poured-in-place NEMA 4X gasket. Simple two-piece design consists of housing and optical becoming a hindrance during install. **OPTICS** — Injection-molded, acrylic lens (.080" thick), provides high impact-resistance comparable to 100% DR. F1 rated for outdoor use, lenses resist breaking, yellowing or becoming brittle over time. UV stabilized polycarbonate diffuser available (.080" thick) in clear or frosted for additional impact strength Polycarbonate lens is recommend for lower mounting heights where vandal protection is desired.

**ELECTRICAL** — Tool-less one piece optical assembly combines LEDs and lens into one component. Optical assembly easily connects to housing with plug and play harness, eliminating time consuming wiring connections. High-efficiency drivers operate 120-480V offered with 0-10V dimming, allowing granular control when coupled with wireless networking controls. Integral surge protection tested in accordance with IEEE/ANSI C62.41.2 to commercial indoor standards 2.5kV/2kA. L85 at 60,000 hours.

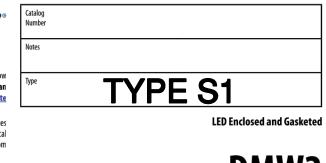
 $\textbf{INSTALLATION} \ -- \ \textbf{Two-piece design makes installations faster than ever by simplifying wiring}$ connections. Power connection is easily accommodated through pre-drilled holes at each end, optional wet location fittings available for maximum flexibility. Stainless steel (#316) surface spring-mounting brackets with bail wires standard (2 included) allow for ceiling, wall or suspended mount.

Swivel stem(provided by others) when pendant mounting. Factory installed junction box option accommodates up to 4X4 sized boxes and includes integrated gasket to maintain wet location listings. Quick Mount Bracket (QMB) ships installed on fixture and is recommended for fastest surface mount installs, ideal for end to end installations or larger jobs. 

without covered ceilings. NEMA 4X rated. IPratings: IP65 and IP66 rated. 1500 PSI hose-down. See page NSF listed for Splash Zone II. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified.

Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions WARRANTY — 5-year limited warranty. Complete warranty terms located at:

www.acuitybrands.com/CustomerResources/Terms\_and\_conditions.aspx Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25  $^{\circ}\text{C}.$ Specifications subject to change without notice.







	** Capable Luminaire
	This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.
I	All configurations of this luminaire meet the Acuity Brands' specification for

chromatic consistency This luminaire is part of an A+ Certified solution for nLight® or XPoint™ Wireless control networks marked by a shaded background\* To learn more about A+, visit www.acuitybrands.com/aplus. \*See ordering tree for details

IMENSIONS	I		1
ldimensions are shown in inches (centimeters) less otherwise noted.	Ro	24.0 (60.96)	
5.88			
	3.74 (9.50)		

#### **PHOTOMETRICS** Please see <u>www.lithonia.com</u>.

INDUSTRIAL LITHONIA-DMW2-LINEAR-SURFACE-LED-ENCLOSED AND GASKETED



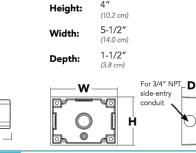
Height:

Depth:

**Weight:** 17 lbs (7.7 kg)



**Specifications** Luminaire **Optional Back Box (BBW)** 



# TYPE G2

Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WSR LED is ideal for replacing existing 50 – 250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Info	SR3 MV	OLT DDBTX						
VSR LED								
Series Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options		Finish (regi	sired)
WSR LED P1 P2 P3 P4	30K 40K 50K	SR2 Type II SR3 Type III SR4 Type IV	MVOLT <sup>1</sup> 120 208 240 277 347 480	Shipped included (blank) Surface mount Shipped separately <sup>2</sup> BBW Surface-mounted back bακ	PE SF DF DMG E20WC E10WH WLU PIR DS SPD	installed  Photoelectric cell, button type <sup>2</sup> Single fuse (120, 277, 347V) <sup>3</sup> Double fuse (208, 240, 480V) <sup>3</sup> External 0-10V leads  Emergency battery backup, CEC compliant (18W, -20°C) <sup>4</sup> Emergency battery backup, CEC compliant (10W, 5°C) <sup>4</sup> Wet location door for up orientation <sup>5</sup> Motion/ambient light sensor <sup>6</sup> Dual switching <sup>7</sup> Separate Surge Protection <sup>8</sup> separately Vandal guard Wire guard	DDBXD DBLXD DNAXD DWHXD DSSXD DDBTXD DBLBXD DNATXD DWHGXD DSSTXD	Dark bronze Black Natural aluminum White Sandstone Textured dark bronze Textured black Textured natural aluminum Textured white Textured sandstone

design provides reliable emergency operation while maintaining the aesthetics of the product. All E20WC and E10WH configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package Type IV product in WSR P1 LED 40K SR4 MVOLT E20W 10' x 10' Gridlines

**KAXW** 

Not available with 480V option.

Single fuse (SF) requires 120V, 277V or 347V options.

Double fuse (DF) requires 208V, 240V or 480V options, Not available with 347V or 480V. Not available with WLU. WLU not available with PIR or ELCW. WLU not available with PIR or ELCW.

See PIR Table for default settings.

Only available with P3 & P4 packages. Provides 50/50 luminaire operation via two independent drivers and light engines on two separate circuits. Not available with ELCW, WLU, SF, or DF. When ordered with photocell (PE) or motion sensor (PIR), only the primary power source leads will be controlled. See electrical section on page 2 for more details.



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Rev. 07/12/18

### **4** Capable Luminaire

designed and tested to provide consistent color appearance and system-level interoperability.

 All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

• This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for

luminaire to photocontrol interoperability1 • This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

### A+ Capable options indicated by this color background.

Weight (max):

Orderi	ng Inforn	nation						E	XAMPLE: KAX	(W LI	ED P3 40K F	R3 MVO	LT DDB
(AXW LED													
eries	Performance package	Color temperati	ure	Distri	bution	Voltage	Mounting	Control optic	ons	Other	options	Finish (regs	uired)
KAXW LED	P1	<b>30K</b> 3	000 K	R3	Type 3	MVOLT 1	Shipped included	Shipped ins	stalled	Shipp	oed installed	DDBXD	Dark bronze
	P2 P3		000 K 000 K	R4	Туре 4	120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 ² 480 ²	(blank) Surface mounting bracket	PERS PER7 PIR FAO PIRH6 PIR1FC3V6 PIRH1FC3V6	NEMA twist-lock receptacle only (controls ordered separate) <sup>3,4</sup> Five-wire receptacle only (controls ordered separate) <sup>4,5</sup> Seven-wire receptacle only (controls ordered separate) <sup>4,5</sup> Seven-wire receptacle only (controls ordered separate) <sup>4,5</sup> Seven-wire receptacle only (controls ordered separate) <sup>4,5</sup> Field adjustable output <sup>7</sup>	SF DF HS LCE RCE Shipp BSW EGS	Single fuse (120, 277 or 347V)8 Double fuse (208, 240 or 480V)9 House-side shield 10 Left Conduit Entry 11 Entry 11 Entry 11 Doed separately Bird-deterrent spilkes 10 External glare shield 10	DBLXD DNAXD  DWHXD DSSXD DDBTXD  DBLBXD DNATXD  DWHGXD DSSTXD	Black Natural aluminum White Sandstone Textured dark bronze Textured black Textured natura aluminum Textured white Textured sandstone

3	Not available with ROAM®. See PER5 or PER7 option.
4	Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See Accessories information.
5	If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
6	Specifies the Sensor Switch MSOD-7-ODP control; see Outdoor Control Technical Guide for details. Dimming driver standard. Not available with PER5 or PER7. Must specify 120V or 277V. Requires PER or separate on/

Not available in the P1 performance package.

7 Not available with PER5 or PER7 options. Must specify 120, 277, or 347V option.
 Must specify 208, 240, or 480V option. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). 10 Also available as a separate accessory; see Accessories information. 11 Requires a contractor supplied ½' EMT raintight fitting.
12 Requires luminaire to be specified with PER, PER5 or PER7 option.

Ordered and abiting descriptions in the form April 12 Provide Contractors. tem from Acuity Brands shipped as a separate

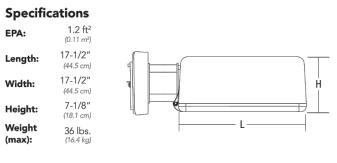
Accessories DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) 1 DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) 12 DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) 12 DSHORT SBK U Shorting cap KAXWHS U House-side shield KAXWBSW U Bird-deterrent spikes KAXWEGS U External glare shield

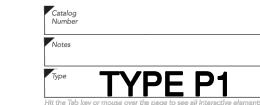


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### **4** Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

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- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL
- equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1 • This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and
- control options marked by a shaded background<sup>1</sup> To learn more about A+,
- visit <u>www.acuitybrands.com/aplus</u>. See ordering tree for details.
- 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

Ordering Information **EXAMPLE:** KAD LED 40C 1000 40K R5 MVOLT SPD04 DDBXD KAD LED | 20C1 20 LEDs | 530 530 mA1 | 30K 3000 K | R2 Type II | MVOLT 2772 | Shipped included 30C 1 30 LEDs 700 700 mA 40K 4000 K R3 Type III 120 2 347 1 SPUMBAK Square pole universal mounting adaptor 4 04 4" arm DAD12P Degree arm 40C 40 LEDs | 1000 1000 mA | 50K 5000 K | R4 Type IV | 208 2 480 1 RPUMBAK\_\_\_ Round pole universal mounting adaptor 4 06 6" arm 09 9" arm 3 DAD12WB Degree arm (wall) SPD\_\_\_ Square pole
RPD\_\_ Round pole 60C 60 LEDs R5 Type V 240 <sup>2</sup> 12 12" arm 3 KMA Mast arm WBD\_\_\_ Wall bracket

				I	- 1							
									Finish (re			
Shipp	ed installed						Ship	ped separately 11	DDBXD	Dark bronze	DDBTXD	Textured dark
PER5	NEMA twist-lock five- (no controls) 5	wire receptacle only	PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient	PNMTDD3	Part night, dim till dawn <sup>7,10</sup>	WG	Wire guard	DBLXD DNAXD	Black Natural	DBLBXD	bronze Textured black
PER7	Seven-wire receptacle	only (no controls) 5		sensor enabled at 1fc <sup>6,7</sup> V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>6,7</sup>	PNMT5D3	Part night, dim 5				aluminum	DNATXD	Textured natura
SF	Single fuse (120, 277,	347V) <sup>2</sup>	PIRH1FC3\			hrs <sup>7,10</sup>			DWHXD	) White	DWHGXD	aluminum Textured white
DF	Double fuse (208, 240	, 480V) <sup>2</sup>			PNMT6D3	Part night, dim 6 hrs <sup>7,10</sup>						
PIR	Bi-level, motion/ambi height, ambient senso	ent sensor, 8–15' mounti r enabled at 5fc <sup>6,7</sup>	ng BL30	Bi-level switched dimming, 30% <sup>7,8,9</sup>	PNMT7D3	Part night, dim 7 hrs <sup>7,10</sup>						
PIRH	Bi-level, motion/ambi	ent sensor, 15–30' moun	ting BL50	Bi-level switched dimming, 50% <sup>7,8,9</sup>	HS	Houseside shield 11						

WWD\_\_\_ Wood pole or wall



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Rev. 02/07/17

### **A LITHONIA LIGHTING**

#### FEATURES & SPECIFICATIONS $INTENDED\, USE - These specifications are for USA standards only. Check with factory for Canadian and Canadian are for USA standards on the Canadian and Canadian are for USA standards on the USA standards on the USA standards on the USA standards on the USA s$ **specifications.** Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights.

This pole provides a robust yet cost effective option for mounting area lights and floodlights. **CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-guality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal highfrequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6". Pole Top: A flush non-metalic black top cap is provided for all poles that will receive drilling patterns for

side-mount luminaire arm assemblies or when ordered with PT option. Handhole: A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware The handhole has a nominal dimension of 2.5" x 5".

Base Cover: A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request. Anchor Base/ Bolts: Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors

HARDWARE - All structural fasteners are high-strength galvanized carbon steel. All non-structural $fasteners \ are \ galvanized \ or \ zinc-plated \ carbon \ steel \ or \ stainless \ steel.$ FINISH — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but

**NOTE**: Actual performance may differ as a result of end-user environment and application.

and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms and conditions.aspx

Specifications subject to change without notice.

**POLE Anchor Base Poles** 

SQUARE STRAIGHT STEEL

SSS

POLE-SSS

499 MAIN STREET (208) 343-2931 BOISE, IDAHO 83702 TAOIDAHO.COM

PROJECT

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REVISIONS

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