

DESIGN REVIEW	
Permit info: _____	DSRFY 2019-1
Application Date: _____	11/26/18      Rec'd by: MK
FOR OFFICE USE ONLY	

6015 Glenwood Street ▪ Garden City, ID 83714 ▪ 208.472.2921

▪ [www.gardencityidaho.org](http://www.gardencityidaho.org) ▪ [planning@gardencityidaho.org](mailto:planning@gardencityidaho.org)

APPLICANT	PROPERTY OWNER
<b>Name:</b> David Ruby, AIA	<b>Name:</b> Keith Heron
<b>Company:</b> The Architects Office, PLLC	<b>Company:</b> KW River Pointe Premier, LLC
<b>Address:</b> 499 Main Street	<b>Address:</b> 151 S. El Camino Dr.
<b>City:</b> Boise	<b>City:</b> Beverly Hills
<b>State:</b> Idaho <b>Zip:</b> 83702	<b>State:</b> CA <b>Zip:</b> 90212
<b>Tel.:</b> 208-639-6406	<b>Tel.:</b> 805-586-4218
<b>E-mail:</b> david@taoidaho.com	<b>E-mail:</b> kherren@kennedywilsom.com

**PROPERTY AND DESIGN INFORMATION**

This application is a request to:     Construct New     Addition     Subdivision

<b>Site Address:</b> 6265 Strawberry Glenn		
<b>Subdivision Name:</b> Strawberry Glenn Sub	<b>Lot:</b> Parcel 5455 Lot 21	<b>Block:</b>
<b>Tax Parcel Number:</b> R8191505455	<b>Zoning:</b> R-3	<b>Total Acres:</b> 5
<b>Proposed Use:</b> Multi-Family Apartment Community	<b>Floodplain:</b>	<b>Yes</b> <b>No</b> x

**OBJECTIVES 8-4C**

1. How does the design of the structure advance an urban form through its relationship to the street, the pedestrian and adjacent properties?
2. How does the design maximize the opportunities for safe and comfortable pedestrian accessibility and minimize the effects of parking and vehicular circulation?
3. What are the building materials?
4. What are the existing notable site features and how does the design respect them?
5. Is the building consistent with the adopted streetscape?

**Bike and Pedestrian:** How have bike and pedestrian circulation been arranged with respect to adjacent facilities, internal circulation, and potential vehicular conflicts? Is there sidewalk? How far away are the nearest transit facilities and is there safe and comfortable access to the facilities?

**Parking and parking lot standards:** Is there a tree provided for every 5 parking stalls? Is there bike parking provided? Is the parking adequately screened from adjacent uses and the street? Is there any stall that is located more than 100' from a shade tree?

**Community Interaction:** How does the development incorporate into the envisioned neighborhood? How does the proposed project support a compact development pattern that enables intensification of development and changes over time? How does the proposed design support a development

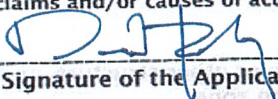
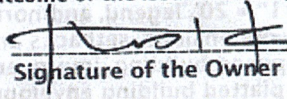


pattern in nodes rather than strip commercial along arterial corridors? How does the project promote a place where people want to be? If not exempt 8-4G sustainability, how many points will the project have, as totaled from the sustainability checklist?

**Landscaping:** Is there more than 5% of the site dedicated to landscaping? Is there one class II or III tree provided for every 50' of street frontage? Will any trees be removed from the site? What kind of irrigation will be provided? Is the landscaping compatible with local climatic conditions?

**Building Design:** How does the building provide visual interest and positively contribute to the overall urban fabric of the community? What is the Floor to Area ratio? Is there relief incorporated into facades and or rooflines greater than 50'? What are the setbacks? How are the outdoor service and equipment areas screened? If there are multiple structures, are the setbacks consistent? Are there any "green building" concepts are incorporated into the project?

I consent to this application and hereby certify that information contained on this application and in the accompanying materials is correct to the best of my knowledge. I agree to be responsible for all application materials, fees and application correspondence with the City. I will hold harmless and indemnify the City of Garden City from any and all claims and/or causes of action from or an outcome of the issuance of a permit from the City.


 Signature of the Applicant      11/26/18      (date)      
 Signature of the Owner      (11) 26 / 18      (date)

**APPLICATION INFORMATION REQUIRED**

**Note:**

**AN ELECTRONIC COPY OF THE ENTIRE APPLICATION SUBMITTAL REQUIRED**  
**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED UNDER ANY CIRCUMSTANCES**

**ONE (1) HARD COPY OF EACH CHECKLIST ITEM REQUIRED:**

- |  |   |
|--|---|
| <input type="checkbox"/> Compliance Statement and Statement of Intent                            | <input type="checkbox"/> Affidavit of Legal Interest                    |
| <input type="checkbox"/> Neighborhood Map  | <input type="checkbox"/> Sustainability Checklist <i>*if applicable</i> |
| <input type="checkbox"/> Site Plan   |   |
| <input type="checkbox"/> Landscape Plan  |   |
| <input type="checkbox"/> Schematic Drawing   |   |
| <input type="checkbox"/> Lighting Plan   |   |
| <input type="checkbox"/> Topographic Survey  |   |
| <input type="checkbox"/> Grading Plan  |   |
| <input type="checkbox"/> Will Serve Letter <b>**If required, must submit a Fire Flow Request</b> |   |
| <input type="checkbox"/> Ada County Approved Addresses   |   |
| <input type="checkbox"/> Waiver Request of Application Materials                                 |   |



## **PLEASE CHECK THE FOLLOWING:**

### **INFORMATION REQUIRED ON COMPLIANCE STATEMENT AND STATEMENT OF INTENT:**

- Statement explaining how the proposed structure(s) is compliant with the standards of review for the proposed application
- Purpose, scope, and intent of project
- Information concerning noxious uses, noise, vibration, and any other aspects of the use or structure that may impact adjacent properties or the surrounding community

### **INFORMATION REQUIRED ON NEIGHBORHOOD MAP:**

- 8 ½" x 11" size minimum
- Location of contiguous lots and lot(s) immediately across from any public or private street, building envelopes and/or existing buildings and structures at a scale not less than one inch equals one hundred feet (1" = 100')
- Impact of the proposed siting on existing buildings, structures, and/or building envelopes

### **INFORMATION REQUIRED ON SITE PLAN:**

- Scale not less than 1" = 20', legend, and north arrow.
- Property boundary, dimensions, setbacks and parcel size.
- Location of the proposed building, improvement, sign, fence or other structure, and the relationship to the platted building envelope and/or building zone
- Building envelope dimensions with the center of the envelope location established in relation to the property lines
- Adjacent public and private street right of way lines
- Total square footage of all proposed structures calculated for each floor. If the application is for an addition or alteration to an existing building or structure, then the new or altered portions shall be clearly indicated on the plans and the square footage of new or altered portion and the existing building shall be included in the calculations
- For uses classified as drive-through, the site plan shall demonstrate safe pedestrian and vehicular access and circulation on the site and between adjacent properties as required in Section 8-2C-13 of Title 8.
- The site plan shall demonstrate safe vehicular access as required in 8-4E-4
- Driveways, access to public streets, parking with stalls, loading areas.
- Sidewalks, bike and pedestrian paths.
- Berms, walls, screens, hedges and fencing.
- Location and width of easements, canals, ditches, drainage areas.
- Location, dimensions and type of signs.
- Trash storage and mechanical equipment and screening.
- Parking including noted number of regular, handicap and bike parking as well as dimensions of spaces and drive aisles depicted on plan
- Log depicting square footage of impervious surface, building and landscaping
- Location and height of fences and exterior walls
- Location and dimensions of outdoor storage areas
- Location of utilities and outdoor serviced equipment and areas
- Location of any proposed public art, exterior site furniture, exterior lighting, signage

**INFORMATION REQUIRED ON LANDSCAPE PLAN:**

- Scale the same as the site plan.
- Type, size, and location of all existing and proposed plants, trees, and other landscape materials.
- Size, location and species of existing vegetation labeled to remain or to be removed.
- All areas to be covered by automatic irrigation, including location of proposed irrigation lines.
- Cross section through any special features, berms, and retaining walls.
- A plant list of the variety, size, and quantity of all proposed vegetation
- Log of square footage of landscaping materials corresponding to location
- Locations and dimensions of open space and proposed storm water systems

**INFORMATION REQUIRED ON SCHEMATIC DRAWINGS (ELEVATIONS):**

- Scale not less than 1/8 inch = 1 foot (1/8" = 1')
- Floor plans; elevations, including recorded grade lines; or cross sections that describe the highest points of all structures and/or buildings, showing relationship to recorded grade existing prior to any site preparation, grading or filing
- Decks, retaining walls, architectural screen walls, solid walls, and other existing and proposed landscape features shall be shown in elevations and sections with the details to show the completed appearance of those structures
- Overall dimensions of all proposed structures
- Specifications on exterior surface materials and color
- Sample materials (as determined by the staff)

**INFORMATION REQUIRED ON LIGHTING PLAN:**

- 11" x 17" size minimum
- Location, type, height, lumen output, and luminance levels of all exterior lighting
- Refer to Garden City Code 8-4A-6 for outdoor lighting requirements
- Location of municipal street lights

**INFORMATION FOR TOPOGRAPHIC SURVEY:**

- The topographic map is a map of the application site and adjoining parcels prepared by an engineer and/or land surveyor, and at a scale of not less than one inch (1") to twenty feet (20').
- If the site has been known to have been altered over time, then the applicant shall provide evidence of the natural topography of the site

**INFORMATION REQUIRED ON GRADING PLAN:**

- 11" x 17" size minimum
- Scale not less than one inch equals twenty feet (1" = 20')
- Two foot (2') contours for the entire proposal site
- One foot (1') contours for details, including all planimetric features
- Existing site features, including existing structures, trees, streams, canals, and floodplain hazard areas
- Existing easement and utility locations
- Approximate limiting dimensions, elevations, and finish contours to be achieved by the contemplated grading within the project, showing all proposed cut and fill slopes, drainage channels, and related construction; and finish and spot grade elevations for all wall and fence construction, and paved and recreational surface
- Slope and soil stabilization and re-vegetation plan, including identification of areas where existing or natural vegetation will be removed and the proposed method of re-vegetating. Show all areas of disturbance and construction fencing location; re-vegetation is required for all disturbed areas
- Proposed storm water systems



**INFORMATION REQUIRED MASTER SIGN PLAN:**

**\*Required for developments of two or more buildings:**

- Location, elevations, and materials of proposed signage

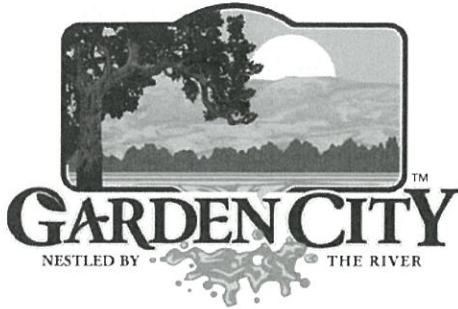
**INFORMATION REQUIRED FOR IRRIGATION/DITCH INFORMATION FORM:**

**\*Required if irrigation canal/irrigation ditch runs through property or along property lines:**

- Letter from company indicating approval

**INFORMATION REQUIRED FOR WAIVER REQUEST OF APPLICATION MATERIALS:**

- Statement must include a list of the application materials to be waived and an explanation for the request.



6015 Glenwood Street Garden City, Idaho 83714  
Phone 208 - 472-2921 Fax 208 - 472-2926  
www.gardencityidaho.org

### Affidavit of Legal Interest

State of Idaho )  
                                  )SS  
County of Ada )

I, Kent Mouton (KW River Pointe Premiere, LLC), 151 S El Camino Drive  
Name Address

Beverly Hills, CA 90212  
City State and Zip

Being first duly sworn upon oath, depose and say:

1. That I am the record owner of the property described on the attached, and I grant my permission  
to David Ruby, 499 Main Street, Boise ID  
Name Address  
to submit the accompanying application pertaining to that property.
2. I agree to indemnify, defend and hold the City of Garden City and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
3. I hereby grant permission to City of Garden City staff to enter the subject property for the purpose of site inspections related to processing said applications.

Dated this 28 day of November, 2018

Kent Mouton  
Signature

Subscribed and sworn to before me the day and year first above written

Notary Public for Idaho  
Residing at:  
My Commission expires  
*See attached*





November 26, 2018

Jenah Thornborrow  
City of Garden City  
6015 Glenwood Street  
Garden City, ID 83714

RE: River Pointe Apartments, Phase II | 6265 N. Strawberry Glen  
Design Review Application | PN 118079

Dear Ms. Thornborrow and the Design Review Committee,

We are pleased to submit the design review application associated with phase II (two) of the River Pointe Apartments (the “Project” or “Development”). The 5-acre Project site is generally located west of the existing River Pointe Apartments, at the northern terminus of N. Strawberry Glenn Road and the Boise River (see blue area below). The property is adjacent to the south side of the Boise River, and bounded by N. Strawberry Glen Road to the east, Waterside Villa Subdivision to the south, and R E No. 4, Swallow Tail, and Brookhaven Subdivisions to the west.



*Figure 1, Vicinity Map & Project*

*Boundary*

The property is a portion of Lot 21 of the Strawberry Glenn Subdivision and is currently vacant land. The Warm Springs Canal operated by Drainage District No. 2 bisects the southern portion of the property. This canal is proposed to be piped. The proposed piping is not only supported, but is preferred by the Drainage District No. 2, who has jurisdiction of the canal. Any wetlands associated with the canal will be relocated to the northwest corner of the property adjacent to the Boise River where other, higher quality, wetlands exist.

The property is zoned R-3 in Garden City. The R-3 zoning designation is a medium density residential designation with an allowed density range between 14 to 35 dwelling units per acre. Typical housing types include single family, two-family and multiple-family dwelling units.

The Project site is also in the Boise River and Greenbelt Overlay District (BRG). The BRG was adopted February 12, 2018. The purpose of the BRG states: The BRG Overlay District is intended to preserve, protect, and enhance the river, and the public's enjoyment and access to the Boise River and Greenbelt through carefully planned and designed development. Mixed use, commercial development, and urban density housing are encouraged that focus on, celebrate, connect and enhance the Boise River environment.

A pre-application hearing was held with the Garden City Design Review Committee on October 15, 2018. A neighborhood meeting was held at the River Pointe Apartments Clubhouse on October 30, 2018. Neighbor feedback has been incorporated into the current design.

The highlights include:

- Preserve existing homeowner privacy:
  - The apartment buildings are situated to maximize separation from the existing residential subdivisions.
  - The apartment buildings are rotated to limit the number of windows and balconies facing west.
- 36 Single-story garages are placed around the Project perimeter to serve as an added buffer to the existing residences.
- Outdoor plaza.
- Walking trails with connection to the greenbelt.
- Increased open space.
- Upgraded project amenities including an art gallery, bicycle repair, and enclosed bike storage.

The Project site plan details a three, and four-story multi-family development. Multi-family is a permitted use within the R-3 zoning district. The development includes 108 units in four apartment buildings, bike repair/storage community building, outdoor plaza, art gallery, walking trails with connection to the greenbelt, enclosed canal, and relocated wetland adjacent to the Boise River. The proposed density is 21.6 units per acre, which is within the allowed density range for the R-3 zone; the R-3 zone does not have a maximum building height. The BRG allows for four-stories.

Parking provided includes 36 garage spaces, 105 carport spaces, 5 accessible spaces, and 57 open stalls for a total of 198 vehicle parking spaces for a parking ratio of 1.77 parking spaces/unit. Additionally, 162 bicycle parking spaces (154 indoor spaces) are provided.

A parking reduction is requested. There are sections of City code that allow for a reduction in parking to

be considered. GCC8-4D-3 allows for offsite parking for residential uses to be 300' from the site. 8-4D-6 permits alternatives to onsite parking when there is alternative transportation. This site is on the greenbelt and includes 162 bicycle parking spaces and is approximately ¼ mile from a bus stop. With the art gallery, this project is a mixed-use project. Mixed-use developments may reduce their parking.

A parking study was recently conducted on the existing community (phase I) by a third-party contractor, L2 Data Collection, to monitor parking usage. The existing phase I community is parked at a ratio of 1.79. Based on the results of the study, an excess of parking exists to the tune of 0.32 spaces/unit, or 65 spaces based on the highest utilization rates measured. This number is based on adjustments made for property occupancy rates at the time of the study. The excess parking available at the Phase I property supports the proposed number of spots provided at Phase II while providing a margin of error roughly equal to that at Phase I.

The development will be professionally managed with employees operating out of the onsite Phase I clubhouse and maintenance buildings. Phase II residents will enjoy access to the Phase I clubhouse and pool amenities.

The amenities provided or shared amongst the Phase I and Phase II residents within this community will include:

- Existing Phase I Shared Community Amenities
  - Clubhouse/community building with lounge
  - Pool and spa
  - Fitness facility
- New Phase II Amenities
  - Art gallery
  - Dog park
  - Enclosed bike storage
  - Adjacent to greenbelt
- Open Space
  - Dedicated private patio or balcony at each unit
  - Barbecue and picnic areas
  - Large consolidated lawn areas
  - Plaza area
  - Central mailbox location.
  - Concrete walkways from the greenbelt

The heart of the project is a single-story community building that serves to bring residents together and provide a sense of place. Designed to complement the residential buildings, and at the same time stand on its own, this clubhouse is both a lifestyle center and the entrance to the community's core.

The main clubhouse in Phase I includes lounge spaces, TV and game areas, a swimming pool and spa, and fitness facilities which are provided for the residents. The main clubhouse building also contains leasing offices, a mailroom, and restrooms.

The wetland areas along the Boise River will be left in its natural state (to the greatest extent possible), continuing to provide habitat for indigenous birds and animals.



The project has been designed to comply with the City-required landscape buffers and open space. Utility services are available to serve the Project. The construction of the project will not be phased as the entire development will be constructed as one time, minimizing the construction timeline and any construction related inconveniences to neighbors, including those at the Phase I apartments.

Architectural design concepts are included with this application. The building elevations are generally representative of the Craftsman style and are designed to complement the existing apartment buildings. The main entrances are covered. The external material palette consists of open metal balconies, shingled roofs, and horizontal, and board and batten siding with variation in color, texture, and pattern. The color schemes are gray and black to match phase I. The apartment buildings will include fire sprinklers.

Vehicular access is programmed from two gated points from N. Strawberry Glen Road. Sidewalk and landscaping frontage improvements are planned along the Strawberry Glenn road frontage.

The site will include 81,051 SF (37%) of landscaping located around the perimeter of the site, between the buildings, and within the parking areas. The total landscaping includes approximately ½ acre of open space with turf sod. There are existing trees on the site. Trees deemed in poor condition or in conflict with the development plan will be removed. Mitigation, per Garden City Code is proposed.

The majority of the Project site is within the AE floodplain. The buildings will be constructed above the floodplain BFE. All storm water will be retained onsite.

The Project is in compliance with the Garden City Comprehensive plan objectives:

- 1.4: Create a premier destination place to live, work and recreate.
- 4.3: Beautify sidewalks and gateway with landscaping and trees.
- 5.4: Develop a river walk
- 6.3: Maintain the diversity of housing
- 7.1: Create pedestrian and bicycle friendly connections.

This application is in compliance with Garden City Code:

1. The proposed design is in conformance with the purpose of the zoning district and dimensional standards;
2. The proposed design adheres to the standards for the protection of health, safety, and general welfare;
3. The proposed design improves the accessibility of development to non-motorized and public modes of transportation;
4. The proposed design improves the accessibility of development to non-motorized and public modes of transportation;

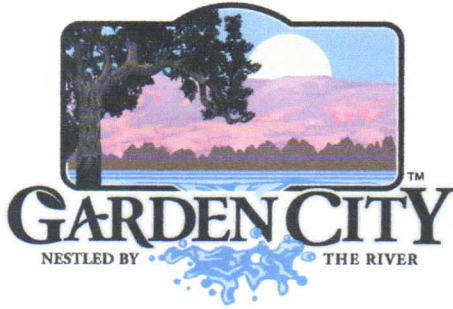
5. The proposed design supports a development pattern in nodes rather than strip commercial along arterial corridors;
6. The proposed design supports a compact development pattern that enables intensification of development and changes over time; and
7. The proposed design provides outdoor spaces and landscaping compatible with the southwest Idaho climatic conditions that encourage pedestrian activity.

Thank you in advance for your consideration and support. We look forward to working with the City of Garden City to plan a quality project of which we can all be proud.

Sincerely,



David Ruby, AIA  
The Architects Office, PLLC



## CITY OF GARDEN CITY

6015 Glenwood Street • Garden City, Idaho 83714

Phone 208/472-2900 • Fax 208/472-2996

19 September 2018

Building Department  
City of Garden City  
6015 North Glenwood Street  
Garden City, Idaho 83714

Subject: **6265 Strawberry Glenn Road  
110 Unit Apartment Project  
Parcel Number R8191505455  
Water and Sanitary Sewer Ability to Serve  
ATS2018-20**

I am a consultant (employed by B & A Engineers, Inc.) appointed by the city council as the engineer for the city of Garden City. The referenced project is eligible to receive water and sewer service from the city of Garden City from existing infrastructure.

The city water system in the area provided a minimum fire flow of 2,000 gallons per minute with a residual pressure of 20 pounds per square inch for two hours based upon a letter dated 24 August 2018 (fire hydrant 7022) from the Garden City Public Works Water Division. Said system is capable of providing adequate fire protection capacity to serve a proposed facility if the North Ada County Fire and Rescue District determines that the project does not require more fire protection water than what is available from the city system. Should the District require more fire protection water than the current system is capable of providing, the owner of the project may be required to modify and propose construction to comply with the District's flow requirements and/or upgrade the city's water system. The District may also require additional fire hydrants.

Any water mainline extensions or water service connections must be coordinated, reviewed and approved by the city prior to installation. Design and installation is the responsibility of the applicant.

The existing city sanitary sewer system is capable of serving the property if flows are reasonable in volume. The applicant must verify location and available grade to the city sewer system. The applicant is hereby advised that city public sewer

6265 Strawberry Glenn Road  
110 Unit Apartment Project



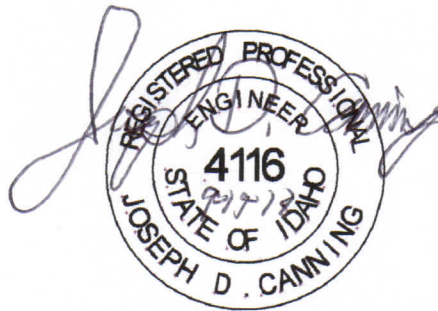
lines are located on the property accepting flows from upstream properties. Those flows must be preserved. Easements to adequately cover city sewer lines will be required.

The applicant is responsible to verify that a proposed land use is capable of being served by the existing city sanitary sewer service. Should depths not be adequate to serve the site, the applicant may have to provide and pay for facilities to reasonably discharge to the city system or to alter a preferred site design to be able to discharge to the city system.

New sanitary sewer connections must be coordinated, reviewed and approved by the city prior to installation.

Special uses on the site may require pretreatment of wastewater based upon review of use by Garden City Environmental.

Sincerely,



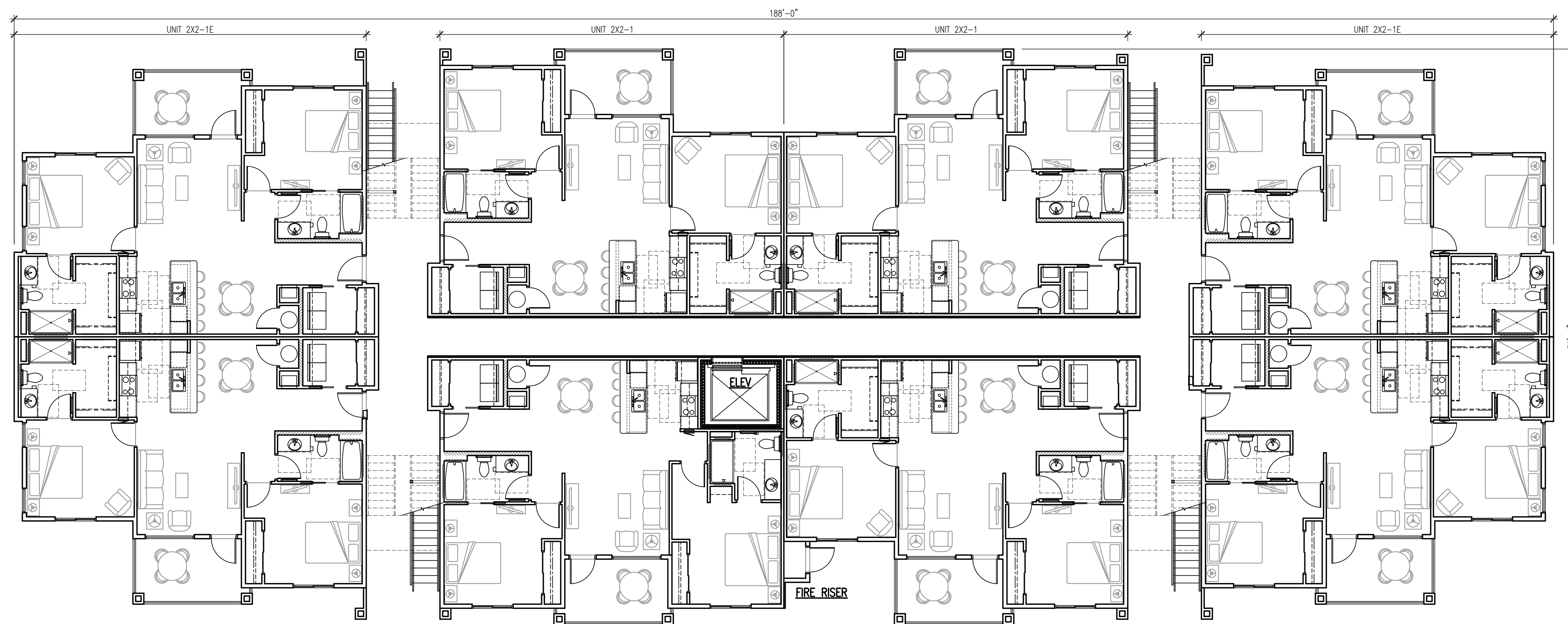
J. D. Canning, PE/PLS  
B & A Engineers, Inc.  
Garden City Engineer

ec. Mr. Colin Schmidt  
Public Works Director  
City of Garden City

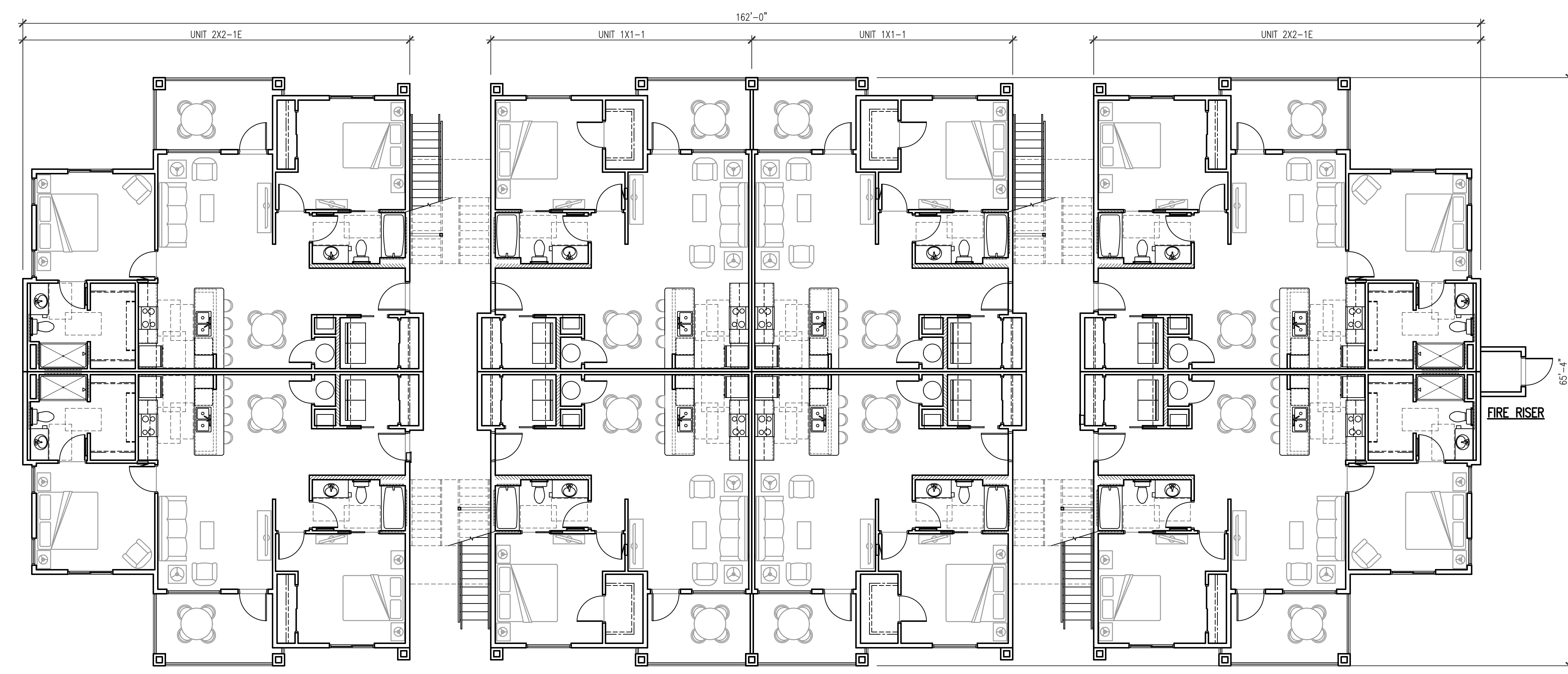
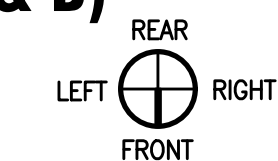
Mr. Troy Vaughn  
Garden City Collections/Construction Manager  
City of Garden City

Mr. Chad Vaughn  
Garden City Public Works Water Division  
City of Garden City

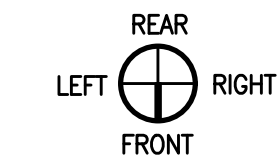
6265 Strawberry Glenn Road  
110 Unit Apartment Project



**1 BUILDING TYPE 1 (BLDG.'S C & D) TYPICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0" AREA: 11,522 SF PER FLOOR  
x 4 = 46,088 SF



**2 BUILDING TYPE 2 (BLDG. B) TYPICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0" AREA: 9,696 SF PER FLOOR  
x 4 = 38,784 SF



PROJECT  
**RIVER POINTE  
APARTMENTS  
EXPANSION**

SEAL



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FILE  
DATE: NOVEMBER 26, 2018  
FILE NO: 18-514 A2.0  
DRAWN: DAVID RUBY, AIA

REVISIONS

SHEET

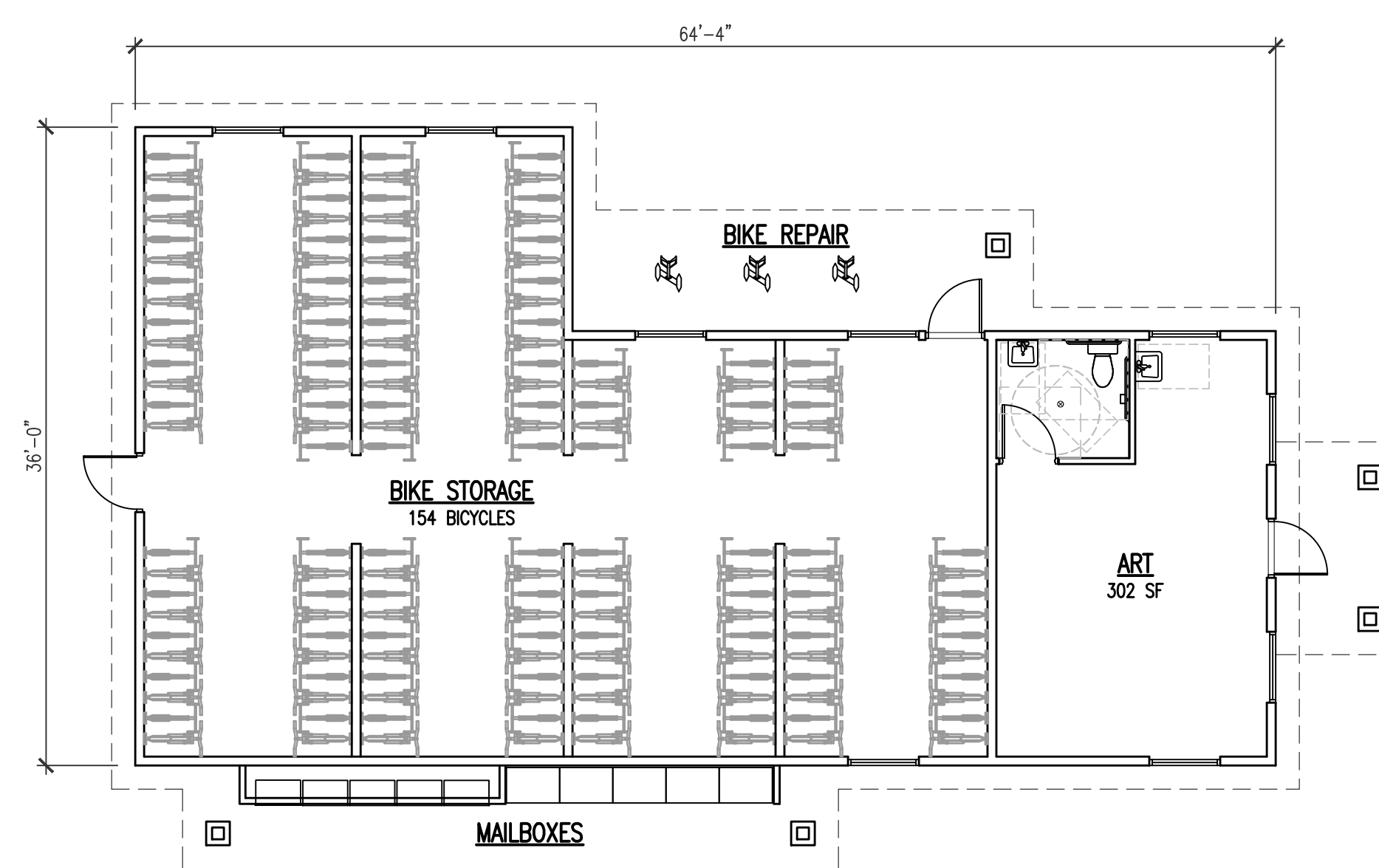
**A2.0**  
PRELIMINARY  
FLOOR PLANS





**1 BUILDING TYPE 3 (BLDG. A)  
TYPICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0" AREA: 4,903 SF PER FLOOR  
x 3 = 14,709 SF

REAR  
LEFT RIGHT  
FRONT



**2 MAIL KIOSK/BIKE STORAGE/ART STUDIO  
FLOOR PLAN**  
SCALE: 1/4" = 1'-0" AREA: 1,926 SF

NORTH

PROJECT  
**RIVER POINTE  
APARTMENTS  
EXPANSION**

SEAL



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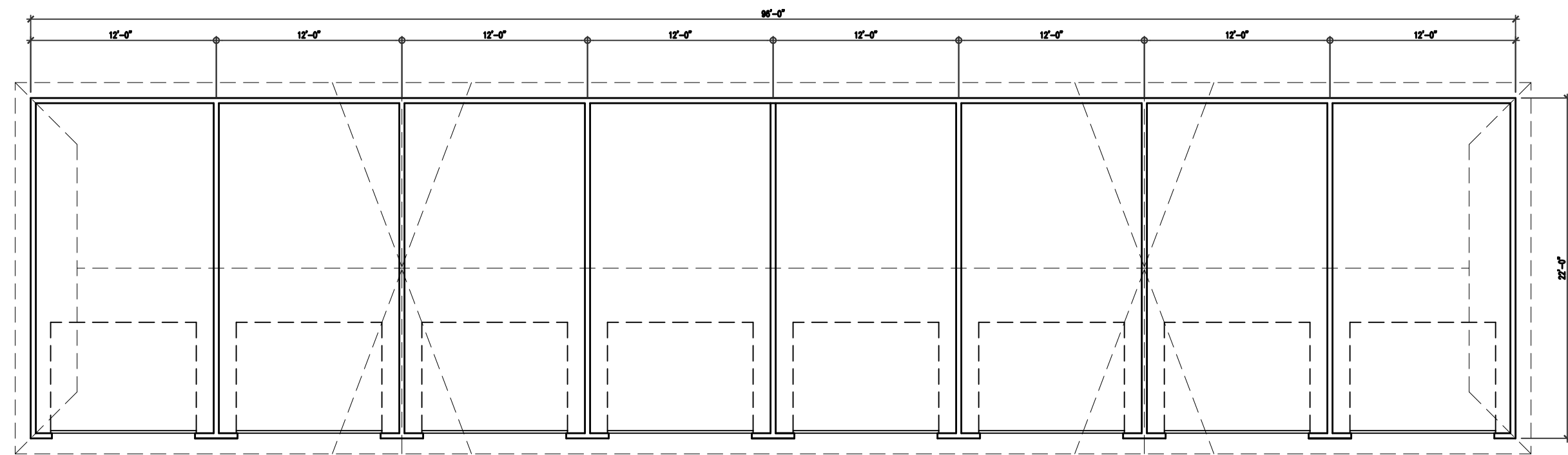
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DRAWN  
DAVID RUBY, AIA

REVISIONS

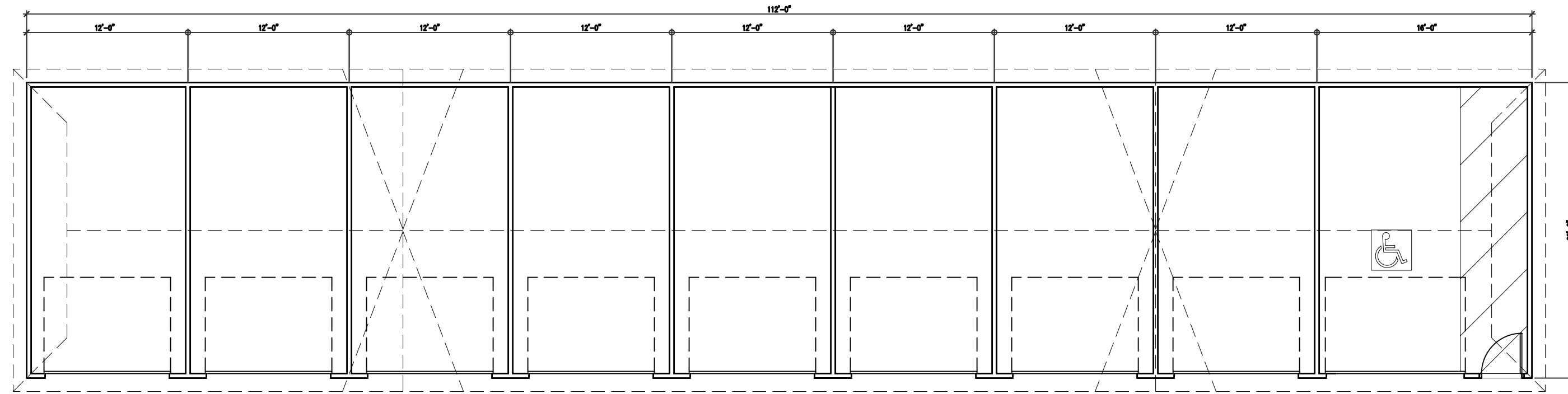
SHEET

**A2.1**  
PRELIMINARY  
FLOOR PLANS

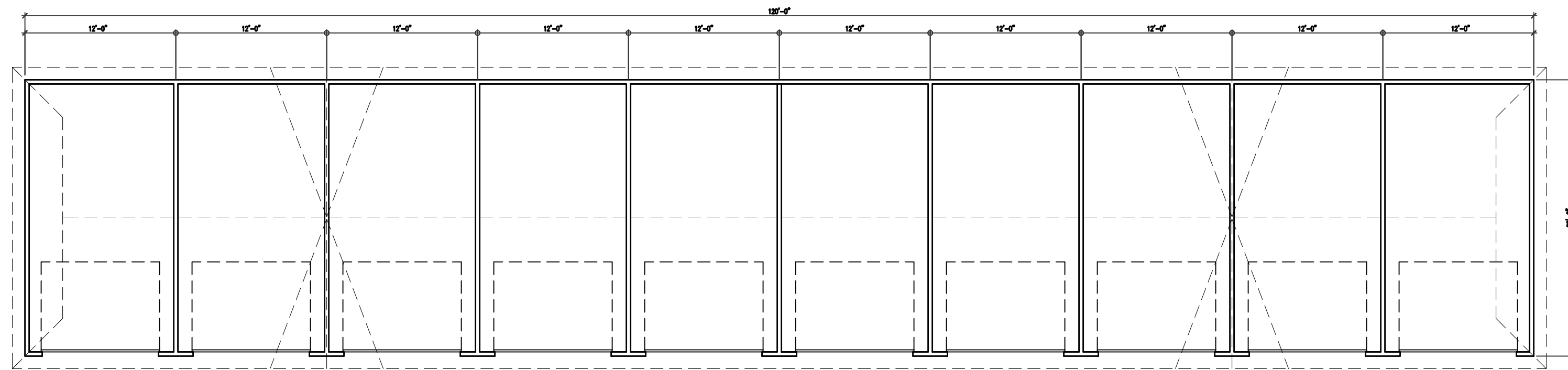




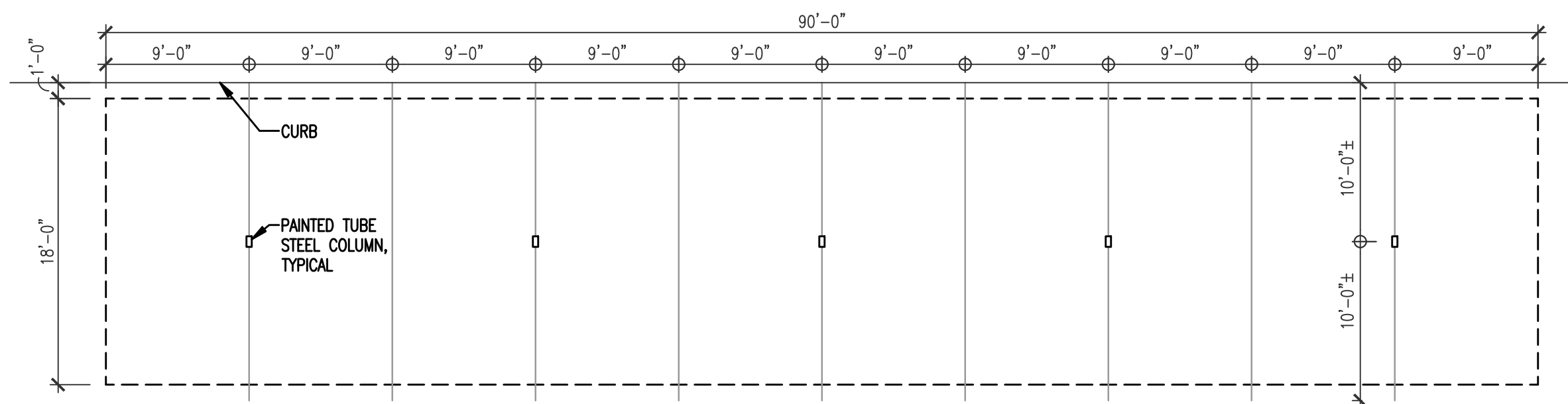
**1 8-BAY GARAGE FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" AREA: 2,112 SF



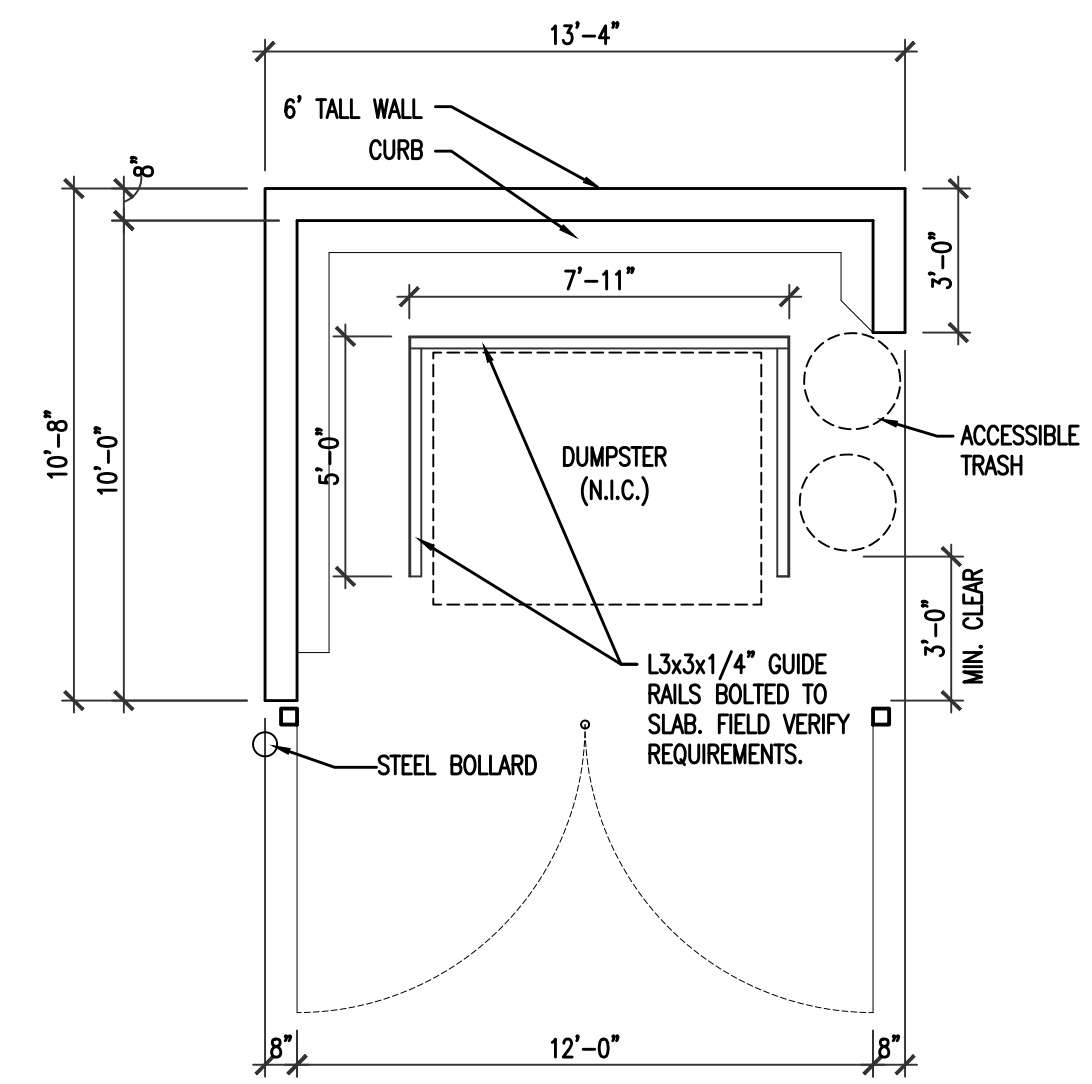
**2 29-BAY HC GARAGE FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" AREA: 2,484 SF



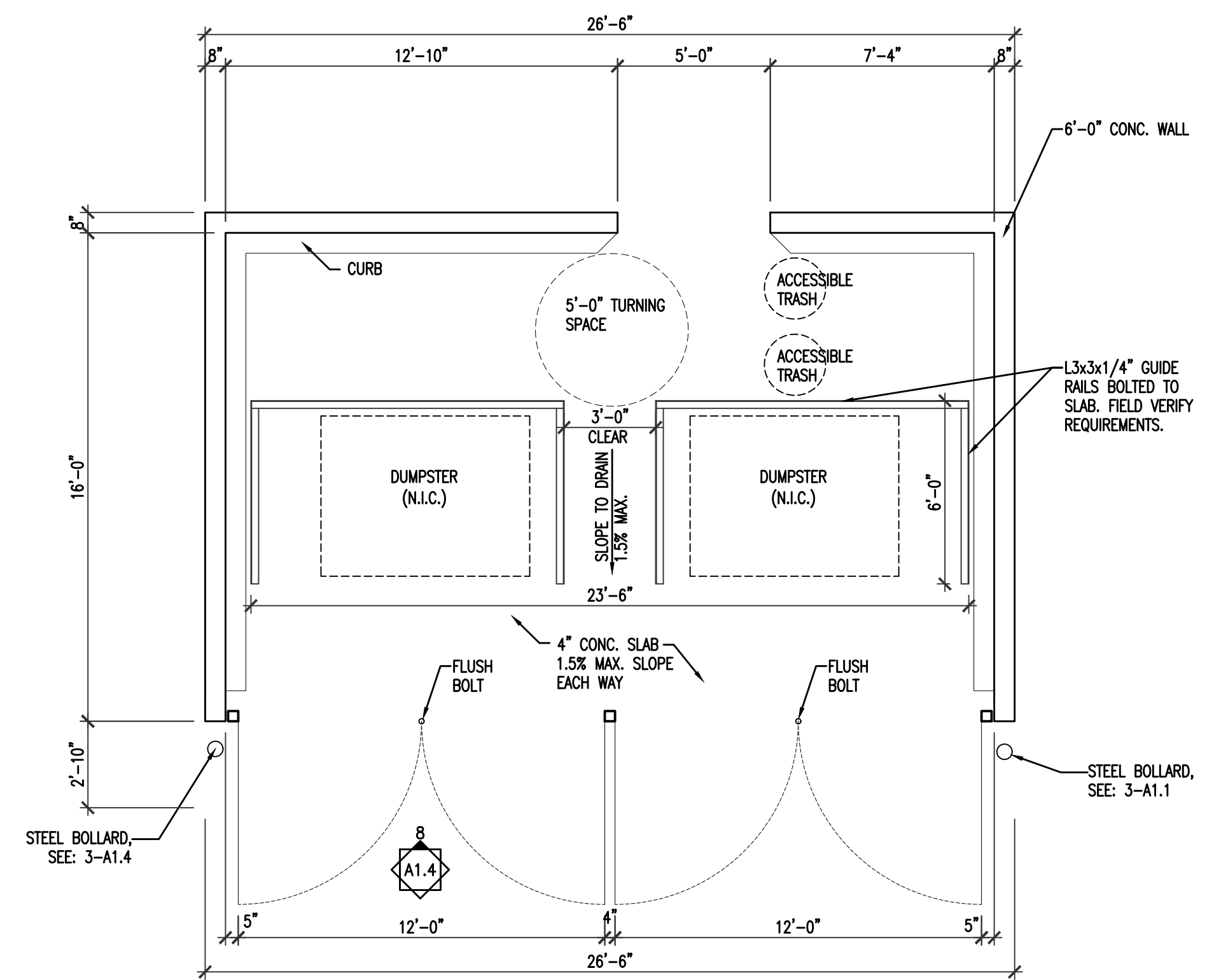
**3 10-BAY GARAGE FLOOR PLAN**  
 SCALE: 1/8" = 1'-0" AREA: 2,640 SF



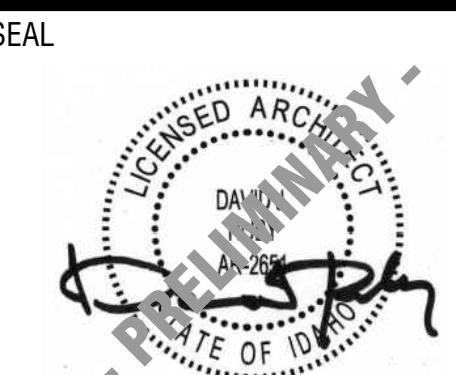
**4 10-BAY CARPORT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**5 SMALL TRASH ENCLOSURE PLAN**  
 SCALE: 1/4" = 1'-0"



**6 LARGE TRASH ENCLOSURE PLAN**  
 SCALE: 1/4" = 1'-0"



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FILE  
 DATE: NOVEMBER 26, 2018  
 FILE NO: 18-514 A2.0  
 DRAWN: DAVID RUBY, AIA

REVISIONS

SHEET

**A2.2**  
 PRELIMINARY FLOOR PLANS

D:\OneDrive - Business\TAO\Projects\18-514 River Pointe Expansion\dwgs\18-514 A2.0.dwg, 11/26/2018 8:47:09 AM

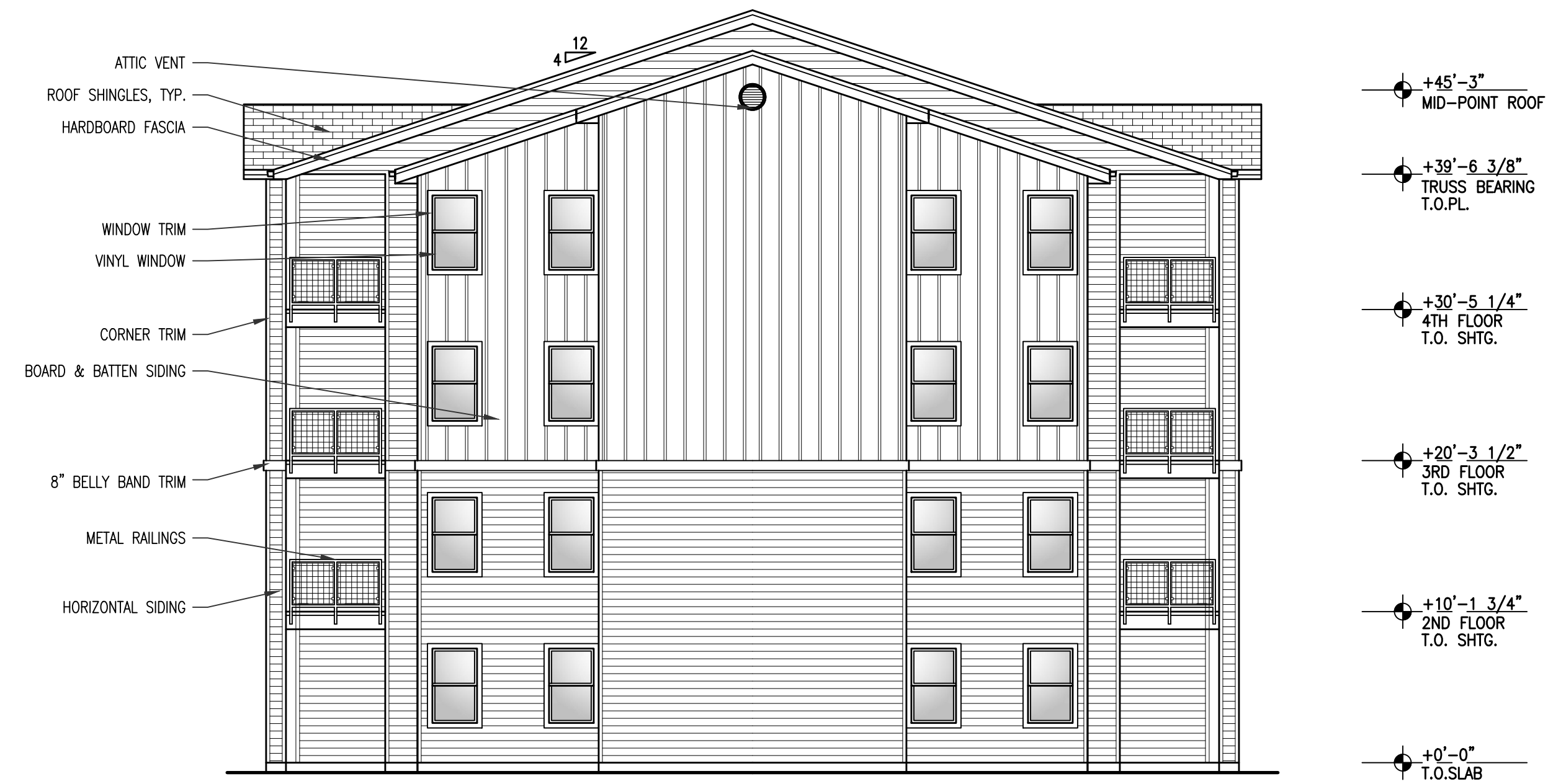


**1 FRONT ELEVATION - BUILDING TYPE 1 , BLDG.'S C & D**  
**REAR ELEVATION SIMILAR**  
SCALE: 1/8" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

MATERIAL	MANUFACTURER	NUMBER/STYLE	COLOR NAME
ROOF SHINGLE	PABCO	PREMIER	MATCH EXISTING
PREFINISHED METAL GUTTERS AND DOWNSPOUTS	SEE SPECIFICATIONS	-	WHITE
PREFINISHED METAL FLASHINGS	SEE SPECIFICATIONS	-	WHITE
HORIZONTAL SIDING	JAMES HARDI	-	GRAY
BOARD & BATTEN SIDING	JAMES HARDI	-	GRAY
VINYL WINDOWS	SEE SPECIFICATIONS	-	WHITE
EXTERIOR DOORS	SEE SPECIFICATIONS	-	WHITE
WINDOW TRIM, ATTIC VENTS	SHERWIN WILLIAMS	TBD	BLACK
TRIM, BELLY BAND, FASCIA	SHERWIN WILLIAMS	TBD	WHITE

NOTE: ALL PRODUCTS DESCRIBED HERE ARE BASIS-OF-DESIGN. SEE SPECIFICATIONS FOR ALTERNATE MANUFACTURERS, IF APPLICABLE.



**2 SIDE ELEVATION - BUILDING TYPE 1 , BLDG.'S C & D**  
SCALE: 1/8" = 1'-0"

PROJECT  
**RIVER POINTE  
APARTMENTS  
EXPANSION**

SEAL  
  
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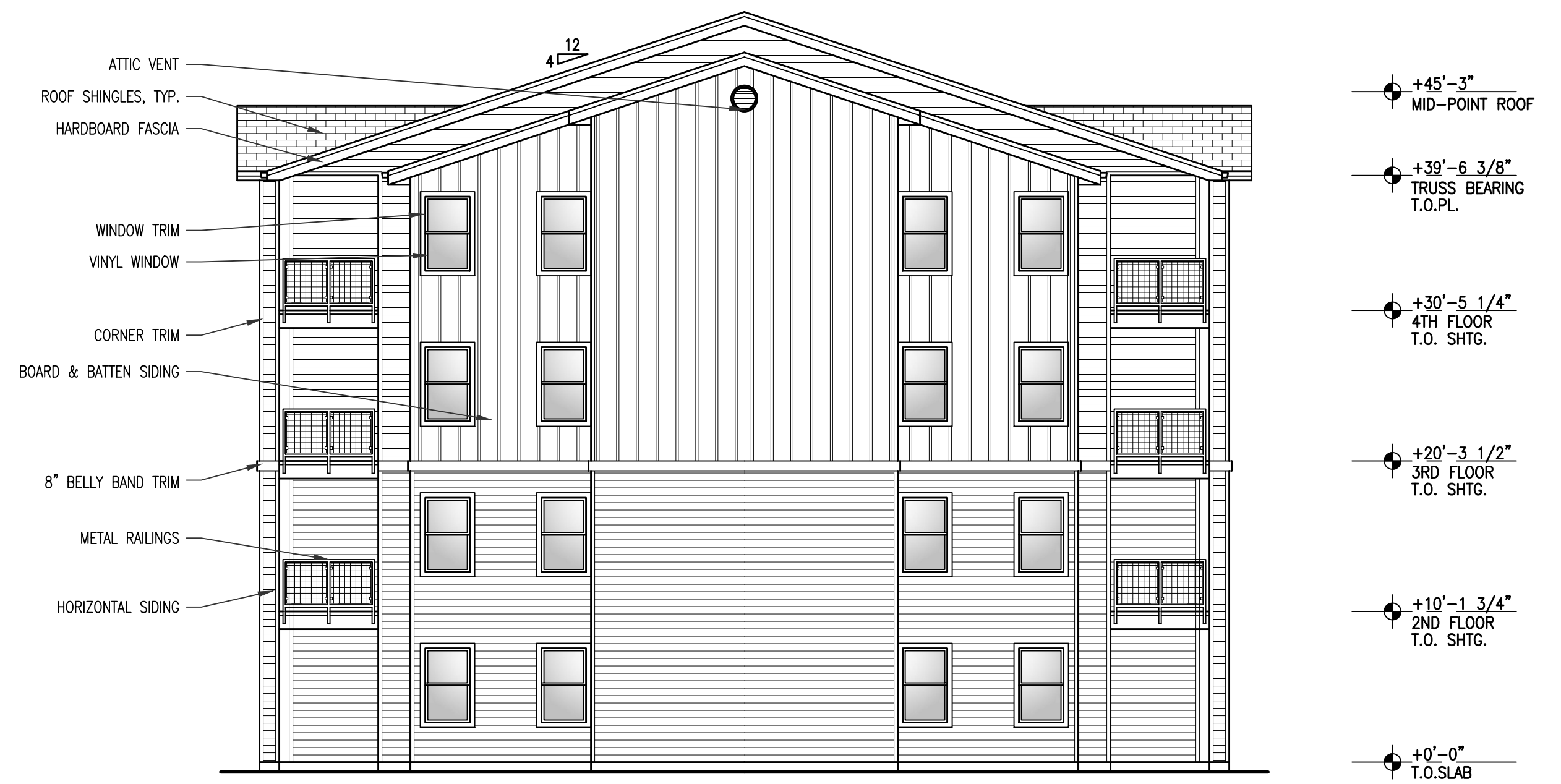
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DATE  
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FILE NO.  
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DAVID RUBY, AIA

REVISIONS

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**A5.0**  
PRELIMINARY  
EXTERIOR ELEVATIONS

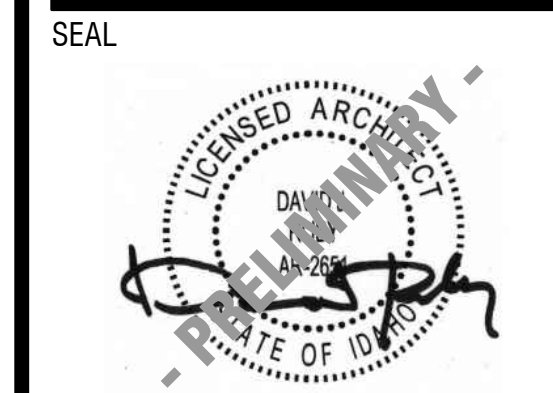


**1 FRONT ELEVATION - BUILDING TYPE 2, BLDG. B**  
**REAR ELEVATION SIMILAR**  
SCALE: 1/8" = 1'-0"



**2 SIDE ELEVATION - BUILDING TYPE 2, BLDG. B**  
SCALE: 1/8" = 1'-0"

PROJECT  
**RIVER POINTE APARTMENTS EXPANSION**



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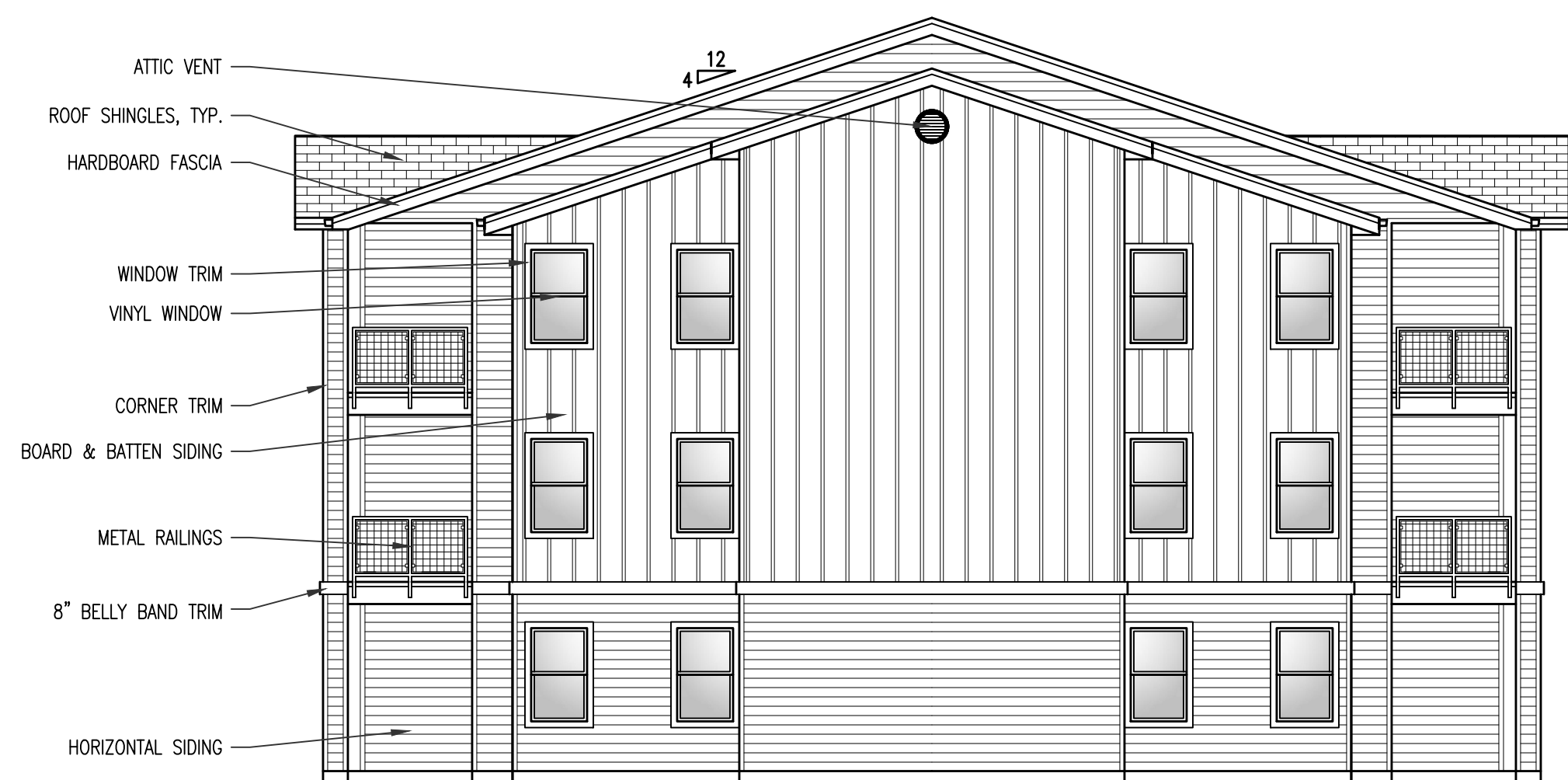
**A5.1**  
PRELIMINARY  
EXTERIOR ELEVATIONS





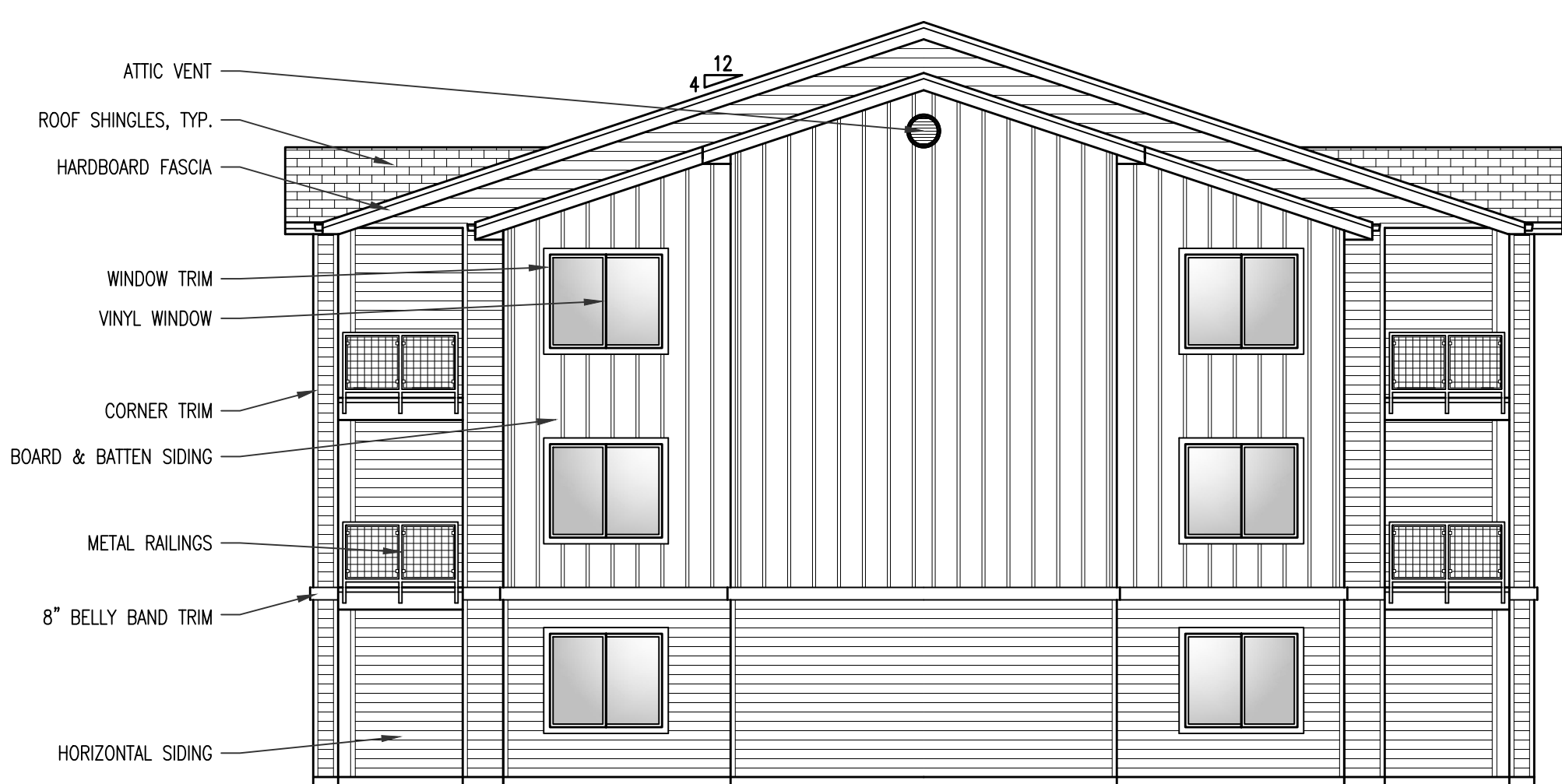
**1 FRONT ELEVATION - BUILDING TYPE 3, BLDG. A**  
**REAR ELEVATION SIMILAR, OPPOSITE**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  7'-9"  
 AVG. ROOF AT PEAK  
 $\uparrow$  +29'-4 5/8"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +20'-3 1/2"  
 3RD FLOOR  
 T.O. SHTG.  
 $\uparrow$  +10'-1 3/4"  
 2ND FLOOR  
 T.O. SHTG.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



**2 LEFT ELEVATION - BUILDING TYPE 3, BLDG. A**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +35'-0 1/2"  
 MID-POINT ROOF  
 $\uparrow$  +29'-4 5/8"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +20'-3 1/2"  
 3RD FLOOR  
 T.O. SHTG.  
 $\uparrow$  +10'-1 3/4"  
 2ND FLOOR  
 T.O. SHTG.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



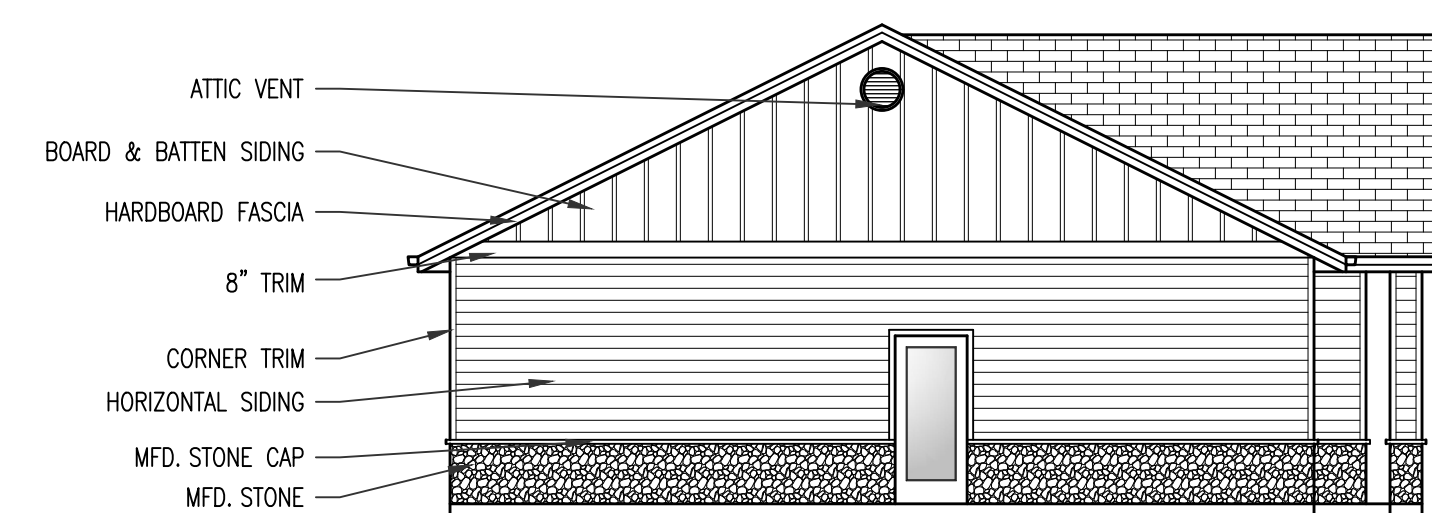
**3 RIGHT ELEVATION - BUILDING TYPE 3, BLDG. A**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +35'-0 1/2"  
 MID-POINT ROOF  
 $\uparrow$  +29'-4 5/8"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +20'-3 1/2"  
 3RD FLOOR  
 T.O. SHTG.  
 $\uparrow$  +10'-1 3/4"  
 2ND FLOOR  
 T.O. SHTG.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



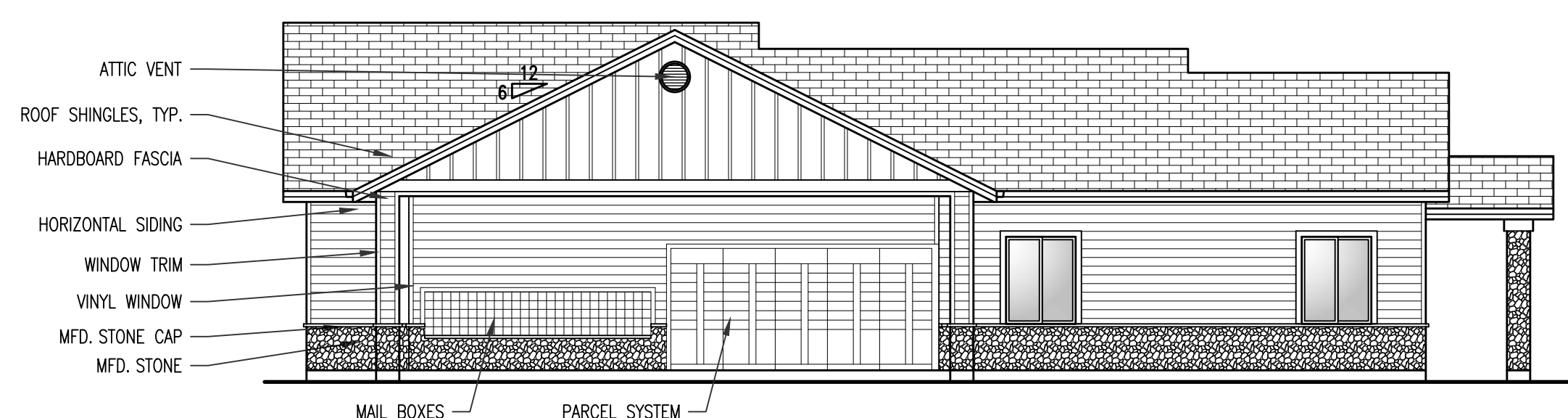
**4 EAST ELEVATION - AMENITY BUILDING**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +10'-0"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



**5 WEST ELEVATION - AMENITY BUILDING**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +10'-0"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



**6 SOUTH ELEVATION - AMENITY BUILDING**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +9'-0"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +0'-0"  
 T.O.SLAB



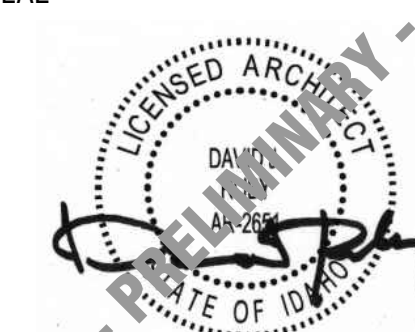
**7 NORTH ELEVATION - AMENITY BUILDING**  
 SCALE: 1/8" = 1'-0"

$\uparrow$  +10'-0"  
 TRUSS BEARING  
 T.O.PL.  
 $\uparrow$  +0'-0"  
 T.O.SLAB

PROJECT

**RIVER POINTE  
 APARTMENTS  
 EXPANSION**

SEAL



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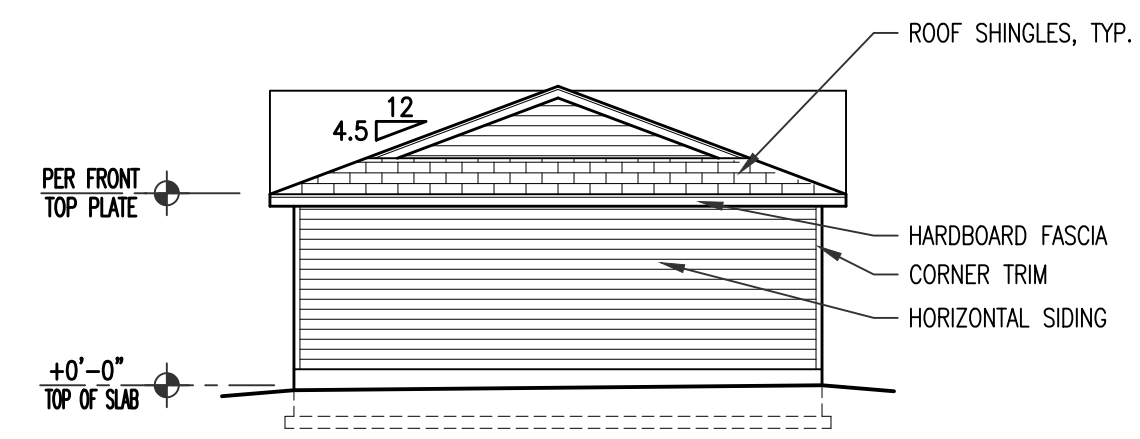
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 DAVID RUBY, AIA

REVISIONS

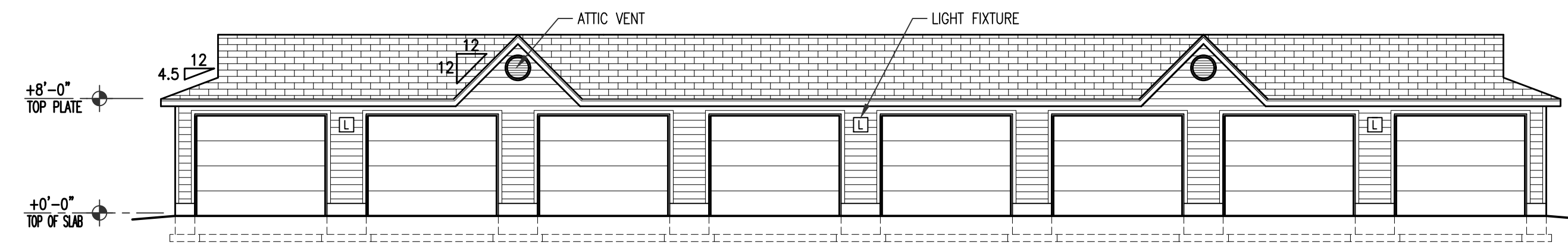
SHEET

**A5.2**  
 PRELIMINARY  
 EXTERIOR ELEVATIONS

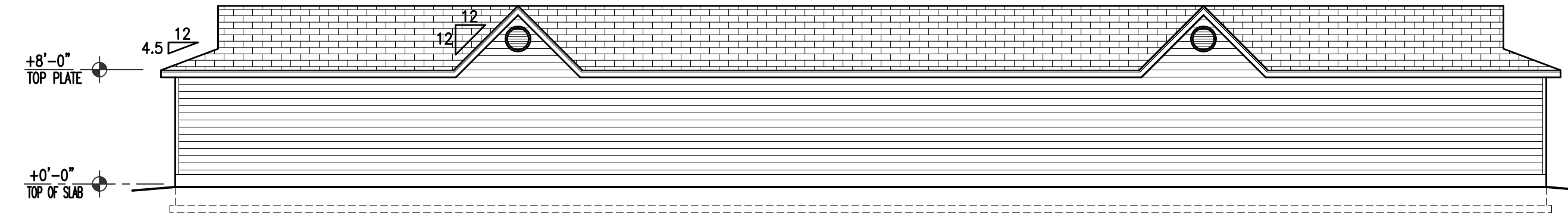




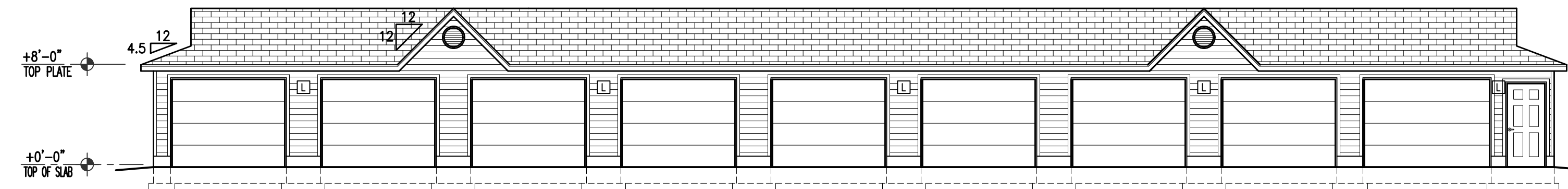
**1 TYPICAL GARAGE ELEVATION - SIDE**  
SCALE: 1/8" = 1'-0"



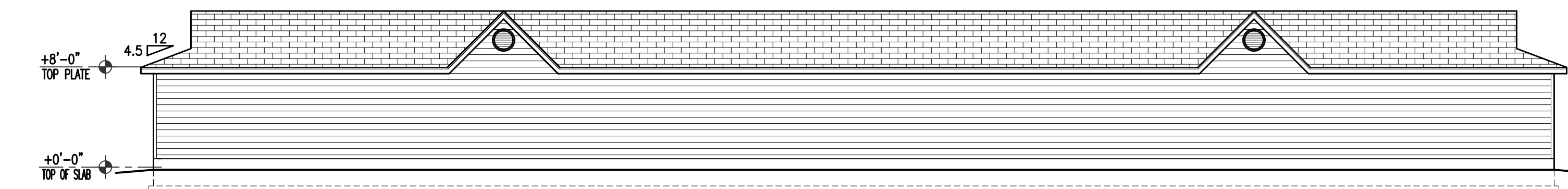
**2 TYPICAL 8-BAY GARAGE ELEVATION - FRONT**  
SCALE: 1/8" = 1'-0"



**3 TYPICAL 8-BAY GARAGE ELEVATION - REAR**  
SCALE: 1/8" = 1'-0"



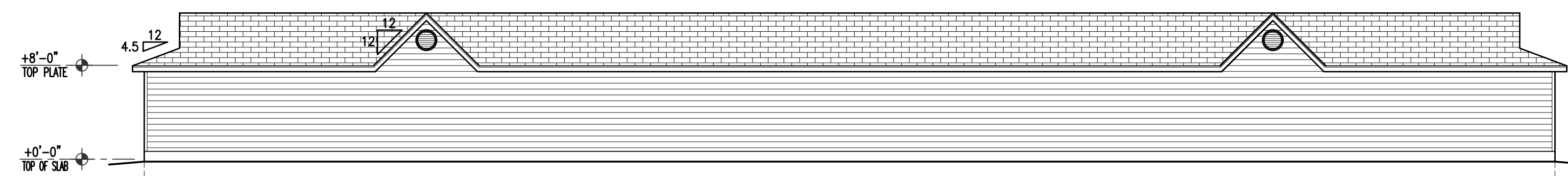
**4 TYPICAL 9-BAY HC GARAGE ELEVATION - FRONT**  
SCALE: 1/8" = 1'-0"



**5 TYPICAL 9-BAY HC GARAGE ELEVATION - REAR**  
SCALE: 1/8" = 1'-0"



**6 TYPICAL 10-BAY GARAGE ELEVATION - FRONT**  
SCALE: 1/8" = 1'-0"



**7 TYPICAL 10-BAY GARAGE ELEVATION - REAR**  
SCALE: 1/8" = 1'-0"

SEAL



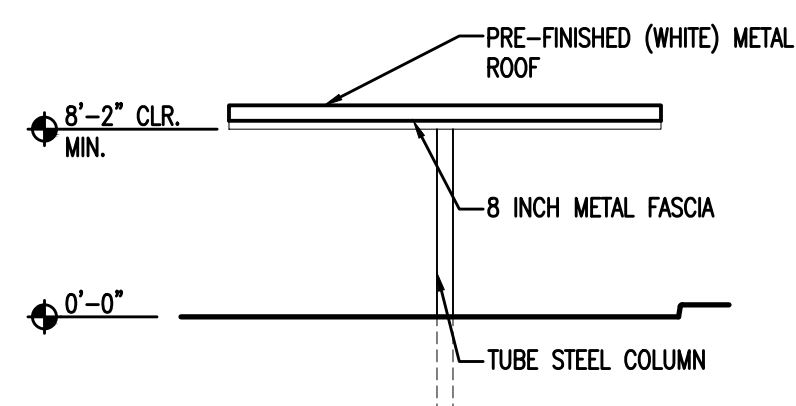
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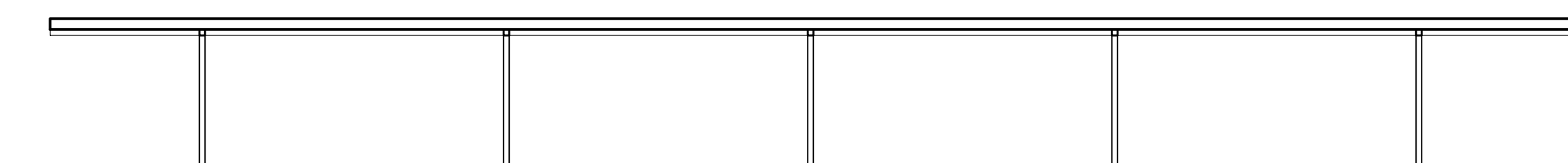
REVISIONS

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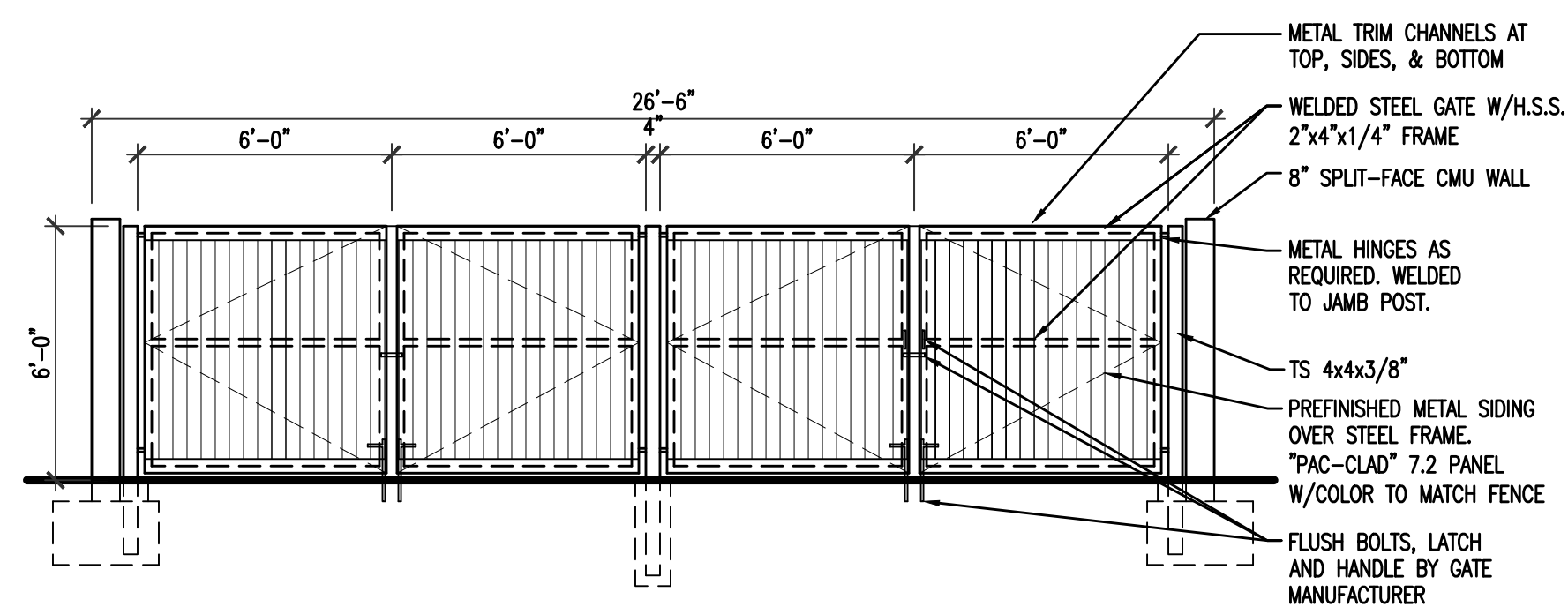
**A5.3**  
PRELIMINARY  
EXTERIOR ELEVATIONS



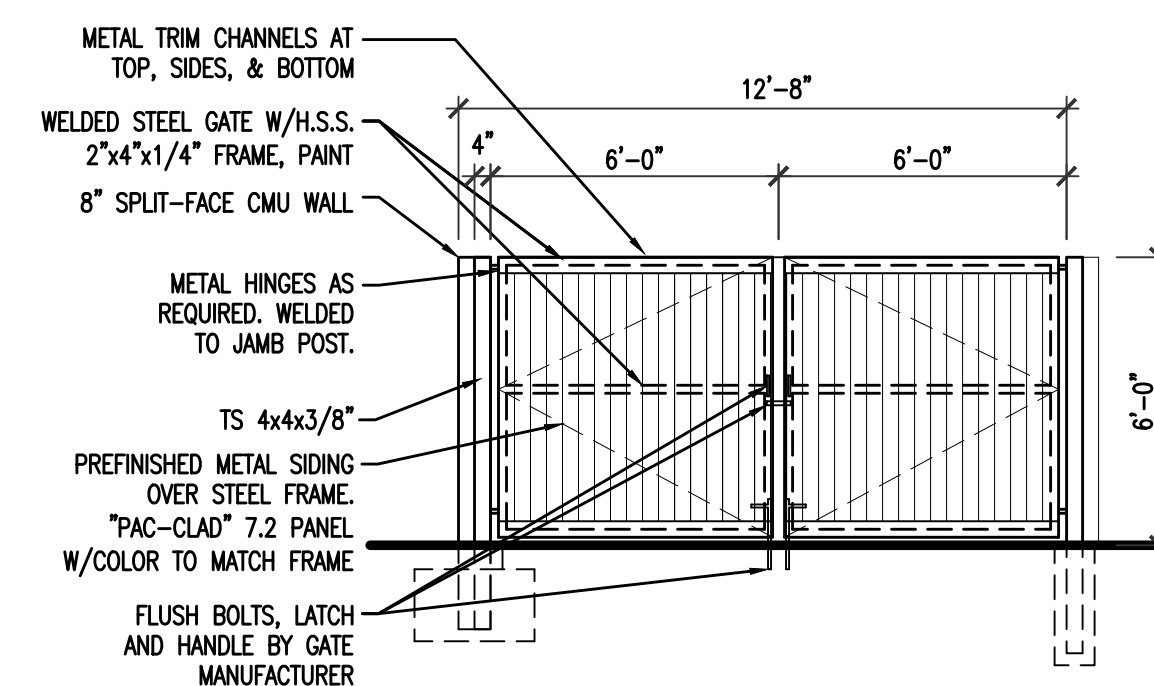
**1 TYPICAL CARPORT ELEVATION - SIDE**  
SCALE: 1/8" = 1'-0"



**2 10-BAY CARPORT ELEVATION - FRONT**  
SCALE: 1/8" = 1'-0"



**3 LARGE TRASH ENCLOSURE ELEVATION - FRONT**  
SCALE: 1/4" = 1'-0"



**4 SMALL TRASH ENCLOSURE ELEVATION - FRONT**  
SCALE: 1/4" = 1'-0"

PROJECT

**RIVER POINTE  
APARTMENTS  
EXPANSION**

SEAL



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**A5.4**  
PRELIMINARY  
EXTERIOR ELEVATIONS



**Keynotes:**

1. MONUMENT SIGN SIMILAR TO EXISTING RIVER POINTE APARTMENTS ENTRY SIGNAGE.
2. GATED ENTRY
  - 2.1. GATED VEHICLE ENTRY (RESIDENT + GUEST USE)
  - 2.2. KEYPAD KIOSK
  - 2.3. GATED VEHICLE ENTRY WITHOUT KEYPAD (RESIDENT USE ONLY)
3. DECORATIVE METAL FENCING, 4-FT TALL. SEE LANDSCAPE PLAN FOR DETAILS.
  - 3.1. GATE
4. SOLID VINYL FENCING, 6-FT TALL. SEE LANDSCAPE PLAN FOR DETAILS.
5. CARPORT ABOVE. SEE ARCHITECT'S PLAN FOR DETAILS.
6. TRASH ENCLOSURE. SEE ARCHITECT'S PLAN FOR DETAILS.
  - 6.1. LARGE TYPE TRASH ENCLOSURE
  - 6.2. SMALL TYPE TRASH ENCLOSURE
7. GARAGE UNIT TO BE UTILIZED FOR BUILDING MAINTENANCE. (ACTUAL UNIT MAY VARY)
8. PERMEABLE PAVEMENT / PERMEABLE PAVEMENT STORMWATER DRAINAGE RETENTION AREA. SIZE AND LOCATION OF SYSTEMS ARE CONCEPTUAL AND SUBJECT TO FINAL DESIGN.
9. ADA ACCESSIBLE RAMP
10. GROUND-LEVEL H.V.A.C. UNIT WITH SCREENING FENCE (TYP OF ALL)
11. GREENBELT CONNECTION
12. GRAVITY IRRIGATION STRUCTURE PER DRAINAGE DISTRICT No. 2 REQMTS.
13. GRAVITY IRRIGATION PIPING OF EXISTING DRAIN DITCH PER DRAINAGE DISTRICT No. 2 REQMTS.
14. BENCH

**Zoning Regulations:**

CURRENT ZONING: R-3  
 PROPOSED ZONING: R-3 (NO CHANGE)

BUILDING SETBACKS:  
 FRONT: 5-FT  
 SIDE: 15-FT  
 REAR: 70-FT

SITE UTILIZATION:  
 BUILDINGS: ±49,407-SF  
 IMPERVIOUS SURFACE: ±75,846-SF  
 LANDSCAPE: ±81,051-SF

**Project Summary:**

PROPERTY SIZE: ±4.99-AC (217,504-SF)  
 PARCEL NUMBER: R8191505455

TOTAL APARTMENT BUILDINGS: 4  
 TOTAL APARTMENT DWELLING UNITS: 108

APARTMENT UNIT MIX:  
 1-BEDROOM / 1-BATH UNITS: 22 (20%)  
 2-BEDROOM / 2-BATH UNITS: 86 (80%)

BUILDING NUMBER OF STORIES / BUILDING HEIGHT / TYPE\* / SQUARE FOOTAGE:  
 BUILDING A: 12 UNITS, 3-STORY, 35-FT  
 TYPE 3 / 4,903-SF PER LEVEL / 14,709-SF TOTAL  
 32 UNITS, 4-STORY, 45 FT  
 TYPE 2 / 6,896-SF PER LEVEL / 38,784-SF TOTAL  
 BUILDING B: 32 UNITS, 4-STORY, 45 FT  
 TYPE 3 / 11,522-SF PER LEVEL / 46,088-SF TOTAL  
 BUILDING C: 32 UNITS, 4-STORY, 45 FT  
 TYPE 3 / 11,522-SF PER LEVEL / 46,088-SF TOTAL  
 BUILDING D: 32 UNITS, 4-STORY, 45 FT  
 TYPE 3 / 11,522-SF PER LEVEL / 46,088-SF TOTAL

GARAGE BUILDINGS:  
 G-01 = 9-BAY HC TYPE / 2,464-SF TOTAL  
 G-02 = 10-BAY TYPE / 2,640-SF TOTAL  
 G-03 = 9-BAY TYPE / 2,112-SF TOTAL  
 G-04 = 10-BAY TYPE / 2,640-SF TOTAL

COMMUNITY:  
 MAIL KIOSK, BIKE STORAGE & ART STUDIO / 1,926-SF

CARPORITS: 1-STORY, 10-FT.

**PARKING CALCULATIONS:**

PARKING STALLS:	RATIO	REQUIRED	PROPOSED
1-BDRM UNITS	1/UNIT	22 SPACES	
2-BDRM UNITS	2/UNIT	172 SPACES	
GUESTS	0.5/UNIT	54 SPACES	
TOTAL		248 (2.3/UNIT)	198*

GARAGE PARKING: (\* = GARAGE SPACES INCLUDED IN TOTAL ABOVE)  
 SPACES REQUIRED: 1/UNIT: 108, 36  
 (37 GARAGES PROVIDED WITH ONE TO BE USED FOR BUILDING MAINTENANCE)

CARPORIT PARKING: (\* = CARPORT SPACES INCLUDED IN TOTAL ABOVE)  
 SPACES PROVIDED: 105

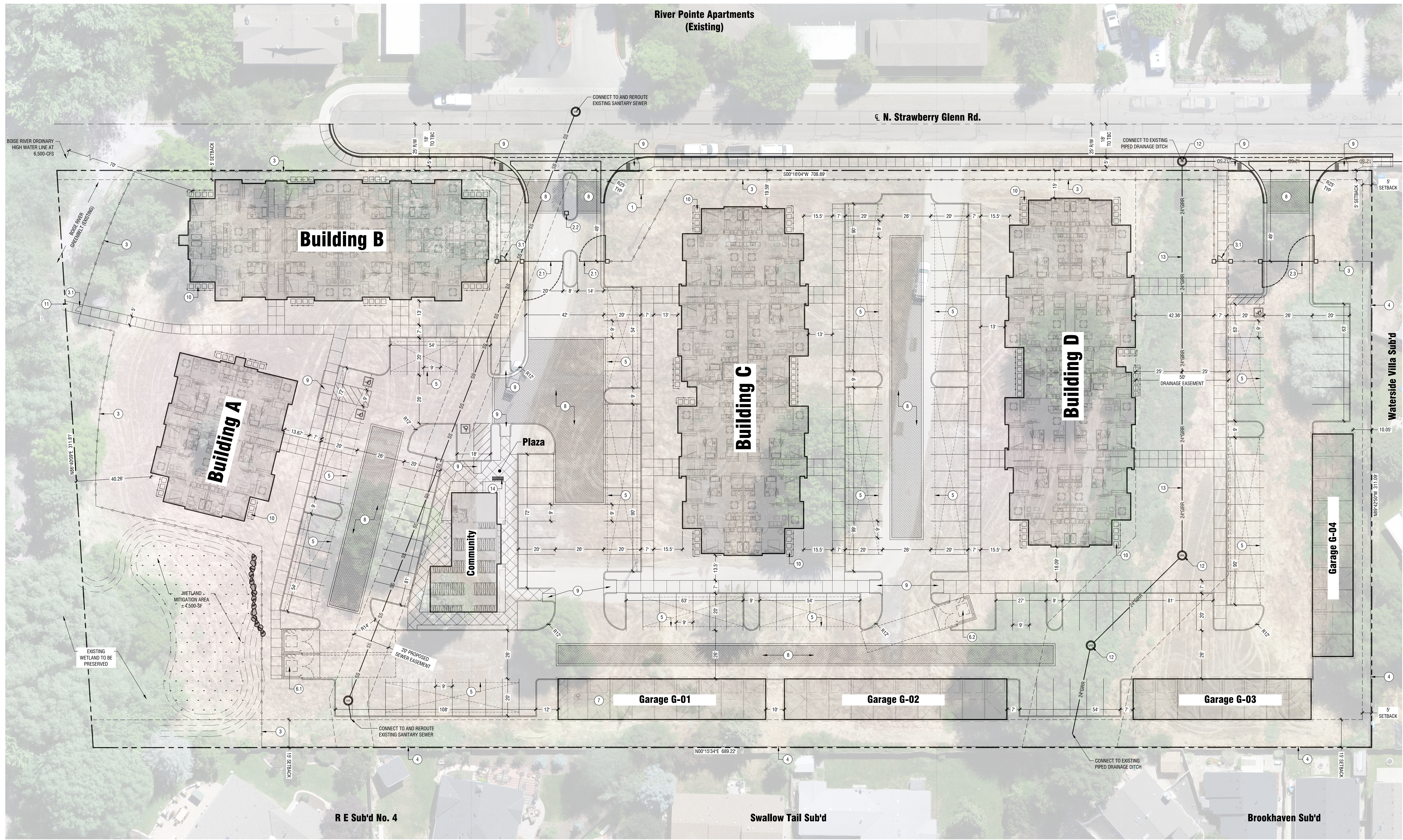
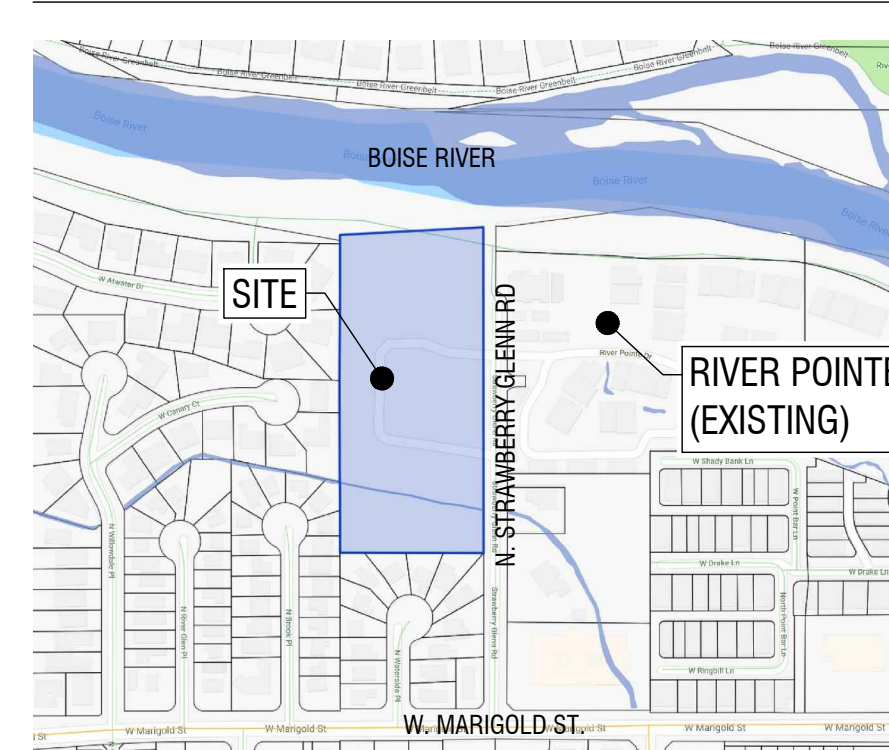
BIKE PARKING:  
 BIKE PARKING: 1.5/UNIT: 162

ACCESSIBLE PARKING: (\* = ACCESSIBLE SPACES INCLUDED IN TOTAL ABOVE)  
 GENERAL USE (COMMUNITY BUILDING): 1  
 BUILDING A/B: 2  
 BUILDING D: 1  
 GARAGE: 1  
 TOTAL: 5

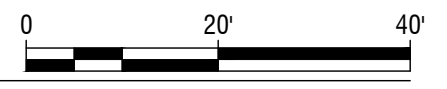
**Sheet Notes:**

1. ALL DIMENSIONS ARE MEASURED TO PROPERTY LINE, BUILDING WALL OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.
2. GRADING & DRAINAGE:
  - 2.1. THE PROJECT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA. PROJECT GRADING WILL BE DESIGNED TO ELEVATE ALL OCCUPIED BUILDINGS ABOVE THE ESTABLISHED BASE FLOOD ELEVATION. PROJECT DESIGN WILL CONFORM TO THE REQUIREMENTS OF GARDEN CITY CODE SECTION 8-3B.
  - 2.2. PROJECT GRADING WILL DIRECT STORMWATER TO DRAINAGE SYSTEMS DESIGNED TO CAPTURE AND RETAIN STORMWATER FROM THE DESIGN STORM IN ACCORDANCE WITH GARDEN CITY REQUIREMENTS.

**Vicinity Map:**



**Design Review - Site Plan**  
 Horizontal Scale: 1" = 20'



**River Pointe Apartments Expansion**  
**KW River Pointe Premiere, LLC**

6265 N. Strawberry Glenn Rd.  
 Garden City, Idaho 83714

Revisions:  
 1. \_\_\_\_\_

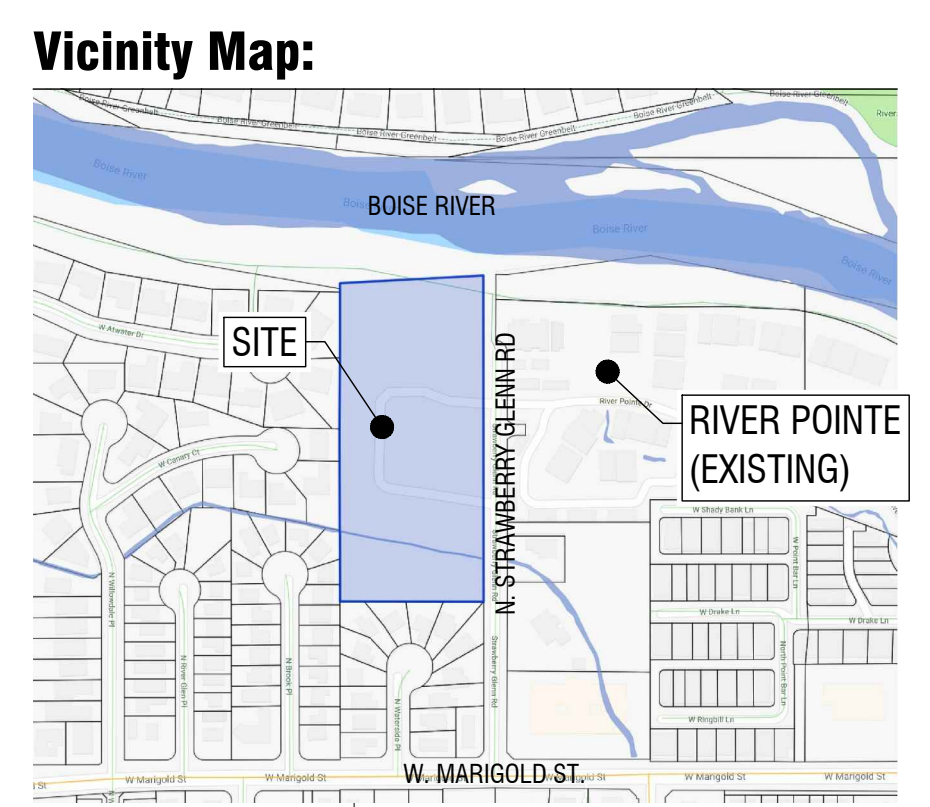
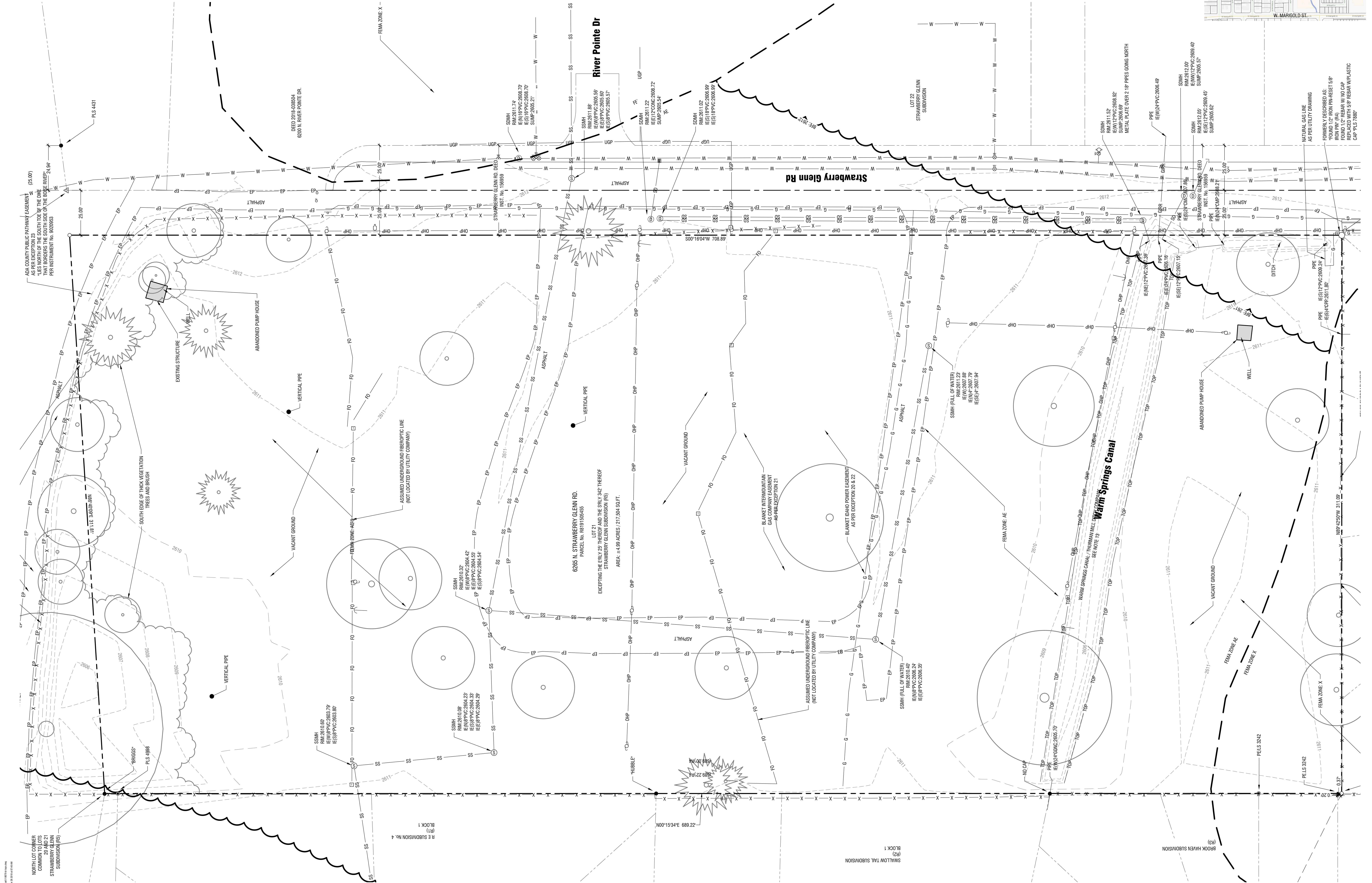
**NOT FOR CONSTRUCTION**

Project No.: 118075  
 Date of Issuance: 10-26-2016  
 Project Milestone: Design Review

**Design Review Site Plan**

**C100**





**Design Review - Topographic Survey**

Horizontal Scale: 1" = 20'

**River Pointe Apartments Expansion  
KW River Pointe Premiere, LLC**

6265 N. Strawberry Glenn Rd.  
Garden City, Idaho 83714

Revision	Description
1.	




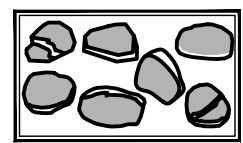
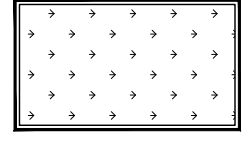
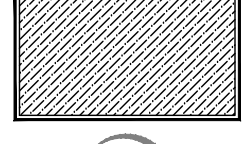

Project No.: 116105  
Date of Issuance: 11-26-2016  
Project Milestone: Design Review

**Design Review  
Topographic Survey**

**C101**



**Materials Legend**

-  TURF SOD
-  SANDSTONE BOULDERS  
3 - 4' (HT) x 2 - 3' (DIAMETER) - SEE  
DETAIL 5/L1.50.
-  NON-MOWN FESCUE GRASS BLEND
-  EMERGENT WETLAND GRASS BLEND IN WETLAND  
MITIGATION AREA.
-  EXISTING VEGETATION - RETAIN & PROTECT

**Keynotes**

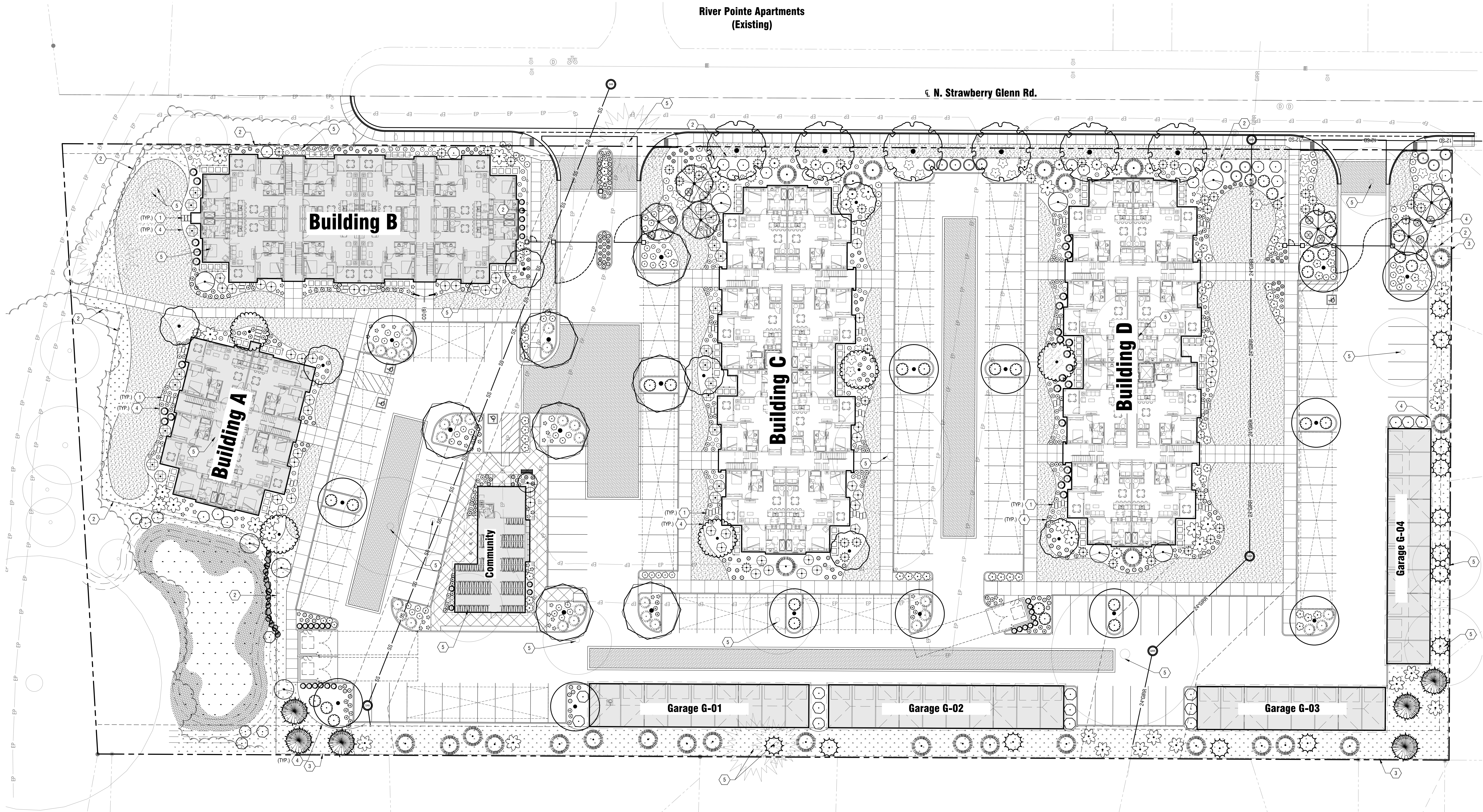
1. PRE-CAST CONCRETE PAVER STEPPING PATH.
2. 4' WROUGHT-IRON FENCE - SEE DETAIL 1/L1.50.
3. 6' SOLID VINYL FENCE - SEE DETAIL 2/L1.50.
4. PLANTER EDGE - CUT EDGE - SEE DETAIL 3/L1.50.
5. REMOVE EXISTING TREE.

**Landscape Material Log**

1. TURF SOD AREA - APPROX. 22,000 SF (0.51 ACRES)
2. NON-MOWN FESCUE GRASS BLEND AREA - APPROX. 16,180 SF (0.37 ACRES)
3. EMERGENT WETLAND GRASS BLEND AREA - APPROX. 2,650 SF (0.06 ACRES)
4. OPEN WETLAND MITIGATION AREA - APPROX. 2,400 SF (0.06 ACRES)
5. PLANTER BED (DECORATIVE BARK MULCH) AREA - APPROX. 28,550 SF (0.66 ACRES)
6. EXISTING VEGETATION AREA - APPROX. 8,075 SF (0.19 ACRES)

**Landscape Plan Notes:**

1. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, PLAN SHEET C1.00.
2. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
3. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMANS NATIONAL STANDARD SPECIFICATIONS.
4. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS/L1.50 AND CONTRACT SPECIFICATIONS.
5. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
6. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
7. ALL NON-TURF PLANTERS SHALL RECEIVE 3" LAYER OF DECORATIVE BARK MULCH, UNLESS OTHERWISE NOTED.
8. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
16. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
17. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
18. STORM WATER TO BE MANAGES USING PERMEABLE PAVERS IN PARKING AREAS. REFER TO SITE PLAN C1.00 FOR MORE INFORMATION.



**River Pointe Apartments Expansion  
KW River Pointe Premiere, LLC**

6265 N. Strawberry Glenn Rd.  
Garden City, Idaho 83714

Revisions

1.	
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Project No. 116079  
Date of Issuance: 11.26.2016  
Project Milestone: Design Review

**Design Review  
Landscape Plan**

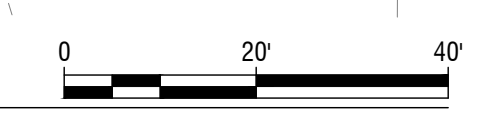
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R E Sub'd No. 4

Swallow Tail Sub'd

Brookhaven Sub'd

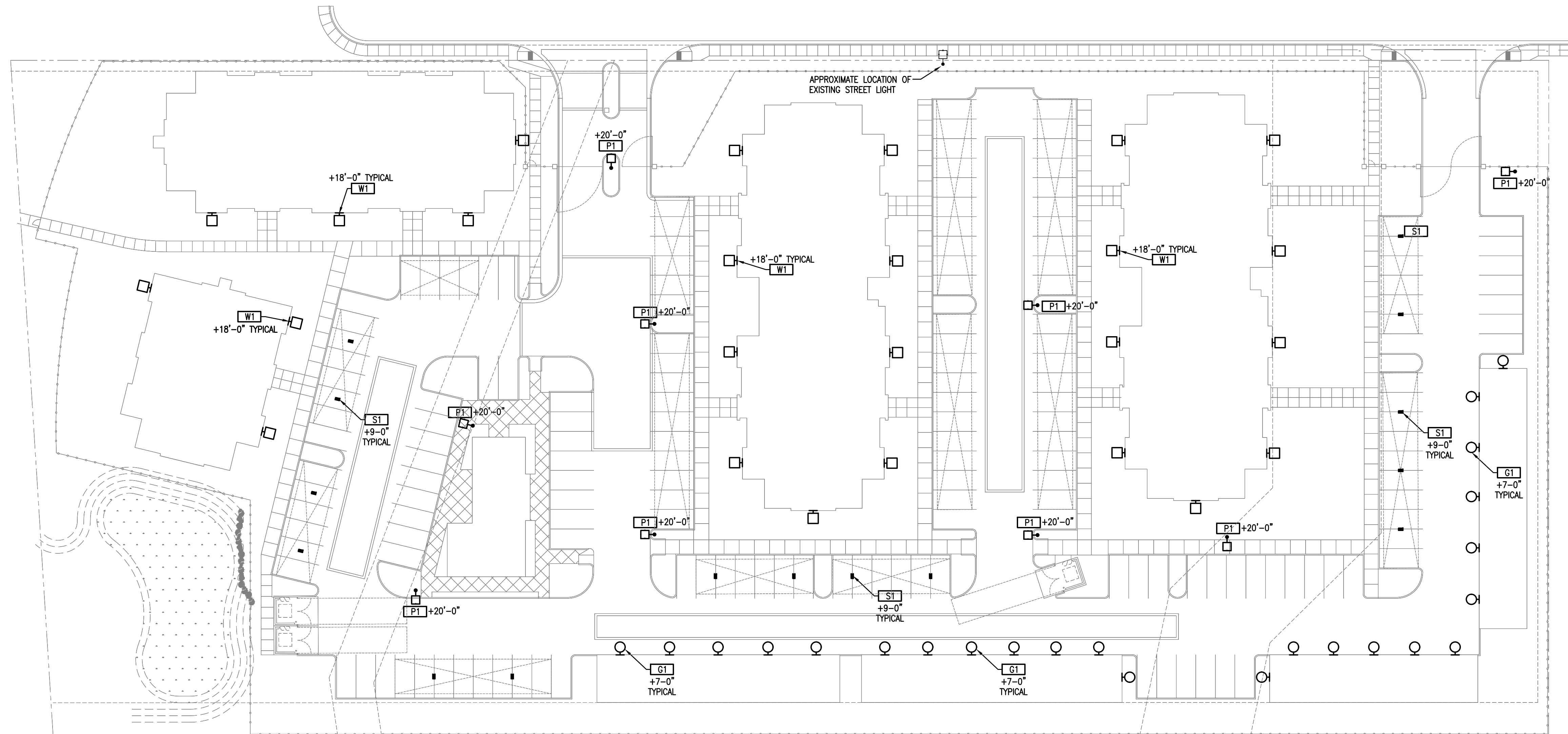
**Design Review - Landscape Plan**  
Horizontal Scale: 1" = 20'











**1 ELECTRICAL SITE PLAN**  
SCALE: 1" = 30'-0"



**GENERAL NOTES:**

- A. CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATING SERVICE PRIOR TO EXCAVATION FOR ELECTRICAL WORK.
- B. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL OTHER SITE DISCIPLINES INCLUDING BUT NOT LIMITED TO TRADES ASSOCIATED WITH WATER, SEWER, AND GAS INSTALLATIONS.
- C. ROUTE ALL EXTERIOR LIGHTING (INCLUDING SOFFIT AND AREA LIGHTING SHOWN ON SHEET E2.01 AND E2.11) THROUGH A LIGHTING CONTRACTOR. LOCATE LIGHTING CONTRACTOR IN ELECTRICAL ROOM. PROVIDE PHOTO-CELL ON ROOF AND ELECTRO-MECHANICAL 7-DAY TIME CLOCK ADJACENT TO CONTACTOR CABINET. REFER TO DETAIL X, SHEET XXX.
- D. ELECTRICAL CONTRACTOR SHALL COORDINATE UTILITY WORK REQUIRED BY IPCO AND SHALL FORWARD IPCO WORK ORDER INVOICE TO OWNER FOR PAYMENT BY OWNER.
- E. PROVIDE HOUSE SIDE SHIELDS ON ALL P1 POLE LIGHTS.

**KEYED NOTES:**

1. PROVIDE (1) 4"CO WITH PULL CORD FOR TELEPHONE SERVICE CABLE. VERIFY EXACT LOCATION OF CONDUIT WITH TELEPHONE COMPANY.
2. APPROXIMATE ROUTING/LOCATION OF IPCO PRIMARY UNDERGROUND CONDUIT/CONDUCTORS. SHOWN FOR REFERENCE ONLY. IPCO PRIMARY CONDUIT, CONDUCTORS, AND TERMINATIONS BY IPCO.
3. NEW TRANSFORMER AND PAD BY IPCO. COORDINATE WITH IPCO AS REQUIRED FOR CONSTRUCTION SCHEDULE.
4. FUTURE SIGN. 1"CO TO ABOVE PANEL LA
5. REFER TO DETAIL XX, SHEET XXX, ONE-LINE (RISER) DIAGRAM FOR CONDUIT AND WIRE REQUIREMENTS.
6. REFER TO DETAIL XX, SHEET XXX FOR TYPICAL TRENCHING DETAIL.
7. REFER TO DETAIL XX, SHEET XXX FOR POLE BASE DETAIL. TYPICAL ALL LIGHT POLE BASES.
8. METER, METER BASE, AND CT CABINET BY IPCO.
9. APPROXIMATE LOCATION OF MAIN SWITCHBOARD 'MSB.' REFER TO SHEET XXX FOR EXACT LOCATION.
10. APPROXIMATE LOCATION OF TELEPHONE TERMINAL BOARD. REFER TO SHEET XXX FOR EXACT LOCATION.

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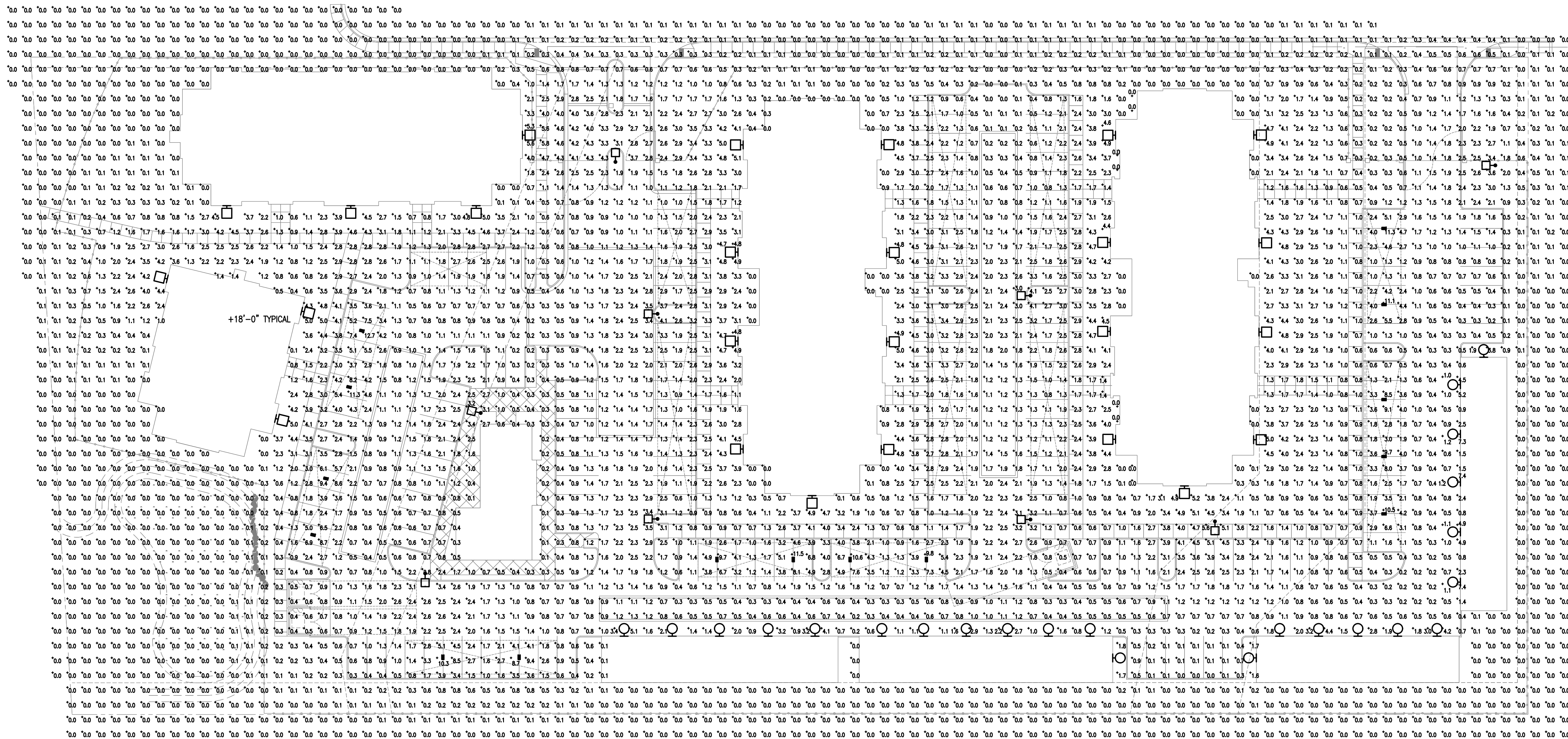
REVISIONS

SHEET

**E1.0**

ELECTRICAL SITE PLAN





**1 SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 30'-0"  
NORTH

Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Filename	Wattage
☐	G1	Lithonia Lighting	LL LED 30K MVOLT PE DBD1XD	LL Wallpack (Standard)	LED	1	833	1	LL_LED_30K_MVOLT_PE_DDBT_XD.ies	8.36
⊕	P1	Lithonia Lighting	KAD LED 30C 1000 30K R3 MVOLTHS	KAD LED, 30 LED, 1 AMP MVOLT DRIVER, 3000K, TYPE 3 OPTICS WITH HOUSE SIDE SHIELDS.	LED	1	8524	1	KAD_LED_30C_1000_30K_R3_MVOLT_HS.ies	108
⊙	S1	Lithonia Lighting	DMW2 3000LM WD PFL MVOLT 30K 80CRI	DMW2 L24 3000LM WD PFL MVOLT G21 30K 80CRI (GLEDS)	LED	1	2628	1	DMW2_3000LM_WD_PFL_MVOL_T_30K_80CRI.ies	27.85
⊞	W1	Lithonia Lighting	KAXW LED P2 30K R4 MVOLT EGS	KAXW LED, PERFORMANCE PACKAGE 2, 3000K, TYPE 4, 120-277V, HOUSE-SIDE SHIELD	LED	1	5661	1	KAXW_LED_P2_30K_R4_MVOLT_EGS.ies	49

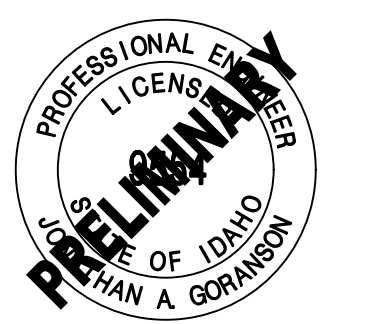
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	11.5 fc	0.0 fc	N/A	N/A

**GENERAL NOTES:**

- VALUES SHOWN INDICATE ESTIMATED ILLUMINATION LEVEL AT GRADE IN FOOT-CANDLES.
- LUMINAIRE SCHEDULE PROVIDED ON THIS SHEET IS FOR REFERENCE PURPOSES ONLY. FOR DETAILED INFORMATION SUCH AS MANUFACTURER AND PART NUMBER, REFER TO THE LUMINAIRE SCHEDULE ON SHEET Ex.xx.

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Catalog Number
Notes
Type

**TYPE G1**

### Contractor Select™ LIL LED Wall Mount Lighting

The Lithonia Lighting™ LIL wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

- FEATURES:**
- Replaces up to 100W incandescent lamps, saves 90% energy
  - Elegant and compact LED solution, Photocell and battery pack options available
  - Back box accessory available for conduit wiring



Catalog Number	UPC	Description	Lumens	Wattage	CCT	Voltage	Finish	Pallet Qty.
LIL LED 30K MVOLT DBD2D	791848072998	WALL PACKS 100W INCANDESCENT/30W COMPACT FLUORESCENT	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
*LIL LED 30K MVOLT P1 DBD2D	791848073025	WALL PACKS 100W INCANDESCENT/30W COMPACT FLUORESCENT	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
LIL LED 40K MVOLT DBD2D	791848072981	WALL PACKS 100W INCANDESCENT/30W COMPACT FLUORESCENT	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
*LIL LED 40K MVOLT P1 DBD2D	791848072982	WALL PACKS 100W INCANDESCENT/30W COMPACT FLUORESCENT	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
**LIL LED 80 DBD2D	791848073071	BACK BOX CONDUIT	N/A	N/A	N/A	N/A	TEXTURED DARK BRONZE	60

More configurations are available. [Click here](#) or visit [www.acuitybrands.com](http://www.acuitybrands.com) and search for LIL LED.

\*P1 and P options can be ordered together.

\*\*P1 option is not available with E option.

Accessories: Order to separate catalog number.

\*LIL LED 80 DBD2D Back box for conduit entry applications, dark bronze - C1 Code: 24993931

CONTRACTOR SELECT LIL LED

Page 1 of 2



Catalog Number
Notes
Type

**TYPE S1**

### FEATURES & SPECIFICATIONS

**INTERIOR USE** — For areas that require good vertical illumination and excellent glare control at low mounting heights. Ideal for open areas, retail spaces and aisles. **Certain airborn contaminants can diminish the integrity of acrylic and polycarbonate.** [Click here for Acrylic/Polycarbonate Compatibility table for suitable uses.](#)

**CONSTRUCTION** — One-piece 5/8" rated fiberglass housing with integral perimeter channel utilizes continuous pressure-in-place NEMA 4X gasket. Simple two-piece design consists of housing and optical assembly to facilitate installation. **Optional** surface-mount bracket for hoisting and keep from becoming a hindrance during install.

**OPTICS** — Injection-molded, acrylic lens (80° beam) provides high impact resistance comparable to 300% DE. T1 rated for outdoor use. Lens resists breaking, yellowing or becoming brittle over time. UV stabilizer polycarbonate diffuser available (80° beam) clear or frosted for additional impact strength. Polycarbonate lens is recommended for lower mounting heights where vandalism protection is desired.

**ELECTRICAL** — Tool-less one-piece optical assembly combines LEDs and lens into one component. Optical assembly easily connects to housing with plug and play lumen, eliminating time-consuming wiring connections. High efficiency drivers operate 120-480V offered with 3-Wire dimming, allowing granular control when coupled with wireless networking controls. Integral surge protection tested in accordance with IEEE/ANSI 62.41.2 to commercial indoor standards 1.5kW/30A.

**INSTALLATION** — Two-piece design makes installations faster than ever by simplifying wiring connections. Power connections is easily accommodated through pre-drilled holes at each end, optional wet location fittings available for maximum flexibility. Stainless steel (316) surface spring-mounting brackets with ball wires standard (2 included) allow for ceiling, wall or suspended mount.

Smart controlled by others when pendant mounting. Factory installed junction box, optic accommodates up to 4X sized boxes and includes integrated gasket to maintain wet location ratings. Quick Mount Bracket (DMW) ships installed on fixture and is recommended for surface surface mount installs. Ideal for end-to-end installation on large jobs.

**LISTINGS** — CSA Certified to UL and UL standards. FT rating makes luminaire suitable for wet locations without covered outlets. NEMA 4X rated. IP ratings: IP65 and IP66 rated. 1500 PSI hose-down. See page 3 for details.

NSF listed for Splash Zone II.

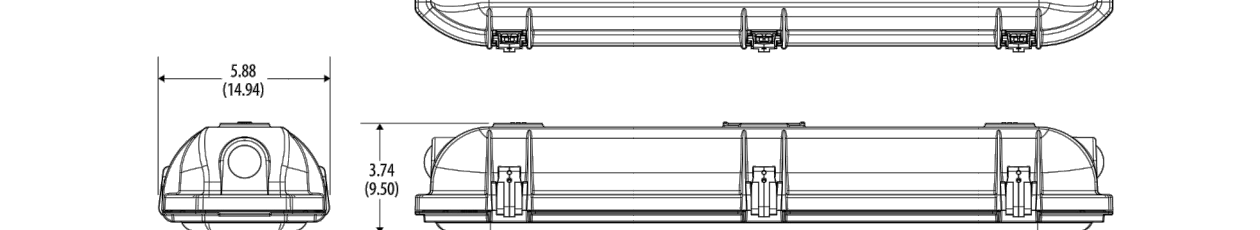
Designlights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

### DIMENSIONS

All dimensions in inches (shown) unless otherwise noted.



### PHOTOMETRICS

Please see [www.lithonia.com](http://www.lithonia.com).

INDUSTRIAL

LITHONIA™ DMW2 LINEAR SURFACE-LED ENCLOSED AND GASKETED



### WSR LED Architectural Wall Sconce

Went available with RUI option only.

Catalog Number
Notes
Type

**TYPE G2**

### Specifications

**Height:** 7-1/4" (18.4 cm)  
**Width:** 18" (45.7 cm)  
**Depth:** 9" (22.8 cm)  
**Weight:** 17.8 lbs (8.1 kg)

### Optional Back Box (BBW)

**Height:** 4" (10.2 cm)  
**Width:** 5-1/2" (14.0 cm)  
**Depth:** 1-1/2" (3.8 cm)



### Introduction

Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WSR LED is ideal for replacing existing 50–250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

### Ordering Information

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (optional)
WSR LED	P1	30K	S82 Type I	MVOLT <sup>1</sup>	Shipped included (back)	DDBD Dark bronze DLBD Black NLBD Natural aluminum	
	P2	40K	S83 Type II	120	Shipped separately <sup>2</sup>	DF Double face (2x, 2x, 4x) <sup>3</sup> DSSD Sandstone DWBW White DWBK Black DWDW White DWDK Dark bronze DWNW Natural aluminum	
	P3	50K	S84 Type IV	208	Shipped separately <sup>2</sup>	DF Double face (2x, 2x, 4x) <sup>3</sup> DSSD Sandstone DWBW White DWBK Black DWDW White DWDK Dark bronze DWNW Natural aluminum	
	P4	50K	S84 Type IV	240	Shipped separately <sup>2</sup>	DF Double face (2x, 2x, 4x) <sup>3</sup> DSSD Sandstone DWBW White DWBK Black DWDW White DWDK Dark bronze DWNW Natural aluminum	

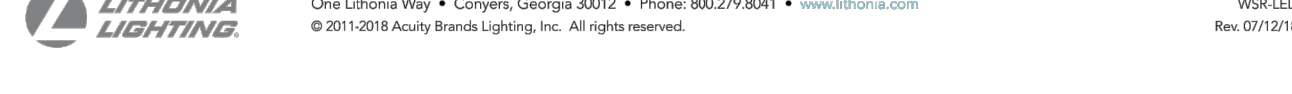
### Emergency Battery Operation

The emergency battery backup (EDWVC & EDWV optional) is integral to the luminaire - no external heating required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All EDWVC and EDWV configurations include an independent secondary driver with an integral relay to immediately disconnect AC power load.

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per independent backup-up time section 1026 and 1076A.101 in the Safety Code Section 7.9, provided the luminaire is not mounted at an inappropriate height and illuminates an open space with no major obstructions.

The examples below show illuminance of 1 f for average and 0.1 f minimum of the P1 power package Type IV product in emergency mode.



WSR P1 LED 40K 50W MVOLT EDWVC 10' x 10' Gridlines  
\*and 12" Mounting Height

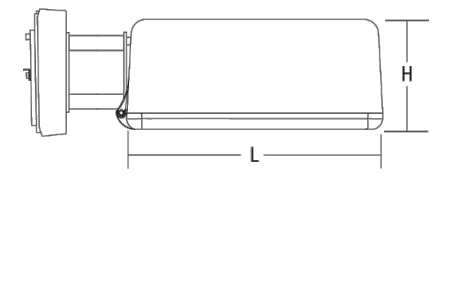
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### KAD LED LED Area Luminaire

Went available with RUI option only.

**Height:** 12-1/2" (31.8 cm)  
**Width:** 17-1/2" (44.3 cm)  
**Depth:** 7-1/8" (18.1 cm)  
**Weight (max):** 36 lbs (16.4 kg)



### Ordering Information

Series	LEDs	Driver current	CCT	Distribution	Voltage	Mounting	Shipped included	Shipped separately
KAD LED	28C <sup>1</sup>	2010mA	5700 mK	30K 3000K	82 Type II	MVOLT 277V	SPRMBK... Square pole universal mounting adapter <sup>4</sup>	DDBD Dark bronze DLBD Black NLBD Natural aluminum
	30C <sup>1</sup>	3010mA	7000 mK	40K 4000K	83 Type III	120 <sup>2</sup> 347 <sup>3</sup>	RUMBAK... Round pole universal mounting adapter <sup>4</sup>	DWBW White DWBK Black DWDW White DWDK Dark bronze DWNW Natural aluminum
	40C <sup>1</sup>	4010mA	1000 1000 mK	50K 5000K	84 Type IV	208 <sup>2</sup> 480 <sup>3</sup>	SPD... Square pole SPD... Round pole WBD... Wall bracket WWD... Wood pole or wall	DWBW White DWBK Black DWDW White DWDK Dark bronze DWNW Natural aluminum

### Options

**Shipped installed**

- PER5: 100W recessed back box (no controls)
- PER7: Seven wire recessed only (no controls)
- DF: Double face (2x, 2x, 4x)<sup>3</sup>
- DF: Double face (2x, 2x, 4x)<sup>3</sup>
- PR: 180° motion/ambient sensor, 8-15° mounting height, ambient sensor enabled at 34"
- PR1: 180° motion/ambient sensor, 15-30° mounting height, ambient sensor enabled at 34"

**Shipped separately<sup>2</sup>**

- DDBD Dark bronze
- DLBD Black
- NLBD Natural aluminum
- DWBW White
- DWBK Black
- DWDW White
- DWDK Dark bronze
- DWNW Natural aluminum

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### FEATURES & SPECIFICATIONS

**INTERIOR USE** — These specifications are for the standard only. Check with factory for Canadian specifications. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and footcandle.

**CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform diameter and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (1.1 gage, 1.196") or 50 KSI (1 gage, 1.191"). Shaft is one-piece with a full length longitudinal high-frequency electric resistance weld. Uniformly square to non-welded shaft sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

**Pole Top:** A flush non-removable top cap is provided for all poles that will receive drilling patterns for side-mount luminaires are assemblies or wire-rodded with FT optics.

**Hardware:** A reinforced handle with grounding provision is provided at 18" from the base on side A. Positioning the handle lower may not be possible and requires engineering review, consult Tech Support Division for further information. Every handle includes a cover and cover attachment hardware. The hardware has a nominal dimension of 2.1" x 5".

**Base Cover:** A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with snap-fit assembly. Additional base cover options are available upon request.

**Anchor Base/ Bolt:** Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards, grade 55, 55 KSI minimum yield strength and tensile strength of 75-95 KSI. Top threaded portion (nominal 1.7") is hot-dipped galvanized per ASTM A-153.

**Hardware:** All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized zinc-plated carbon steel or stainless steel.

**FINISH:** — Electro-deposit standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Terra Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to hot-dipped galvanized, flat or hot-dipped galvanized, 90° Gloss, Custom Color and Extended Warranty Finishes. Factory applied primer paint finish is available for customer field-paint applications.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

OUTDOOR

Anchor Base Poles

### SSS

SQUARE STRAIGHT STEEL

See features next page.

POLE-SSS



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### REVISIONS

### SHEET

# E1.2

SITE LIGHTING CUTSHEETS



208.288.2181 Project:18TA04