



Mayor Tammy de Weerd

City Council Members:

Luke Cavener
Ty Palmer
Treg Bernt

Joe Borton
Genesis Milam
Anne Little Roberts

TRANSMITTALS TO AGENCIES FOR COMMENTS ON DEVELOPMENT PROJECTS WITH THE CITY OF MERIDIAN

To ensure that your comments and recommendations will be considered by the Meridian Planning and Zoning Commission please submit your comments and recommendations to Meridian City Hall

To: Attention C.Jay Coles, City Clerk

By: January 26, 2018

Transmittal Date: January 5, 2018

File No: H-2017-0159 AZ, CPAM, PP

Hearing Date: February 1, 2018

Request: An Amendment to the Future Land Use Map Contained in the Comprehensive Plan to Change The Land Use Designation on 14.82 Acres of Land From the MU-R (Mixed Use Regional) to the Industrial Designation and an Annexation and Zoning of 18.33 Acres of Land with an I-L Zoning District and A Preliminary Plat Consisting of 10 Building Lots on 22.98 Acres of Land for Seyam East Subdivision

By: Volante Investments, LLLP

Location of Property or Project: North Side of East Franklin Road and East of North Touchmark Way

Ryan Fitzgerald (No FP)	Meridian School District
Gregory Wilson (No FP)	Meridian Post Office
Steven Yearsley (No FP)	Ada County Highway District
Treg Bernt (No FP)	Ada County Development Services
Rhonda McCarvel (No FP)	Central District Health
Bill Cassinelli (No FP)	COMPASS
Jessica Perreault (No FP)	Nampa Meridian Irrigation District
Tammy de Weerd, Mayor	Settlers Irrigation District
City Council	Idaho Power Company
Sanitary Services	Century Link
Building Department	Intermountain Gas Co.
Fire Department	Idaho Transportation Department
Police Department	Ada County Associate Land Records
City Attorney	Downtown Projects
City Public Works	Meridian Development Corporation
City Planner	Historical Preservation Comm.
Parks Department	South of RR/SW Meridian
Economic Development	NW Pipeline
New York Irrigation District	Boise-Kuna Irrigation District
Boise Project Board of Control – Tim Paige	

Hearing Date: February 1, 2018

File No.: H-2017-0159

Project Name: Seyam East Subdivision

Request: Request for:

Amendment to the Future Land Use Map contained in the Comprehensive Plan to change the land use designation on 14.82 acres of land from the MU-R (Mixed Use Regional) to the Industrial designation;
Annexation & zoning of 18.33 acres of land with an I-L zoning district; and,
Preliminary plat consisting of 10 building lots on 22.98 acres of land, by
Volante Investments, LLLP.

Location: The site is located on the north side of E. Franklin Road, east of N. Touchmark Way in the south ½ of Section 9, Township 3N., Range 1E.



Planning Division
DEVELOPMENT REVIEW APPLICATION

STAFF USE ONLY:
Project name: Seyam East
File number(s): H-2017-0159
Assigned Planner: Sonya Allen
Related files:

Type of Review Requested (check all that apply)

- Accessory Use
Administrative Design Review
Alternative Compliance
Annexation and Zoning
Certificate of Zoning Compliance
City Council Review
Comprehensive Plan Map Amendment
Comprehensive Plan Text Amendment
Conditional Use Permit
Conditional Use Modification
Development Agreement Modification
Final Plat
Final Plat Modification
Planned Unit Development
Preliminary Plat
Private Street
Property Boundary Adjustment
Rezone
Short Plat
Time Extension: Director/ Commission/Council (circle one)
UDC Text Amendment
Vacation: Director/ Council (circle one)
Variance
Other

Applicant Information

Applicant name: Volante Investments LLLP Phone: 208.887.7994
Applicant address: 3084 E. Lanark St. Email: bmiller@vanauker.com
City: Meridian State: ID Zip: 83642

Applicant's interest in property: [X] Own [] Rent [] Optioned [] Other
Owner name: Same Phone:
Owner address: Email:
City: State: Zip:

Agent/Contact name (e.g., architect, engineer, developer, representative): Brad Miller
Firm name: Volante Investments LLLP Phone: 208.887.7994
Agent address: 3084 E. Lanark St. Email: bmiller@vanauker.com
City: Meridian State: ID Zip: 83642

Primary contact is: [] Applicant [] Owner [X] Agent/Contact

Subject Property Information

Location/street address: North side of Franklin east of Eagle Road Township, range, section: 3N., 1E., S9
Assessor's parcel number(s): R7820150030, S1109438451, S1109438587, S1109438785, S1109438831 Total acreage: 23 Zoning district: RUT

Project/subdivision name: Seyam Subdivision East

General description of proposed project/request: Comp Plan Map Amendment to house wholesale distribution and some light assembly and/or manufacturing.

Proposed zoning district(s): I-L

Acres of each zone proposed: 23

Type of use proposed (check all that apply):

Residential Office Commercial Employment Industrial Other _____

Who will own & maintain the pressurized irrigation system in this development? NMID

Which irrigation district does this property lie within? Nampa Meridian Irrigation District

Primary irrigation source: Surface Water Secondary: _____

Square footage of landscaped areas to be irrigated (if primary or secondary point of connection is City water): _____

Residential Project Summary (if applicable)

Number of residential units: 0 Number of building lots: 10

Number of common lots: 0 Number of other lots: 0

Proposed number of dwelling units (for multi-family developments only):

1 bedroom: _____ 2-3 bedrooms: _____ 4 or more bedrooms: _____

Minimum square footage of structure (excl. garage): _____ Maximum building height: _____

Minimum property size (s.f.): _____ Average property size (s.f.): _____

Gross density (Per UDC 11-1A-1): _____ Net density (Per UDC 11-1A-1): _____

Acreage of qualified open space: _____ Percentage of qualified open space: _____

Type and calculations of qualified open space provided in acres (Per UDC 11-3G-3B): _____

Amenities provided with this development (if applicable): _____

Type of dwelling(s) proposed: Single-family Detached Single-family Attached Townhouse

Duplex Multi-family Vertically Integrated Other _____

Non-residential Project Summary (if applicable)

Number of building lots: _____ Common lots: _____ Other lots: _____

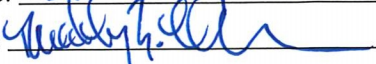
Gross floor area proposed: _____ Existing (if applicable): _____

Hours of operation (days and hours): _____ Building height: _____

Total number of parking spaces provided: _____ Number of compact spaces provided: _____

Authorization

Print applicant name: BRADLEY E. MILLER

Applicant signature:  Date: 12/5/17



November 7, 2017

City of Meridian
33 E. Broadway Avenue
Meridian, ID 83642

Re: Franklin Commercial Subdivision – Comprehensive Plan Modification, Annexation,
Zoning and Preliminary Plat - Narrative

Dear City of Meridian:

Volante Investments, LLLP and Ronald W. Van Auker are applying for the above referenced approvals for 23 acres on the north side of Franklin Road to the east of Eagle Road. The westerly most 8 acres of the subject property has been annexed and is zoned Light Industrial. The 3 – 5 acre parcels to the east have not been annexed and are zoned RUT in Ada County. We desire the annexation of this additional 15 acres and request light industrial zoning. We also would like to divide the 23 acres into 10 individual lots of an approximate size of 2 acres.

The majority of the area bounded by Eagle, Franklin, Pine and Cloverdale is industrially zoned with several retail uses and the Lewis and Clark Middle School. We propose to extend all utilities to the subject property and construct an east west roadway with an additional roadway connecting to Franklin Road.

We anticipate these lots will be home to wholesale distribution uses with some light assembly and light manufacturing. There will be no unsightly uses or uses which produce offensive noise or smells. There is a shortage of light industrial zoned property in the City of Meridian and the ideal location for such zoning is along the railroad tracks and near major arterials which this property is.

Van Auker Companies has been developing industrial properties in the Treasure Valley since 1969. Our approach is to build and lease the buildings which requires us to make sure that developments are occupied by compatible uses and the buildings are well maintained. We appreciate your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bradley E. Miller', is written over a horizontal line. The signature is fluid and cursive.

Bradley E. Miller



3084 East Lanark Street
Meridian, Idaho 83642
(208) 887-7994 tel.
(208) 887-7998 fax

January 4, 2018

City of Meridian
33 E. Broadway Avenue
Meridian, ID 83642

Re: Seyam East Subdivision – Comprehensive Plan Modification, Annexation, Zoning and Preliminary Plat - Narrative

Dear City of Meridian:

Volante Investments, LLLP and Ronald W. Van Auker are applying for the above referenced approvals for 23 acres on the north side of Franklin Road to the east of Eagle Road. The westerly most 8 acres of the subject property has been annexed and is zoned light industrial. The 3 – 5 acre parcels to the east have not been annexed and are currently zoned RUT in Ada County. We desire the annexation of this additional 15 acres and request light industrial zoning. We would also like to divide the 23 acres into 10 individual lots of an approximate size of 2 acres.

The request for the Comprehensive Plan Modification is based on the uses surrounding the subject property and the shortage of light industrial property in the City of Meridian. The subject property is located on the industrial corridor which runs on the north side of Franklin Road extending from Maple Grove Road to 10 Mile Road. Other than commercial uses at the major intersections of Milwaukee Road and Eagle Road, the entire north side of Franklin Road is light industrial uses.

There is a limited amount of industrial property in the City of Meridian and notable demand. We have developed and own a significant number of industrial buildings in the City of Meridian. Industrial development is an essential component of the economic vitality of a city and the subject property is some of the only remaining undeveloped property along the Franklin Road industrial corridor.

Page Two
City of Meridian
January 4, 2018

The majority of the area bounded by Eagle Road, Franklin Road, Pine Avenue and Cloverdale Road is industrially zoned with several retail uses and the Lewis and Clark Middle School. We propose to extend all utilities to the subject property and extend the east west roadway with an additional roadway connecting to Franklin Road.

We anticipate these lots will be home to wholesale distribution uses with some light assembly and light manufacturing. There will be no unsightly uses or uses which produce offensive noise or smells.

The Van Auker Companies have been developing industrial properties in the Treasure Valley since 1969. Our approach is to build and lease the buildings which requires us to make sure our developments are occupied by compatible uses and the buildings are well maintained. We appreciate your consideration.

Sincerely,



Bradley E. Miller



J-U-B ENGINEERS, INC.

J-U-B COMPANIES



THE LANGDON GROUP



GATEWAY MAPPING INC.

Seyam Subdivision East - Annexation

Boundary Description

Project Number 10-16-012 December 19, 2017

A parcel of land situated in the southwest quarter of the southeast quarter of Section 9, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, and being more particularly described as follows:

BEGINNING at the southwest corner of the southwest quarter of the southeast quarter (south quarter-section corner) of Section 9, Township 3 North, Range 1 East, Boise Meridian, which bears S89°20'13"E, 2706.28 feet from the southwest corner of Section 9:

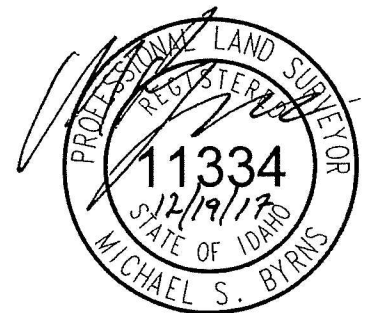
Thence N00°48'14"E, 1257.64 feet along the west line of the southwest quarter of the southeast quarter to the north right-of-way line of the Union Pacific Railroad;

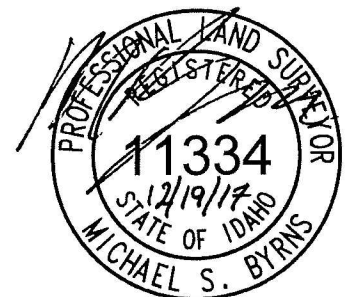
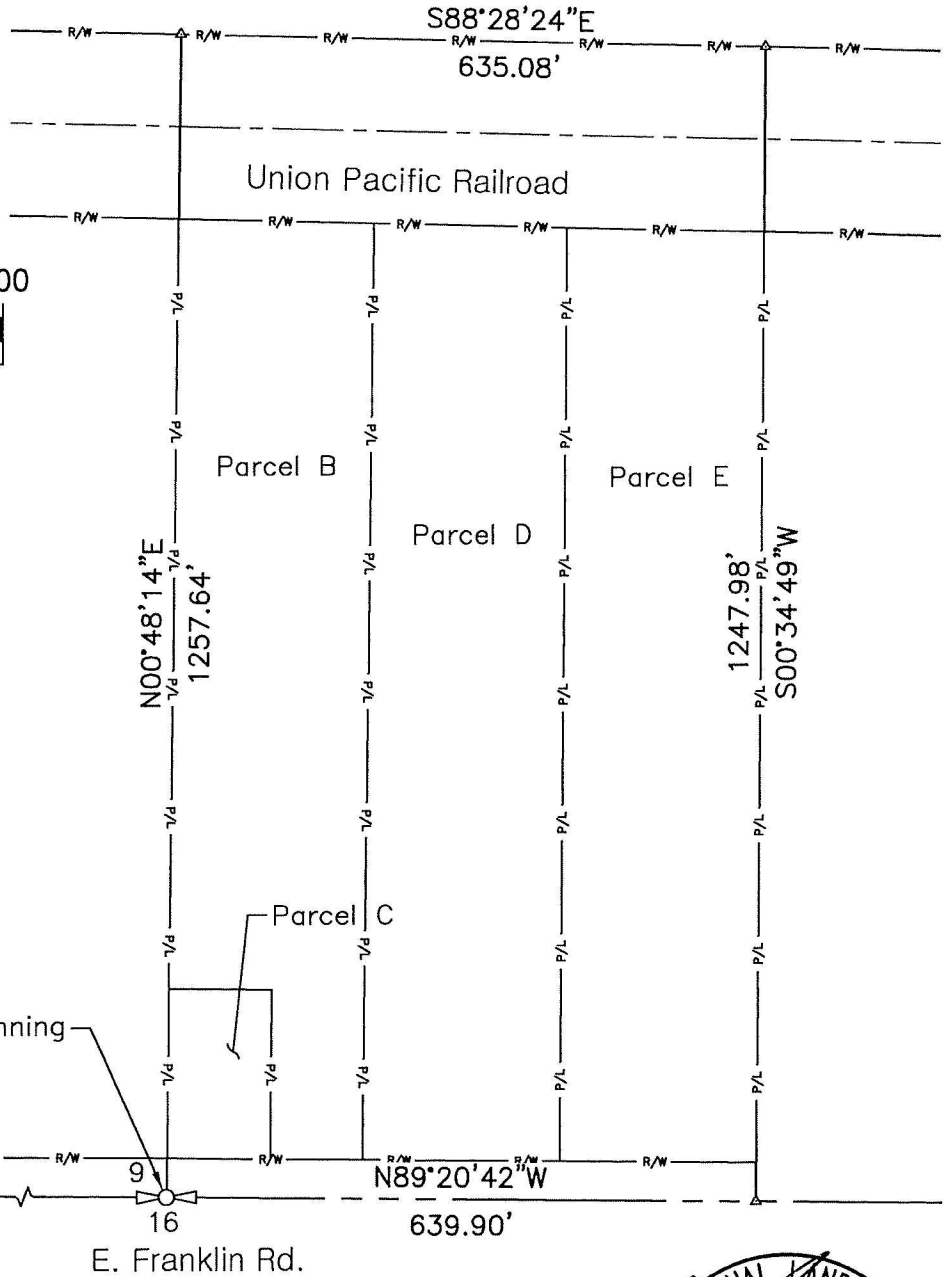
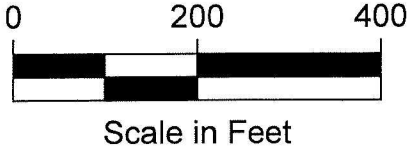
Thence S88°28'24"E, 635.08 feet along the north right-of-way line of the Union Pacific Railroad;

Thence S00°34'49"W, 1247.98 feet to the south line of the southwest quarter of the southeast quarter;

Thence N89°20'42"W, 639.90 feet along the south line of the southwest quarter of the southeast quarter to the POINT OF BEGINNING.

The above-described parcel contains 18.33 acres, more or less.





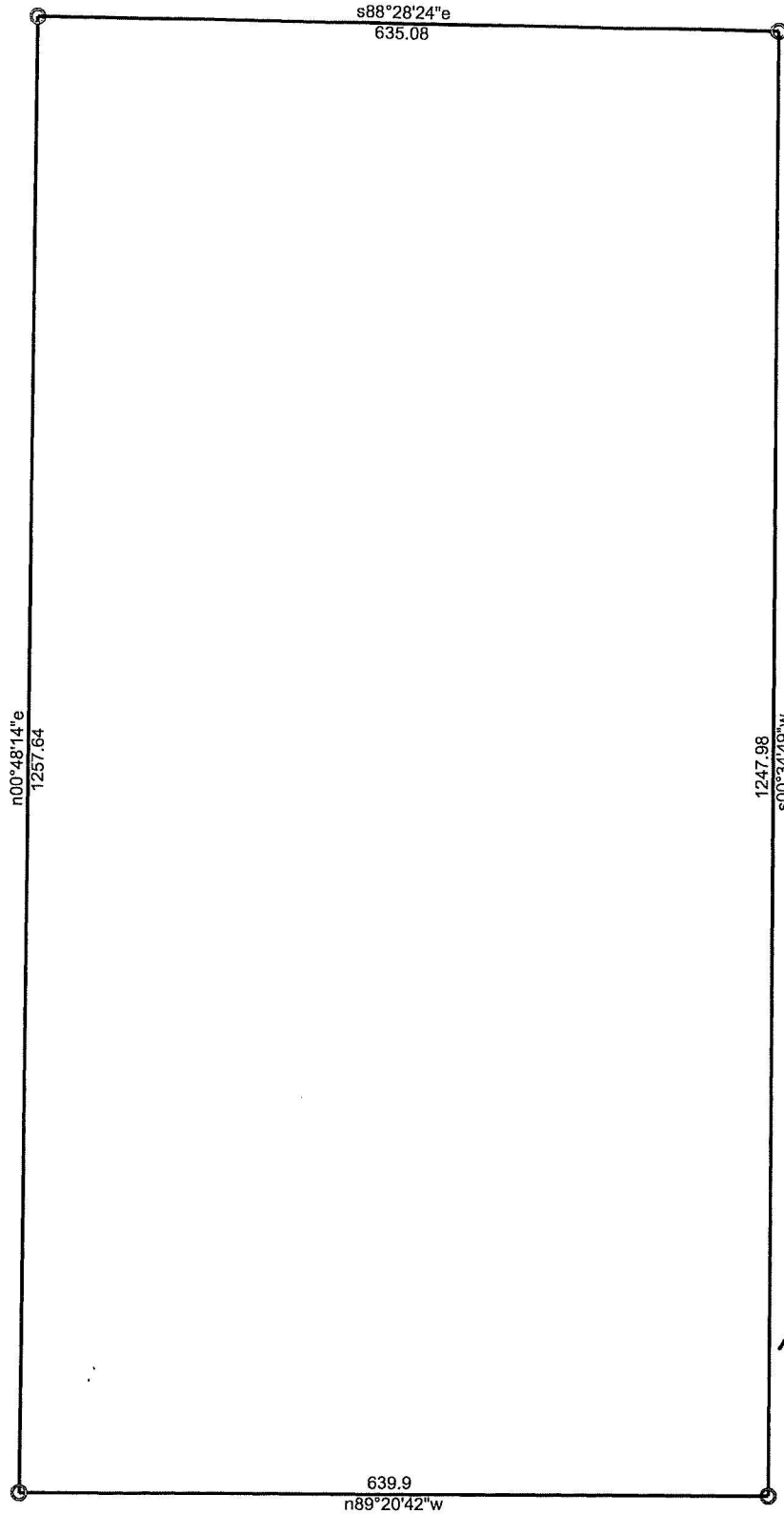
REUSE OF DRAWINGS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF J-U-B ENGINEERS, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF J-U-B ENGINEERS, INC.

NO.	REVISION DESCRIPTION	BY	DATE

FILE: 10-16-012_ANNEX001.DWG
JUB PROJ. #: 10-16-012
DRAWN BY: TR
DESIGN BY: TR
CHECKED BY: Mab
J-U-B ENGINEERS, INC.
LAST UPDATED: 12/19/2017

Seyam Subdivision East - Annexation
Boundary Description

Section 9, T.3N., R.1E., B.M.,
Ada County, Idaho.



Van Auker - Seyam East Annexation

12/19/2017

Scale: 1 inch= 150 feet

File:

Tract 1: 18.3336 Acres, Closure: n24.3737w 0.01 ft. (1/747519), Perimeter=3781 ft.

- 01 n00.4814e 1257.64
- 02 s88.2824e 635.08
- 03 s00.3449w 1247.98
- 04 n89.2042w 639.9



J-U-B ENGINEERS, INC.

J-U-B COMPANIES



THE LANGDON GROUP



GATEWAY MAPPING INC.

Seyam Subdivision East

Boundary Description

Project Number 10-16-012 October 31, 2016

A portion of Lot 3 of Block 1 of Seyam Subdivision (Book 108 of Plats at Pages 15074 through 15076, records of Ada County, Idaho) in the southwest quarter; a portion of the southeast quarter of Section 9, Township 3 North, Range 1 East, Boise Meridian, City of Meridian, Ada County, Idaho; and being more particularly described as follows:

Commencing at the southwest corner of Section 9, Township 3 North, Range 1 East, Boise Meridian;

Thence S89°20'13"E, 2706.28 feet along the south line of the southwest quarter of Section 9 to the southeast corner of the southwest quarter (south quarter-section corner);

Thence N00°48'14"E, 42.00 feet along the east line of the southwest quarter to the southeast corner of Lot 3 of Block 1 of Seyam Subdivision on the north right-of-way line of E. Franklin Road, the POINT OF BEGINNING:

Thence N89°20'13"W, 356.32 feet along the south boundary of Lot 3 and the north right-of-way line of E. Franklin Road to the southwest corner of Lot 3;

Thence N01°31'41"E, 1020.92 feet along the west boundary of Lot 3 to the northwest corner of Lot 3 on the south right-of-way line of the Union Pacific Railroad;

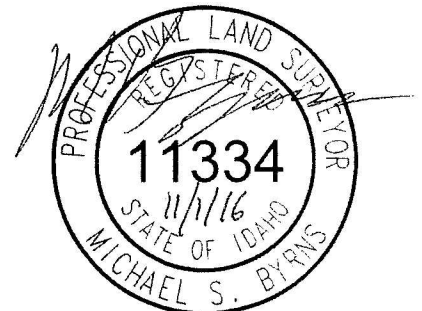
Thence S88°28'24"E, 343.44 feet along the north boundary of Lot 3 and the south right-of-way line of the Union Pacific Railroad to the northeast corner of Lot 3 on the east line of the southwest quarter;

Thence continuing S88°28'24"E, 635.87 feet along the south right-of-way line of the Union Pacific Railroad;

Thence S00°34'49"W, 1005.95 feet to the north right-of-way line of E. Franklin Road;

Thence N89°20'42"W, 639.74 feet along the north right-of-way line of E. Franklin Road to the POINT OF BEGINNING.

The above-described parcel contains 22.98 acres, more or less.



ADA COUNTY RECORDER Christopher D. Rich **2016-010310**
BOISE IDAHO Pgs=3 NIKOLA OLSON 02/05/2016 02:37 PM
FIRST AMERICAN TITLE AND ESCROW COMPANY \$16.00

AFTER RECORDING MAIL TO:

ADA COUNTY RECORDER Christopher D. Rich **2016-014963**
BOISE IDAHO Pgs=5 LISA BATT 02/24/2016 08:21 AM
FIRST AMERICAN TITLE AND ESCROW COMPANY \$22.00

Pioneer 1031 as QI for Van Auker
3084 E. Lanark
Meridian, ID 83642

ELECTRONICALLY RECORDED - DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT.

WARRANTY DEED

*THIS DOCUMENT IS BEING RE-RECORDED TO CORRECT AN ERROR IN THE LEGAL DESCRIPTION
File No.: **4101-2556492 (KY)** Date: **February 03, 2016**

For Value Received, **David J. Dean and Luane I. Dean, husband and wife**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **Ronald W. Van Auker, a married man**, hereinafter referred to as Grantee, whose current address is **3084 E. Lanark, Meridian, ID 83642**, the following described premises, situated in **Ada County, Idaho**, to wit:

Legal Description attached hereto as Exhibit A, and by this referenced incorporated herein.

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

AFTER RECORDING MAIL TO:

Pioneer 1031 as QI for Van Auker
3084 E. Lanark
Meridian, ID 83642

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AFTER RECORDING MAIL TO:

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Meridian, ID 83642

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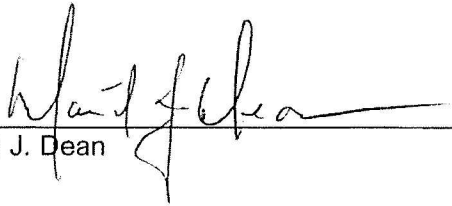
Legal Description attached hereto as Exhibit A, and by this referenced incorporated herein.

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.


APN: S1109438785

Warranty Deed
- continued

File No.: 4101-2556492 (KY)
Date: 02/03/2016



 David J. Dean

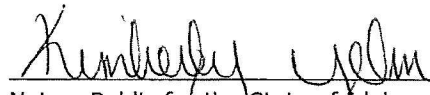


 Luane I. Dean

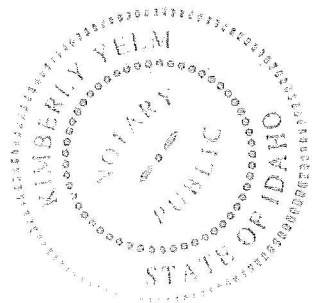
STATE OF Idaho)
)
 COUNTY OF Ada)
)

On this 5th day of **February, 2016** , before me, a Notary Public in and for said State, personally appeared **David J. Dean and Luane I. Dean**, known or identified to me to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



 Notary Public for the State of Idaho
 Residing at: Meridian, ID
 My Commission Expires: 6/15/2019



APN: S1109438785

Warranty Deed
- continued

File No.: 4101-2556492 (KY)
Date: 02/03/2016

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

A PARCEL OF LAND IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN, IN ADA COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN; THENCE NORTH 89°35'14" WEST ALONG THE SOUTH LINE OF SECTION 9, WHICH IS THE CENTER-LINE OF FRANKLIN ROAD, A DISTANCE OF 2,488.90 FEET TO A POINT; THENCE NORTH 0°20'17" EAST A DISTANCE OF 1,026.01 FEET TO A POINT, WHICH POINT IS ON THE SOUTH BOUNDARY OF THE UNION PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTH 88°47'47" EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 212.82 FEET TO A POINT; THENCE SOUTH 0°20'17" WEST A DISTANCE OF 1,023.11 FEET TO A POINT; THENCE NORTH THE REAL POINT OF 89°35'14" WEST A DISTANCE OF 212.80 FEET TO THE REAL POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THAT PROPERTY CONVEYED BY WARRANTY DEED RECORDED JANUARY 6, 2010, AS INSTRUMENT NO. 110001190, RECORDS OF ADA COUNTY, IDAHO.

APN: S1109438785

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

A PARCEL OF LAND IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN, IN ADA COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN; THENCE
NORTH 89°35'14" WEST ALONG THE SOUTH LINE OF SECTION 9, WHICH IS THE CENTER-LINE OF FRANKLIN ROAD, A DISTANCE OF 2,488.90 FEET TO A POINT;
THENCE
NORTH 0°20'17" EAST A DISTANCE OF 25.00 FEET TO A POINT, WHICH POINT IS THE REAL POINT OF BEGINNING; THENCE
NORTH 0°20'17" EAST A DISTANCE OF 1,026.01 FEET TO A POINT, WHICH POINT IS ON THE SOUTH BOUNDARY OF THE UNION PACIFIC RAILROAD RIGHT OF WAY;
THENCE
SOUTH 88°47'47" EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 212.82 FEET TO A POINT; THENCE
SOUTH 0°20'17" WEST A DISTANCE OF 1,023.11 FEET TO A POINT; THENCE
NORTH 89°35'14" WEST A DISTANCE OF 212.80 FEET TO THE REAL POINT OF BEGINNING.**

LESS AND EXCEPTING THEREFROM THAT PROPERTY CONVEYED BY WARRANTY DEED RECORDED JANUARY 6, 2010, AS INSTRUMENT NO. 110001190, RECORDS OF ADA COUNTY, IDAHO.

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

THORNTON BYRON LLP
3101 W. MAIN, SUITE 200
POST OFFICE BOX 7156
BOISE, ID 83707-1156
208.344.8600

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO 10/30/12 09:59 AM
DEPUTY Bonnie Oberbillig
RECORDED - REQUEST OF
Ronald Van Auker

AMOUNT 19.00 4



(SPACE ABOVE LINE FOR RECORDER'S USE)

BARGAIN AND SALE DEED


* * * * *

FOR GOOD AND VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, RONALD W. VAN AUKER, a married man, dealing with his sole and separate property, and Willey I, LLP, as to the improvements only, collectively, Grantor, hereby grants, bargains, sells and conveys to VOLANTE INVESTMENTS LLLP, an Idaho limited liability limited partnership, Grantee, whose current address is 3084 E. Lanark, Meridian, Idaho 83642, all of his right, title and interest in and to certain real property located in Ada County, Idaho, more particularly described on Exhibit A attached hereto and made a part hereof by this reference.

TOGETHER WITH all improvements, easements, hereditaments and appurtenances thereto, and subject to such other rights, easements, covenants, restrictions and zoning regulations as appear of record or based upon the premises.

IN WITNESS WHEREOF, Grantor has hereunto subscribed his name to this instrument effective the first day of July, 2012.

GRANTOR:



RONALD W. VAN AUKER

WILLEY I, LLP

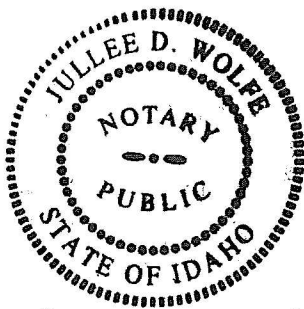


RONALD W. VAN AUKER
MANAGING PARTNER

STATE OF IDAHO)
)
) SS.
)
COUNTY OF ADA)

On this 21st day of October, 2012, before me, the undersigned Notary Public in and for said State, personally appeared RONALD W. VAN AUKEER, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same for the uses and purposes therein mentioned.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Julie D. Wolfe
NOTARY PUBLIC, State of Idaho
Residing at Nampa Idaho
Commission expires: 7-21-2016

STATE OF IDAHO)
)
) SS.
)
COUNTY OF ADA)

On this 21st day of October, 2012, before me, the undersigned Notary Public in and for said State, personally appeared RONALD W. VAN AUKEER, known or identified to me to be the Managing Partner of Willey 1, LLP, that executed the foregoing instrument on behalf of said Limited Liability Partnership.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Julie D. Wolfe
NOTARY PUBLIC, State of Idaho
Residing at Nampa Idaho
Commission expires: 7-21-2016

EXHIBIT A

A TRACT OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE-MERIDIAN, ADA COUNTY, IDAHO, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS CAP MONUMENTING THE SOUTHWEST CORNER OF SAID SECTION 9; THENCE ALONG THE SOUTHERLY LINE OF SAID SOUTHWEST QUARTER OF SECTION 9, SAID SOUTHERLY LINE ALSO BEING THE CENTERLINE OF FRANKLIN ROAD, NORTH 89°11'46" EAST (FORMERLY EAST) A DISTANCE OF 2706.25 FEET TO A FOUND BRASS CAP MONUMENTING THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER, SAID BRASS CAP BEING THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTHERLY LINE SOUTH 89°11'46" WEST A DISTANCE OF 1628.25 FEET (FORMERLY A DISTANCE OF 1611.98 FEET) TO A SET STEEL PIN;

THENCE LEAVING SAID SOUTHERLY LINE NORTH 06°54'57" WEST A DISTANCE OF 1090.37 FEET (FORMERLY NORTH 07°00' WEST A DISTANCE OF 1089 FEET) TO A SET STEEL PIN ON THE SOUTHERLY RIGHT OF WAY OF THE UNION PACIFIC RAILROAD;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY SOUTH 89°56'20" EAST A DISTANCE OF 1747.08 FEET (FORMERLY EAST A DISTANCE OF 1744.08 FEET) TO A SET STEEL PIN ON THE EASTERLY LINE OF SAID SOUTHWEST QUARTER;

THENCE LEAVING SAID SOUTHERLY RIGHT OF WAY AND ALONG SAID EASTERLY LINE SOUTH 00°39'59" EAST A DISTANCE OF 1057.89 FEET (FORMERLY SOUTH A DISTANCE OF 1072.69 FEET) TO THE POINT OF BEGINNING.

LESS AND EXCEPTING:

A TRACT OF LAND COMMENCING AT THE SOUTHWEST CORNER OF THE ABOVE DESCRIBED PROPERTY; THENCE NORTH 06°54'57" WEST A DISTANCE OF 340 FEET; THENCE NORTH 89°11'46" EAST A DISTANCE OF 881 FEET TO A POINT; THENCE SOUTH PARALLEL TO THE WESTERLY LINE A DISTANCE OF 340 FEET TO A POINT ON THE CENTER LINE OF FRANKLIN ROAD; THENCE WESTERLY ALONG THE CENTER LINE OF FRANKLIN ROAD PARALLEL TO THE NORTHERLY LINE OF SAID PROPERTY A DISTANCE OF 881 FEET TO THE POINT OF BEGINNING.

ALSO INCLUDING:

A TRACT OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, ADA COUNTY, IDAHO DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 89°11'46" EAST ALONG THE CENTER LINE OF FRANKLIN ROAD A DISTANCE OF 1078.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 06°54'57" WEST A DISTANCE OF 340 FEET; THENCE NORTH 89°11'46" EAST A DISTANCE OF 881 FEET TO A POINT; THENCE SOUTH PARALLEL TO THE WESTERLY LINE A DISTANCE OF 340 FEET TO A POINT ON THE CENTER LINE OF FRANKLIN ROAD; THENCE WESTERLY ALONG THE CENTER LINE OF FRANKLIN ROAD PARALLEL TO THE NORTHERLY LINE OF SAID PROPERTY A DISTANCE OF 881 FEET TO THE POINT OF BEGINNING.

Legal Con't.

LESS AND EXCEPTING

LAND IN THE SW 1/4 OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, CITY OF MERIDIAN, ADA COUNTY, IDAHO DESCRIBED AS FOLLOWS:

COMMENCING AT THE SW CORNER OF SAID SECTION 9;
THENCE ALONG THE SOUTH LINE OF SAID SECTION, NORTH 89°11'46" EAST, 1107.19 FEET, TO A POINT ON THE EASTERLY RIGHT OF WAY OF NORTH GAUDIANS AVE., EXTENDED TO SAID SECTION LINE;
THENCE ALONG SAID EASTERLY RIGHT OF WAY, NORTH 06°55'12" WEST, 64.97 FEET TO A SET 5/8" REBAR WITH AN ORANGE PLASTIC CAP MARKED "TVEI, PLS 10782" (HEREAFTER REFERRED TO SIMPLY AS A SET 5/8" REBAR), AND THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 06°55'12" WEST, 402.69 FEET, TO A SET 5/8" REBAR;
THENCE NORTH 89°11'46" EAST, 406.71 FEET, TO A SET 5/8" REBAR;
THENCE SOUTH 00°48'14" EAST, 425.00 FEET TO A POINT ON THE NORTH RIGHT OF WAY OF FRANKLIN ROAD AND A SET 5/8" REBAR;
THENCE ALONG SAID RIGHT OF WAY, SOUTH 89°11'46" WEST, 337.32 FEET TO AN ANGLE POINT IN SAID RIGHT OF WAY AS PER WARRANTY DEED INSTRUMENT NO. 104016708, AND A MAG NAIL SET IN A CONCRETE PAD FOR A LARGE STEEL POWER POLE;
THENCE CONTINUING ALONG SAID RIGHT OF WAY NORTH 47°55'09" WEST, 36.15 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPTING THAT PROPERTY DEEDED TO ADA COUNTY HIGHWAY DISTRICT BY WARRANTY DEED RECORDED JULY 15, 1999 AS INSTRUMENT NO. 99070058 AND RECORDED FEBRUARY 13, 2004 AS INSTRUMENT NO. 104016708.

and Less and Excepting that property deeded to Ada County Highway District by Warranty Deed recorded May 18, 2010 as Instrument No. 110045866 in the Records of Ada County, Idaho.

APN# S1109346811

Street Address: 3660 E. Lanark Drive, Meridian, ID 83642

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

THORNTON BYRON LLP
3101 W. MAIN, SUITE 200
POST OFFICE BOX 7156
BOISE, ID 83707-1156
208.344.8600

ADA COUNTY RECORDER Christopher D. Rich AMOUNT 16.00 3
BOISE IDAHO 10/30/12 09:59 AM
DEPUTY Bonnie Oberbillig
RECORDED - REQUEST OF
Ronald Van Auker



(SPACE ABOVE LINE FOR RECORDER'S USE)

BARGAIN AND SALE DEED

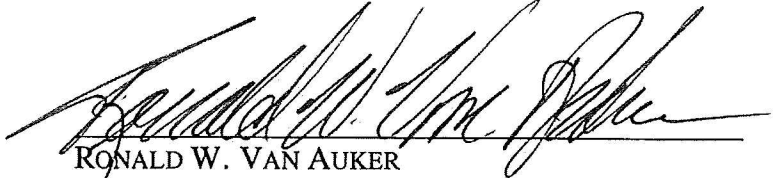
* * * * *

FOR GOOD AND VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, RONALD W. VAN AUKEER, , a married man, dealing with his sole and separate property, Grantor, hereby grants, bargains, sells and conveys to VOLANTE INVESTMENTS LLLP, an Idaho limited liability limited partnership, Grantee, whose current address is 3084 E. Lanark, Meridian, Idaho 83642, all of his right, title and interest in and to certain real property located in Ada County, Idaho, more particularly described on Exhibit A attached hereto and made a part hereof by this reference.

TOGETHER WITH all improvements, easements, hereditaments and appurtenances thereto, and subject to such other rights, easements, covenants, restrictions and zoning regulations as appear of record or based upon the premises.

IN WITNESS WHEREOF, Grantor has hereunto subscribed his name to this instrument effective the first day of July, 2012.

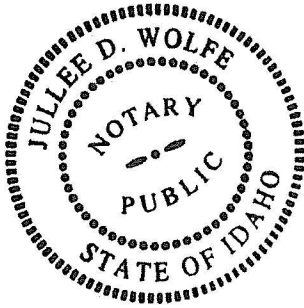
GRANTOR:


RONALD W. VAN AUKEER

STATE OF IDAHO)
 ss.
COUNTY OF ADA)

On this 21st day of October, 2012, before me, the undersigned Notary Public in and for said State, personally appeared RONALD W. VAN AUKEER, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same for the uses and purposes therein mentioned.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Julie D. Wolfe
NOTARY PUBLIC, State of Idaho
Residing at Nampa Idaho
Commission expires: 7-21-2016

EXHIBIT A

A PARCEL OF LAND IN THE SOUTH HALF OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN, IN ADA COUNTY, IDAHO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 3 NORTH; RANGE 1 EAST OF THE BOISE MERIDIAN; THENCE
NORTH 89 DEGREES 35'14" WEST ALONG THE SOUTH LINE OF SECTION 9, WHICH IS THE CENTER-LINE OF FRANKLIN ROAD, A DISTANCE OF 2,276.10 FEET TO A POINT, THENCE
NORTH 0 DEGREE 20'17" EAST A DISTANCE OF 25.00 FEET TO A POINT, WHICH POINT IS THE REAL POINT OF BEGINNING; THENCE
NORTH 0 DEGREE 20'17" EAST A DISTANCE OF 1,023.11 FEET TO A POINT, WHICH POINT IS ON THE SOUTH BOUNDARY OF THE UNION PACIFIC RAILROAD RIGHT OF WAY, THENCE
SOUTH 88 DEGREES 47'47" EAST ALONG SAID RIGHT OF WAY, A DISTANCE OF 213.22 FEET TO A POINT; THENCE
SOUTH 0 DEGREE 20'17" WEST A DISTANCE OF 1,020.13 FEET TO A POINT; THENCE
NORTH 89 DEGREES 35'14" WEST A DISTANCE OF 213.20 FEET TO THE REAL POINT OF BEGINNING;

EXCEPTING THEREFROM

A STRIP OF LAND FOR PUBLIC RIGHT-OF-WAY LOCATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE-MERIDIAN, IN ADA COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE-MERIDIAN; THENCE
NORTH 89 DEGREES 35'14" WEST ALONG THE SOUTH LINE OF SECTION 9, WHICH IS THE CENTER LINE OF FRANKLIN ROAD, A DISTANCE OF 2,276.10 FEET TO A POINT; THENCE
NORTH 0 DEGREE 20'17" EAST A DISTANCE OF 25.00 FEET TO A POINT, WHICH POINT IS THE REAL POINT OF BEGINNING; THENCE
NORTH 0 DEGREE 20'17" EAST A DISTANCE OF 15 FEET TO A POINT; THENCE
SOUTH 89 DEGREES 35'14" EAST A DISTANCE OF 213.2 FEET TO A POINT, THENCE
0 DEGREE 20'17" WEST A DISTANCE OF 15 FEET TO A POINT; THENCE
NORTH 89 DEGREES 35'14" WEST A DISTANCE OF 213.2 FEET TO THE REAL POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM, any portion of said property deeded to Ada County Highway District by Warranty Deed recorded April 23, 2010, as Instrument No. 110037532, records of Ada County, Idaho.

APN# S1109438831

Street Address: 4140 E. Franklin Road, Meridian, ID

AFTER RECORDING MAIL TO:

Pioneer 1031 as QI for Van Auker
3084 E. Lanark
Meridian, ID 83642

ELECTRONICALLY RECORDED - DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT.

WARRANTY DEED

File No.: **4102-2520766 (KY)**

Date: **October 05, 2015**

For Value Received, **Patricia A. Nations, a single person**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **Ronald W. Van Auker, a married man as his sole and separate property**, hereinafter referred to as Grantee, whose current address is **3084 E. Lanark, Meridian, ID 83642**, the following described premises, situated in **Ada County, Idaho**, to wit:

Legal Description attached hereto as Exhibit A, and by this referenced incorporated herein.

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

AFTER RECORDING MAIL TO:

Pioneer 1031 as QI for Van Auker
3084 E. Lanark
Meridian, ID 83642

ELECTRONICALLY RECORDED - DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT.

WARRANTY DEED

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Legal Description attached hereto as Exhibit A, and by this referenced incorporated herein.

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

PARCEL I:

PART OF THE SOUTHWEST QUARTER SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO-WIT:

BEGINNING AT THE QUARTER SECTION CORNER BETWEEN SECTIONS 9 AND 16, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, IN ADA COUNTY, IDAHO AND RUNNING THENCE SOUTH 89°35'14" EAST ALONG THE SECTION LINE COMMON TO SAID SECTION 112.0 FEET, THENCE NORTH 0°20'17" EAST 25.00 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF FRANKLIN ROAD AND THE REAL POINT OF COMMENCEMENT, THENCE CONTINUING NORTH 0°20'17" EAST 200 FEET, THENCE NORTH 89°35'14" WEST 112.0 FEET, THENCE NORTH 0°20'17" EAST 828.93 FEET TO A POINT IN THE SOUTH BOUNDARY OF THE UNION PACIFIC RAILROAD RIGHT OF WAY, THENCE SOUTH 88°47'47" EAST ALONG SAID RIGHT OF WAY BOUNDARY 211.92 FEET, THENCE SOUTH 0°20'17" WEST 1026.01 FEET TO THE NORTHERLY BOUNDARY OF FRANKLIN ROAD, THENCE NORTH 89°35'14" WEST 99.90 FEET TO THE REAL POINT OF COMMENCEMENT.

LESS AND EXCEPTING THAT PORTION OF SAID PROPERTY DEEDED TO ADA COUNTY HIGHWAY DISTRICT BY WARRANTY DEED RECORDED DECEMBER 17, 1973 AS INSTRUMENT NO. 869219 AND WARRANTY DEED RECORDED DECEMBER 3, 2010 AS INSTRUMENT NO. 110113837, RECORDS OF ADA COUNTY, IDAHO.

PARCEL II:

PART OF THE SOUTHWEST QUARTER SOUTHEAST QUARTER SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, IN ADA COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE QUARTER CORNER COMMON TO SECTIONS 9 AND 16 IN TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE-MERIDIAN, AND RUNNING THENCE NORTH 0°20'17" EAST A DISTANCE OF 25.00 FEET TO A POINT IN THE NORTHERLY BOUNDARY OF FRANKLIN ROAD, WHICH IS THE REAL POINT OF COMMENCEMENT, THENCE CONTINUING NORTH 0°20'17" EAST ALONG THE QUARTER SECTION LINE OF SAID SECTION 9, A DISTANCE OF 200.00 FEET, THENCE SOUTH 89°35'14" EAST A DISTANCE OF 112.00 FEET, THENCE

APN: S1109438451

Warranty Deed
- continued

File No.: 4102-2520766 (KY)
Date: 10/05/2015

**SOUTH 0°20'17" WEST A DISTANCE OF 200.00 FEET, THENCE
NORTH 89°35'14" WEST ALONG THE NORTHERLY BOUNDARY OF FRANKLIN ROAD, A
DISTANCE OF 112.00 FEET TO THE REAL POINT OF COMMENCEMENT.**

**LESS AND EXCEPTING THAT PORTION OF SAID PROPERTY DEEDED TO ADA COUNTY
HIGHWAY DISTRICT BY WARRANTY DEED RECORDED DECEMBER 17, 1973 AS INSTRUMENT
NO. 869219 AND WARRANTY DEED RECORDED DECEMBER 3, 2010 AS INSTRUMENT NO.
110113836, RECORDS OF ADA COUNTY, IDAHO.
APN: S1109438451**

AFFIDAVIT OF LEGAL INTEREST

STATE OF IDAHO)
)
COUNTY OF ADA)

I, Volante Investments LLC, 3084 E. Lanark St
Meridian (name), (address)
Meridian (city), ID (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

_____, _____
(name) (address)

to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 2nd day of November, 2017

[Signature]
(Signature)

SUBSCRIBED AND SWORN to before me the day and year first above written.



[Signature]
(Notary Public for Idaho)

Residing at: Nampa, Idaho

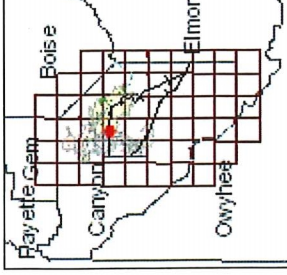
My Commission Expires: 7-21-2022

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Map Scale: 8,000.00



- ### Legend
- +
 - Railroad
 - Parks
 - Townships
 - Sections
 - Condos
 - Parcels

**CITY OF MERIDIAN
PRE-APPLICATION MEETING NOTES**

Date: 9/19/16 , 9/19/17

Project/Subdivision Name: Seyam East
 Applicant(s)/Contact(s): Brad Miller, Ron VanAcker, Scott
 City Staff: Sonya, Bill, Tom, Bruce
 Location: N. side of E. Franklin Rd., east of Eagle Rd. Size of Property: 30 acres
 Comprehensive Plan FLUM Designation: Industrial (west 15 acres) & MU-R (east 15 acres)
 Existing Use: Rural residential Existing Zoning: I-L, R1, RUT
 Proposed Use: Industrial Proposed Zoning: _____
 Surrounding Uses: Ag, Railroad tracks, vacant/undeveloped land
 Street Buffer(s) and/or Land Use Buffer(s): 35' buffer along Franklin, 10' along Lanark & other local streets
 Open Space/Amenities/Pathways: _____
 Access/Stub Streets/Street System: Extend Lanark St. to the east
 Waterways/ Floodplain/Topography/Hazards: Ditch runs along north boundary; required to be piped
 History: The west 15 acres received the following approvals: PP-06-055; FP-09-008; TE-09-005; TE-10-019; TEC-12-004; TEC-14-003
 Additional Meeting Notes: * Amend Comp Plan Map from MU-R to Industrial
* Annex w/ I-L zone
* Preliminary plat to subdivide property
- current Seyam Sub. plat designated west I-L property as non-buildable
- check w/ County Surveyor to see if plat needs to be amended.

Note: A Traffic Impact Study (TIS) will be required by ACHD for large commercial projects and any residential development with over 100 units. To avoid unnecessary delays & expedite the hearing process, applicants are encouraged to submit the TIS to ACHD prior to submitting their application to the City. Not having ACHD comments and/or conditions on large projects may delay hearing(s) at the City. Please contact Mindy Wallace at 387-6178 or Christy Little at 387-6144 at ACHD for information in regard to a TIS, conditions, impact fees and process.

Other Agencies/Departments to Contact:

- | | | |
|---|---|--|
| <input type="checkbox"/> Ada County Highway Dist. (ACHD) | <input type="checkbox"/> Nampa Meridian Irrigation Dist. (NMID) | <input type="checkbox"/> Public Works Department |
| <input type="checkbox"/> Idaho Transportation Dept. (ITD) | <input type="checkbox"/> Settler's Irrigation District | <input type="checkbox"/> Building Department |
| <input type="checkbox"/> Republic Services | <input type="checkbox"/> Police Department | <input type="checkbox"/> Parks Department |
| <input type="checkbox"/> Central District Health Department | <input type="checkbox"/> Fire Department | <input type="checkbox"/> Other: _____ |

Application(s) Required:

- | | | |
|--|---|---|
| <input type="checkbox"/> Administrative Design Review | <input type="checkbox"/> Conditional Use Permit Modification/Transfer | <input type="checkbox"/> Rezone |
| <input type="checkbox"/> Alternative Compliance | <input type="checkbox"/> Development Agreement Modification | <input type="checkbox"/> Short Plat |
| X Annexation | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Time Extension – Council |
| <input type="checkbox"/> City Council Review | <input type="checkbox"/> Final Plat Modification | <input type="checkbox"/> UDC Text Amendment |
| X Comprehensive Plan Amendment – Map | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Vacation |
| <input type="checkbox"/> Comprehensive Plan Amendment – Text | X Preliminary Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Private Street | <input type="checkbox"/> Other |

Notes: 1) Applicants are required to hold a neighborhood meeting in accord with UDC 11-5A-5C prior to submittal of an application requiring a public hearing (except for a vacation or short plat); and 2) All applicants for permits requiring a public hearing shall post the site with a public hearing notice in accord with UDC 11-5A-5D.3 (except for UDC text amendments, Comp Plan text amendments, and vacations). The information provided during this meeting is based on current UDC requirements and the Comprehensive Plan. Any subsequent changes to the UDC and/or Comp Plan may affect your submittal and/or application. This pre-application meeting shall be valid for four (4) months.

Sign-In Sheet

Seyam II - Neighborhood Meeting – October 16 - 4:30pm

No neighbors attended.

No telephone calls.


COMMITMENT OF PROPERTY POSTING

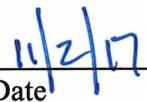
Per Unified Development Code (UDC) 11-5A-5D, the applicant for all applications requiring a public hearing (except for a UDC text amendment, a Comprehensive Plan text amendment and/or vacations) shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice of the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in UDC 11-5A-5.


Applicant/agent signature


Date



Community Development
Department

Meridian City Hall, Suite 102
33 E. Broadway Avenue
Meridian, Idaho 83642
208.887.2211

Parcel Verification

Date: 11/9/17

The parcel information below has been researched and verified as correct by the City of Meridian Community Development Department.

Project Name: Seyam East Subdivision

T/R/S: 3N 1E 09

Parcel Numbers: S1109438451 (.475 Acres)
S1109438587 (4.435 Acres)
S1109438785 (4.99 Acres)
R7820150030 (8.178 Acres)
S1109438831 (4.923 Acres)

Property Owners: Ronald Van Auker (1st three parcels listed)
3084 E. Lanark St.
Meridian, ID 83642

Volante Investments, LLLP (Last two parcels listed)
3084 E. Lanark St.
Meridian, ID 83642

Kristi Watkins

From: Sub Name Mail <subnamemail@adaweb.net>
Sent: Friday, October 28, 2016 5:58 PM
To: Michael Byrns; Kristi Watkins
Subject: Seyam East Subdivision Name Reservation

October 28, 2016

Michael Byrns, JUB Engineers
Kristi Watkins, JUB Engineers

RE: Subdivision Name Reservation: **SEYAM EAST SUBDIVISION**

At your request, I will reserve the name **SEYAM EAST SUBDIVISION** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



Ada County
2025
Collaborate. Innovate. Thrive
www.adacounty2025.com

Jerry L. Hastings, PLS 5359
County Surveyor
Deputy Clerk Recorder
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7912 *office*
(208) 287-7909 *fax*

From: Kristi Watkins [<mailto:kwatkins@jub.com>]
Sent: Friday, October 28, 2016 12:00 PM
To: Sub Name Mail
Subject: [EXTERNAL] Re: URGENT! Seyam Subdivision East

It's a new pre-plat and Meridian doesn't like numbers on pre-plats.

Sent from my iPhone

On Oct 28, 2016, at 11:57 AM, Sub Name Mail <subnamemail@adaweb.net> wrote:

Since this is the same owners, is this a next phase of Seyam Sub?
Any reason they don't use Seyam Sub No 2, 3, 4 . . . ?

<image001.png>

Glen Smallwood
Surveying Technician
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7926 office
(208) 287-7909 fax

From: Kristi Watkins [mailto:kwatkins@jub.com]
Sent: Friday, October 28, 2016 7:54 AM
To: Sub Name Mail
Subject: [EXTERNAL] URGENT! Seyam Subdivision East

We would like to request reservation of the following subdivision name:

Seyam Subdivision East

SW ¼ and the SE ¼, Section 9, T3N, R1E, BM

Parcel# S1109438831 Acres: 4.931
Address: 4140 E Franklin Rd, Meridian, ID
Owner: Volante Investments, LLLP

Parcel #: S1109438785 Acres: 4.99
Address: 0 E Franklin Rd, Meridian, ID
Owner: Ronald W Van Auker

Parcel #: S1109438587 Acres: 4.4349
Address: 4010 E Franklin Rd, Meridian, ID
Owner: Ronald W Van Auker

Parcel #: S1109438451 Acres: .4749
Address: 4010 E Franklin Rd, Meridian, ID
Owner: Ronald W Van Auker

Parcel #: R7820150030 Acres: 8.178
Address: Lot 3, Blk 1, Seyam Sub, 0 E Lanark St, Meridian, ID
Owner: Volante Investments, LLLP

Applicant Name: Ronald W Van Auker
Engineerg: JUB Engineers, Inc.

Thank you,

HAVE A GREAT DAY!

Kristi Watkins

Planner

J-U-B ENGINEERS, Inc.

250 S. Beechwood Ave, Suite 201, Boise, ID 83709
p | 208 489 7906 c | 208 957 3295 e | kwatkins@jub.com

Cara Duskey

From: Mindy Wallace <Mwallace@achdidaho.org>
Sent: Monday, November 13, 2017 10:04 AM
To: Cara Duskey
Subject: RE: Traffic Impact

Hi Cara,

A traffic impact study is not required for this application.

Please let me know if you have any questions.

Mindy

Mindy Wallace, AICP
Planner III
Ada County Highway District
208-387-6178

From: Cara Duskey [mailto:CDuskey@whpacific.com]
Sent: Monday, November 13, 2017 9:27 AM
To: Mindy Wallace
Subject: Traffic Impact

Good Morning Mindy,

I've attached a vicinity map as well as a copy of the preliminary plat for a new Van Auken Properties proposed project in Meridian located on the North side of Franklin Road, just east of the Seyam Subdivision. As per Meridian City application requirements, I am requesting input from ACHD on whether a traffic study will be needed for this subdivision. Approximately 10 lot, light industrial subdivision.

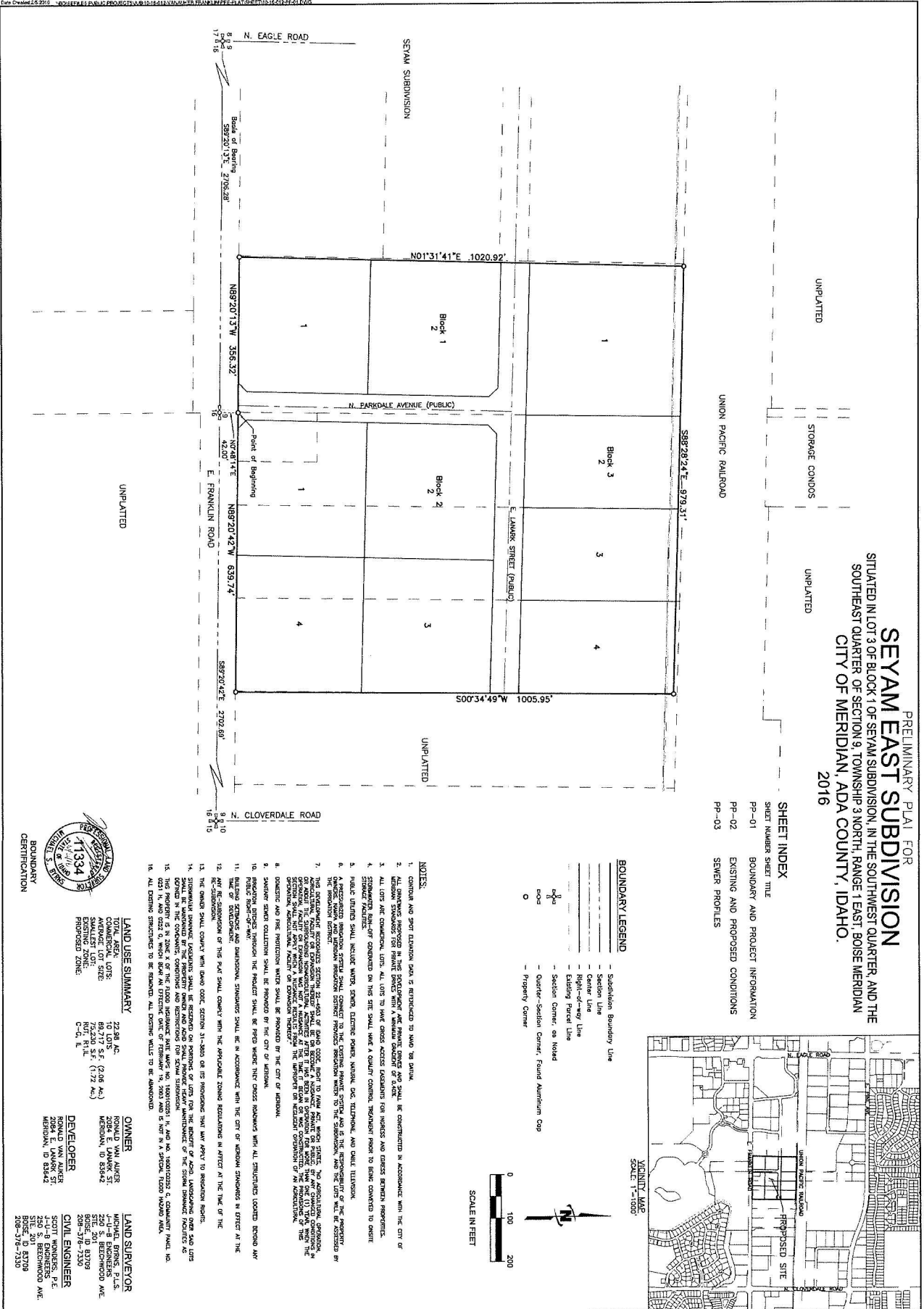
Please let me know if you need any additional information.

Thank you for your time.

Cara

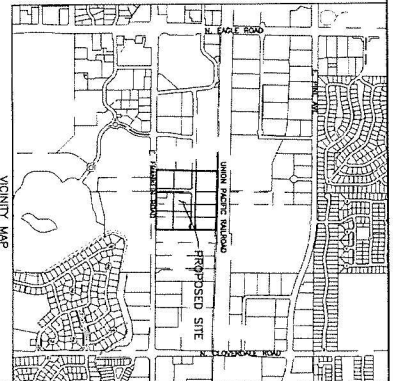
Cara Duskey | Administrative Assistant
WHPacific, Inc. | 2141 W Airport Way, Ste 104, Boise, ID 83705
Direct 208.275.8700 | Fax 208.342.5353 | cduskey@whpacific.com

Enhancing Client Satisfaction through Creative, Exceptional Service

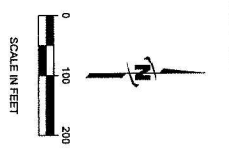


PRELIMINARY PLAT FOR
SEYAM EAST SUBDIVISION
 SITUATED IN LOT 3 OF BLOCK 1 OF SEYAM SUBDIVISION, IN THE SOUTHWEST QUARTER AND THE
 SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN
 CITY OF MERIDIAN, ADA COUNTY, IDAHO.
 2016

SHEET INDEX
 SHEET NUMBER SHEET TITLE
 PP-01 BOUNDARY AND PROJECT INFORMATION
 PP-02 EXISTING AND PROPOSED CONDITIONS
 PP-03 SEWER PROFILES



BOUNDARY LEGEND
 - Subdivision Boundary Line
 - Section Line
 - Right-of-Way Line
 - Existing Parcel Line
 - Section Corner, as Noted
 - Quarter-Section Corner, Found Aluminum Cap
 - Property Corner



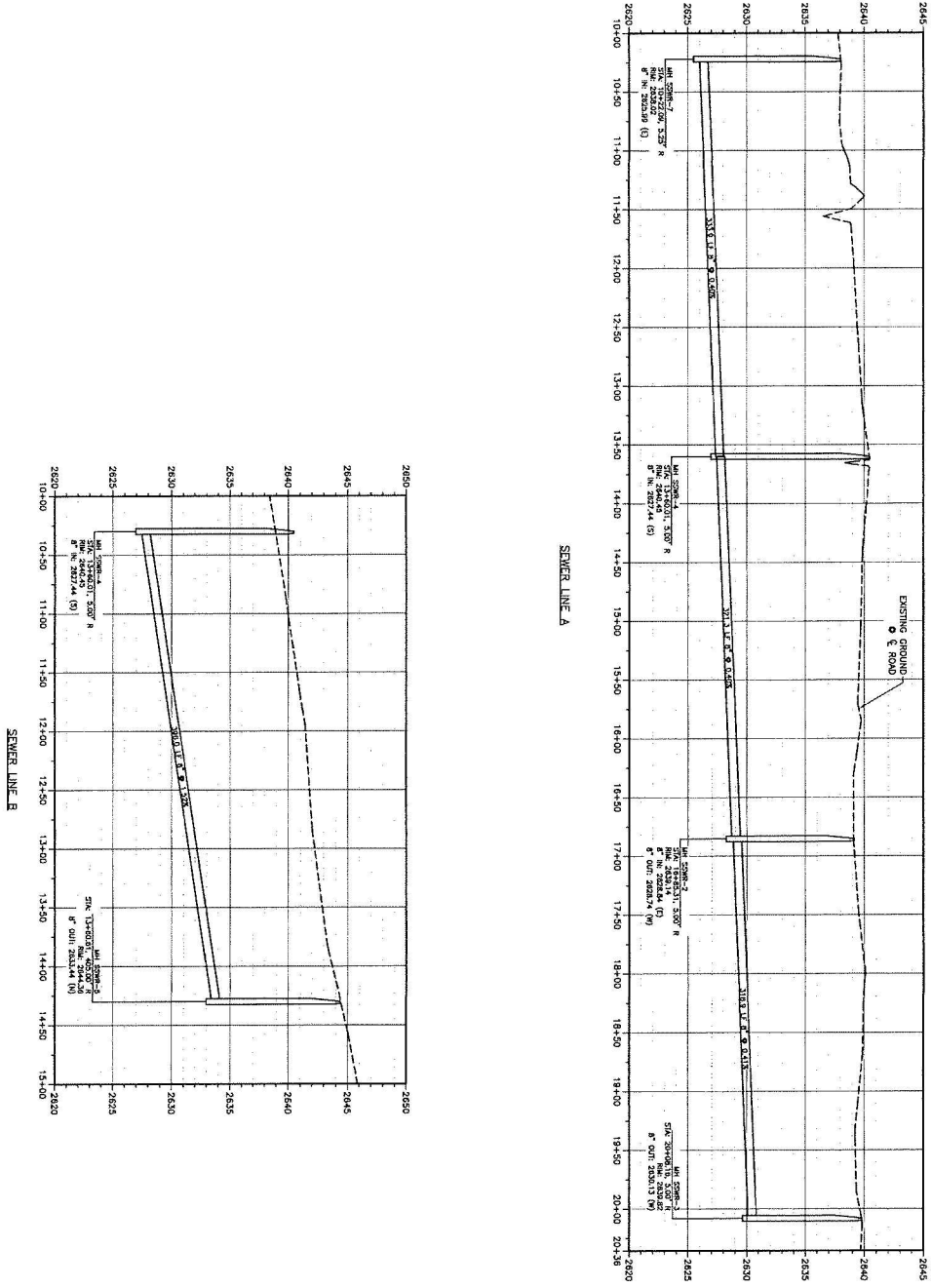
- NOTES:**
1. CONTAIN AND SPOT ELEVATION DATA IS REFERENCED TO NAVD 83 DATUM.
 2. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE CONSIDERED TO BE ACCORDANCE WITH THE CITY OF MERIDIAN, IDAHO.
 3. ALL LOTS ARE TO BE CONSIDERED TO BE SUBJECT TO THE CITY OF MERIDIAN, IDAHO ZONING ORDINANCES.
 4. STREETS SHOWN ARE TO BE CONSIDERED TO BE SUBJECT TO THE CITY OF MERIDIAN, IDAHO ZONING ORDINANCES.
 5. PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
 6. A NEIGHBORHOOD RETENTION SYSTEM SHALL BE PROVIDED TO THE EXTENT FEASIBLE AND IS THE RESPONSIBILITY OF THE APPLICANT.
 7. THIS DEVELOPMENT IS SUBJECT TO THE CITY OF MERIDIAN, IDAHO ZONING ORDINANCES AND ALL APPLICABLE ORDINANCES.
 8. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MERIDIAN, IDAHO.
 9. PROPERTY CORNERS SHALL BE MARKED WITH ALUMINUM CAPS.
 10. SECTION CORNERS SHALL BE MARKED WITH ALUMINUM CAPS.
 11. QUARTER-SECTION CORNERS SHALL BE MARKED WITH ALUMINUM CAPS.
 12. ALL DIMENSIONS SHALL BE IN FEET AND DECIMALS THEREOF.
 13. THE OWNER SHALL COMPLY WITH DAVID COOK, SECTION 31-3800, ON ITS PROVISIONS THAT MAY APPLY TO REVISIONS HEREIN.
 14. STREETS AND PUBLIC UTILITIES SHALL BE LOCATED ON THE BASIS OF THE CITY OF MERIDIAN, IDAHO ZONING ORDINANCES.
 15. THIS PROPERTY IS IN ZONE R-1 (RESIDENTIAL SINGLE-FAMILY) AND IS SUBJECT TO THE CITY OF MERIDIAN, IDAHO ZONING ORDINANCES.
 16. ALL DIMENSIONS SHALL BE IN FEET AND DECIMALS THEREOF.

LAND USE SUMMARY
 TOTAL ACRES: 22.98 AC.
 COMMERCIAL LOTS: 10 LOTS
 AVERAGE LOT SIZE: 89,777 S.F. (2.04 AC.)
 EXISTING ZONE: R-1 (RESIDENTIAL SINGLE-FAMILY)
 PROPOSED ZONE: C-1 (COMMERCIAL)
 OWNER: RONALD VAN ALKEM, 2034 E. LANK ST., MERIDIAN, ID 83842
 DEVELOPER: RONALD VAN ALKEM, 2034 E. LANK ST., MERIDIAN, ID 83842
 CIVIL ENGINEER: SCOTT WOODS, P.E., 240 S. BECHTOLD AVE., BOISE, ID 83709
 LAND SURVEYOR: MICHAEL BRUNS, P.L.S., J-U-B ENGINEERS, 250 S. BECHTOLD AVE., BOISE, ID 83709
 SHEET NUMBER: PP-01

<p>SEYAM EAST SUBDIVISION CITY OF MERIDIAN, ADA COUNTY, IDAHO.</p> <p>PRELIMINARY PLAT BOUNDARY AND PROJECT INFORMATION</p>		<p>REUSE OF DRAWING THIS DOCUMENT AND ITS CONTENTS ARE INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF JUB ENGINEERS, INC. AND SHALL REMAIN THE PROPERTY OF JUB ENGINEERS, INC. FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF JUB ENGINEERS, INC.</p>	<p>JUB ENGINEERS, INC. 250 S. Beechwood Ave. Suite 201 Boise, ID 83709-0944 Phone: 208.376.7350 Fax: 208.325.9336 www.jub.com</p>
<p>DATE: 10/19/2016</p>	<p>BY: EVELYN ERNST</p>	<p>DATE: 10/19/2016</p>	<p>DATE: 10/19/2016</p>

BOUNDARY
 CERTIFICATION

 SCOTT WOODS, P.E.
 No. 11334



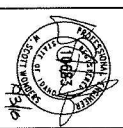
FILE: J:\CH-0425-2018\PP-03.dwg
 DRAWN BY: JUB
 CHECKED BY: JUB
 DATE: 12/11/2018
 APP. FOR: JUB
 SHEET NUMBER:
PP-03

SEYAM EAST SUBDIVISION
 CITY OF MERIDIAN, ADA COUNTY, IDAHO.

PRELIMINARY PLAT
 SEWER PROFILES

REUSE OF DRAWINGS
 THIS DOCUMENT AND THE DATA AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF JUB ENGINEERS, INC. AND IS NOT TO BE USED IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF JUB ENGINEERS, INC.

NO.	DESCRIPTION	BY	DATE



JUB ENGINEERS, INC.
 250 S. Beechwood Ave.
 Suite 201
 Boise, ID 83709-0944
 Phone: 208.376.7330
 Fax: 208.325.9336
 www.jub.com





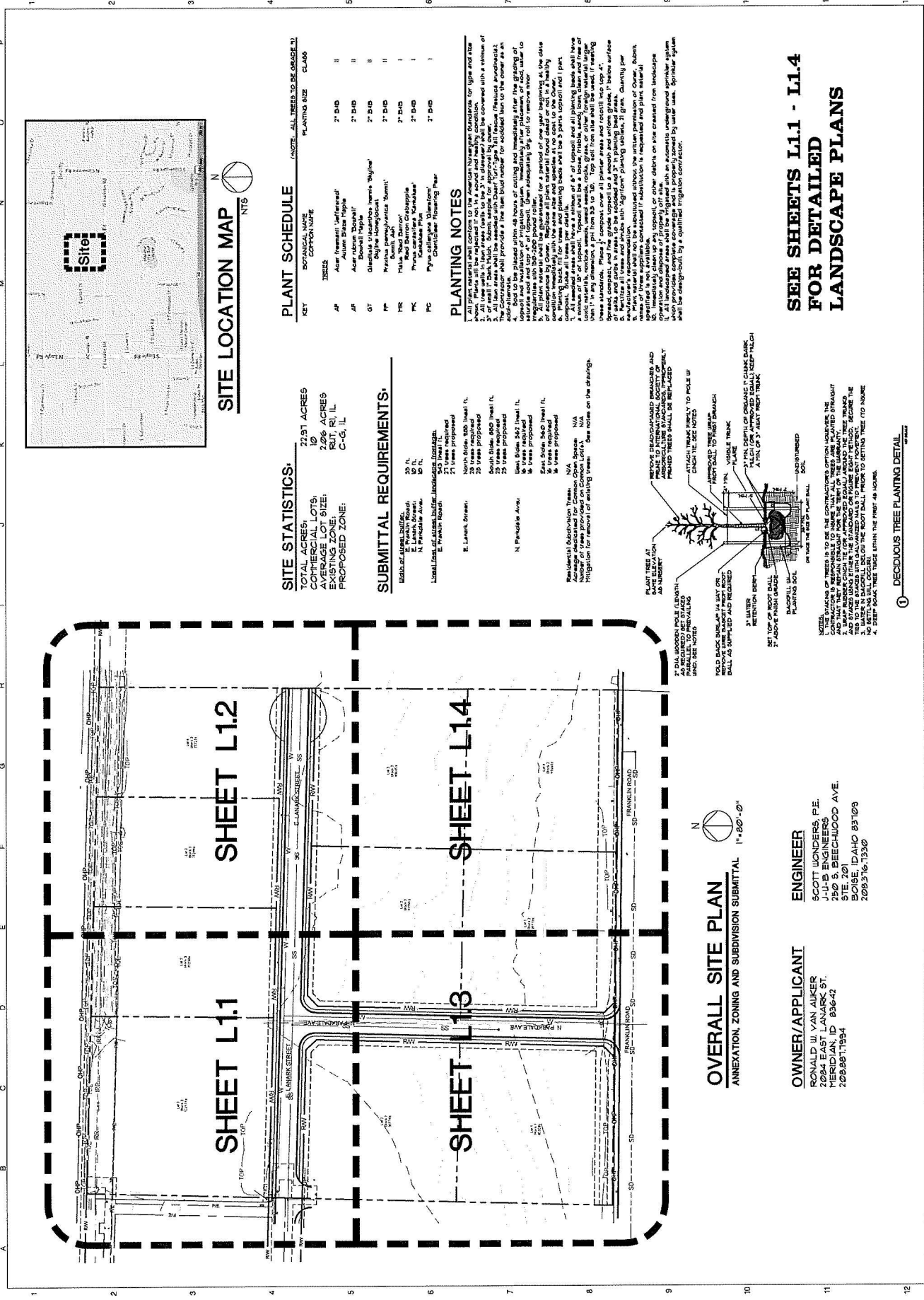
DATE: 01/24/2011
 DRAWN BY: JDR
 CHECKED BY: JDR
 PROJECT NUMBER:
 SHEET: L1.0

LANDSCAPE ARCHITECTURE, P.C.
 2002 S VISTA AVE
 BOISE, IDAHO 83705
 PHONE: 426-0144 FAX: 426-0145

REVISIONS:

LANDSCAPE PLANS
 Franklin Commercial
 Subdivision
 MERIDIAN
 IDAHO

SEE SHEETS L1.1 - L1.4
 FOR DETAILED
 LANDSCAPE PLANS



SITE STATISTICS:

TOTAL ACRES: 22.91
 COMMERCIAL LOTS: 10
 AVERAGE LOT SIZE: 2.09 ACRES
 SUBMITTAL ZONE: R-U, R-L
 PROPOSED ZONE: C-C, I-L

SUBMITTAL REQUIREMENTS:

- 1. All trees to be removed shall be removed within 30 days of the start of construction.
- 2. All trees to be removed shall be removed within 30 days of the start of construction.
- 3. All trees to be removed shall be removed within 30 days of the start of construction.
- 4. All trees to be removed shall be removed within 30 days of the start of construction.
- 5. All trees to be removed shall be removed within 30 days of the start of construction.
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- 11. All trees to be removed shall be removed within 30 days of the start of construction.
- 12. All trees to be removed shall be removed within 30 days of the start of construction.

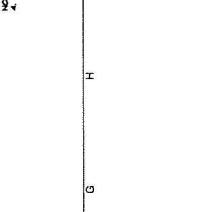
PLANTING NOTES:

1. All trees to be removed shall be removed within 30 days of the start of construction.
2. All trees to be removed shall be removed within 30 days of the start of construction.
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12. All trees to be removed shall be removed within 30 days of the start of construction.

PLANT SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	CLASS
AP	Acer freemanii	'Jefferson'	2" DBH	II
AS	Acer saccharum	'Black Maple'	2" DBH	II
AT	Thuja occidentalis	'Smaragd'	2" DBH	II
BT	Betula papyrifera	'Paper Birch'	2" DBH	II
CT	Quercus macrocarpa	'White Oak'	2" DBH	II
DT	Thuja occidentalis	'Smaragd'	2" DBH	II
ET	Thuja occidentalis	'Smaragd'	2" DBH	II
FT	Thuja occidentalis	'Smaragd'	2" DBH	II
GT	Thuja occidentalis	'Smaragd'	2" DBH	II
HT	Thuja occidentalis	'Smaragd'	2" DBH	II
IT	Thuja occidentalis	'Smaragd'	2" DBH	II
KT	Thuja occidentalis	'Smaragd'	2" DBH	II
LT	Thuja occidentalis	'Smaragd'	2" DBH	II
MT	Thuja occidentalis	'Smaragd'	2" DBH	II
NT	Thuja occidentalis	'Smaragd'	2" DBH	II
OT	Thuja occidentalis	'Smaragd'	2" DBH	II
PT	Thuja occidentalis	'Smaragd'	2" DBH	II
QT	Thuja occidentalis	'Smaragd'	2" DBH	II
RT	Thuja occidentalis	'Smaragd'	2" DBH	II
ST	Thuja occidentalis	'Smaragd'	2" DBH	II
TT	Thuja occidentalis	'Smaragd'	2" DBH	II
UT	Thuja occidentalis	'Smaragd'	2" DBH	II
VT	Thuja occidentalis	'Smaragd'	2" DBH	II
WT	Thuja occidentalis	'Smaragd'	2" DBH	II
XT	Thuja occidentalis	'Smaragd'	2" DBH	II
YT	Thuja occidentalis	'Smaragd'	2" DBH	II
ZT	Thuja occidentalis	'Smaragd'	2" DBH	II

DECIDUOUS TREE PLANTING DETAIL



- 1. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.
- 2. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.
- 3. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.
- 4. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.
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- 11. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.
- 12. The spacing of trees is to be the contractor's option however the spacing shall be uniform and shall be within 10% of the spacing shown on the plan.

OWNER/APPLICANT:
 RONALD W. VAN AUWER
 2094 EAST LANARK ST.
 MERIDIAN, ID 83642
 209.581.1984

ENGINEER:
 SCOTT WONDERS, P.E.
 J-U-B ENGINEERS
 250 S. BEECHWOOD AVE.
 STE. 201
 BOISE, IDAHO 83709
 209.316.1530

OVERALL SITE PLAN
 ANNEXATION, ZONING AND SUBDIVISION SUBMITTAL
 1"=20'-0"





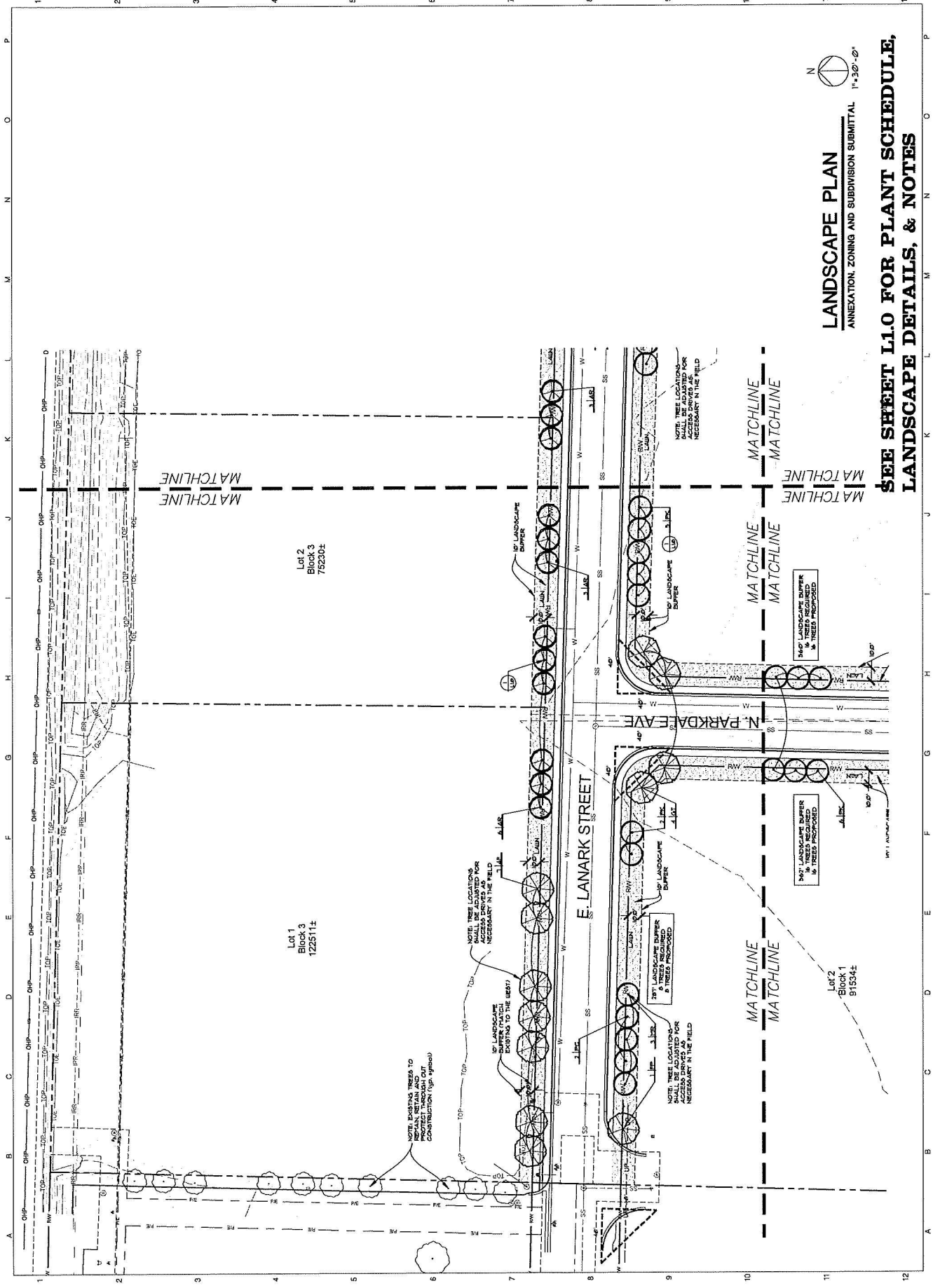
DATE: 1/17/2017
 LANDSCAPE ARCHITECTURE, P.C.
 2022 S. VISTA AVE.
 BOISE, IDAHO 83725
 EMAIL: info@franklin.com
 (208) 242-2939

REVISIONS:

LANDSCAPE PLANS
 Franklin Commercial
 Subdivision
 MERIDIAN
 IDAHO

DRAWN BY: JCR
 CHECKED BY: JCR
 PROJECT NUMBER:
 SHEET:

L1.1



LANDSCAPE PLAN
 ANNEXATION, ZONING AND SUBDIVISION SUBMITTAL
 1" = 30' - 0"

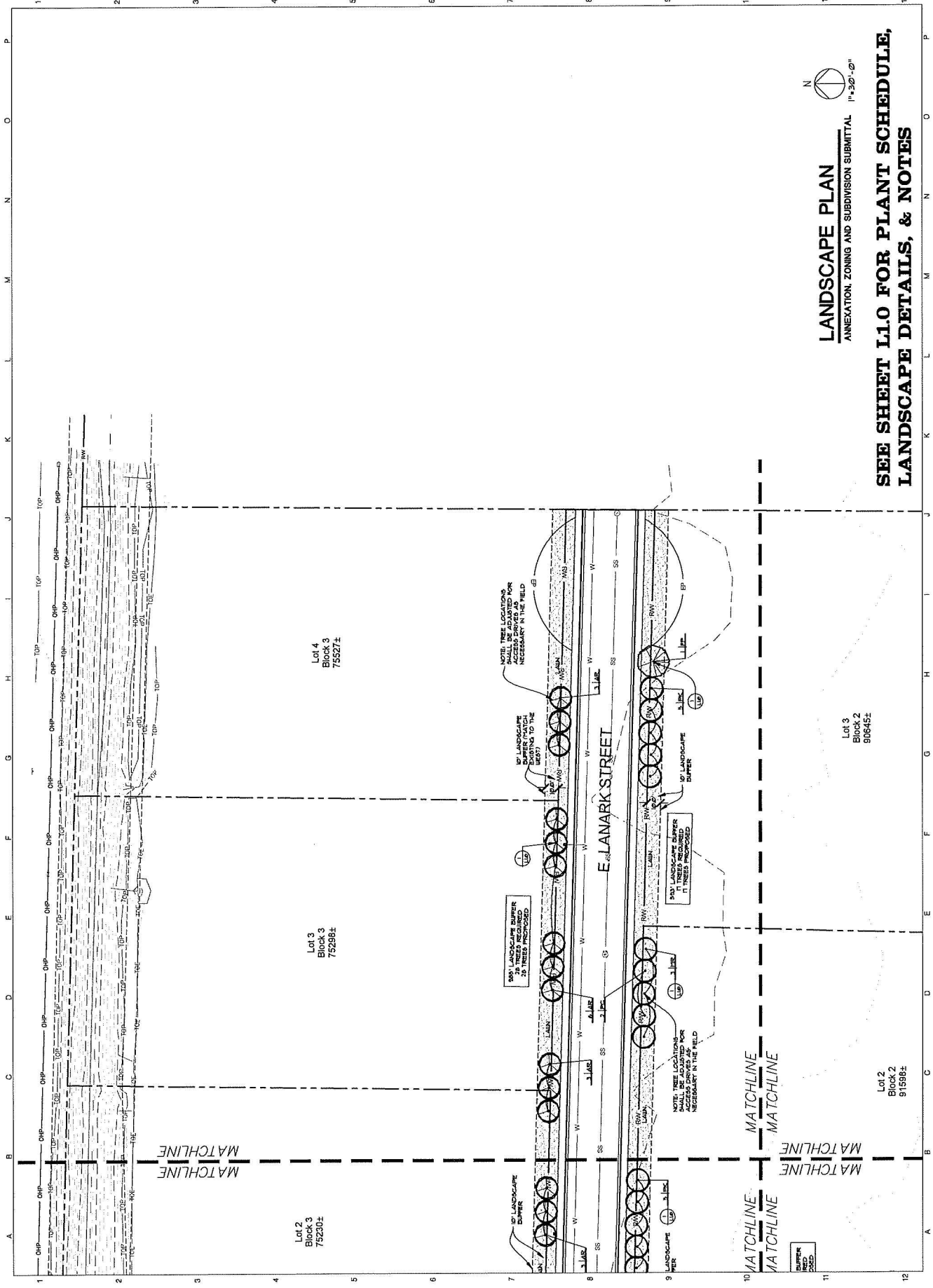
**SEE SHEET L1.0 FOR PLANT SCHEDULE,
 LANDSCAPE DETAILS, & NOTES**



DATE: 1/17/2017
 REVISIONS:
 LANDSCAPE ARCHITECTURE, P.C.
 BOSE, VIDAL & ASSOCIATES
 BOSE, DAVID 81755
 2022 S VISTA AVE
 SALT LAKE CITY, UT 84143
 (801) 462-2999
 FAX: (801) 462-2999
 E-MAIL: info@bosevidal.com

LANDSCAPE PLANS
 Franklin Commercial
 Subdivision
 IDAHO

DRAWN BY: JDR
 CHECKED BY: JDR
 PROJECT NUMBER:
 SHEET:
L1.2



LANDSCAPE PLAN
 ANNEXATION, ZONING AND SUBDIVISION SUBMITTAL
 1" = 30' ± @ 11"

**SEE SHEET L1.0 FOR PLANT SCHEDULE,
 LANDSCAPE DETAILS, & NOTES**



DATE: 1/17/2021
 BOSE, DAVID #3175
 LANDSCAPE ARCHITECTURE, P.C.
 2002 S VISTA AVE
 BOISE, IDAHO 83705
 ENG. #19184345.com

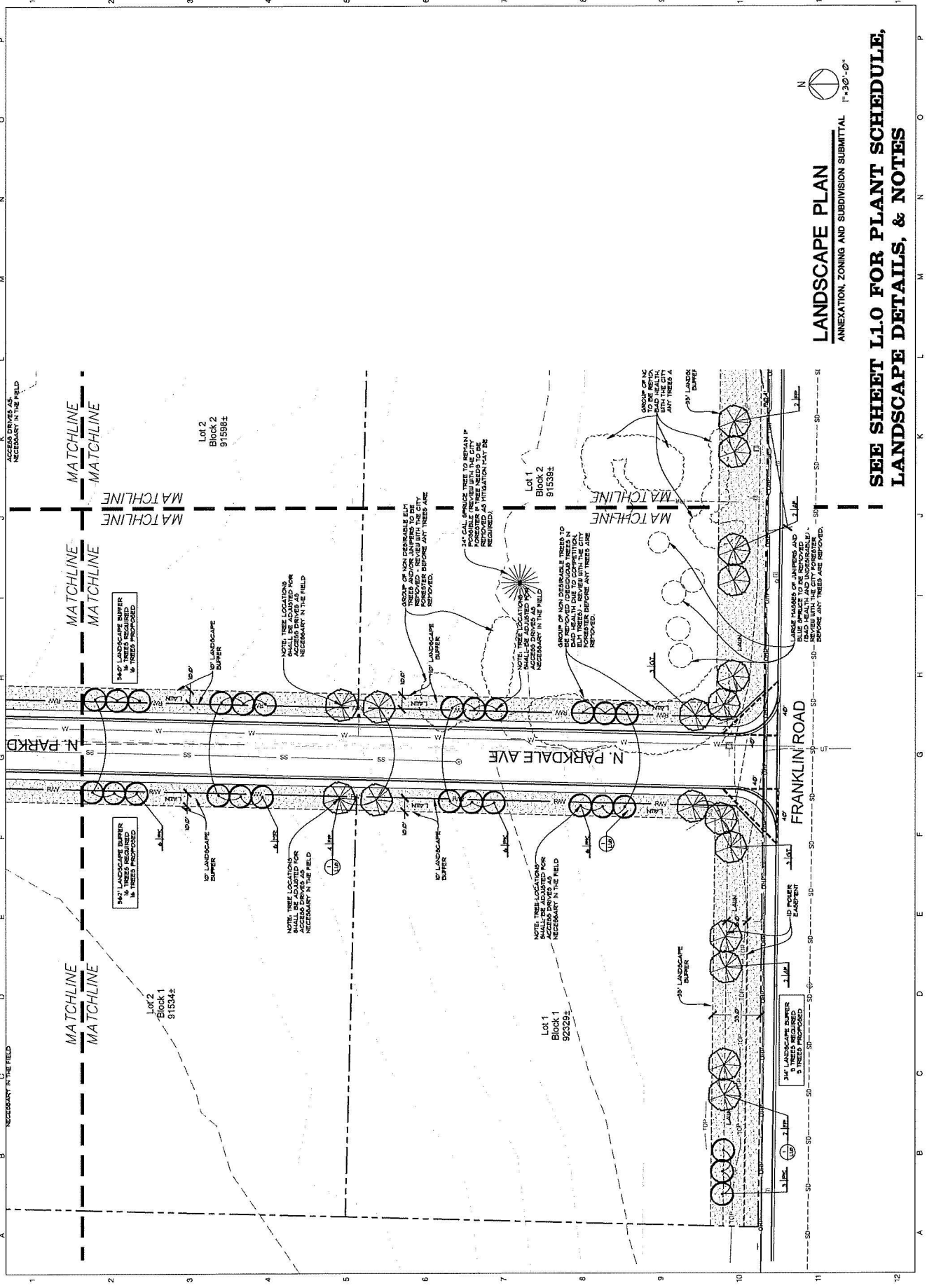
REVISIONS:

FRANKLIN COMMERCIAL
 SUBDIVISION
 IDAHO

LANDSCAPE PLANS
 Franklyn Commercial
 Subdivision
 MERIDIAN
 IDAHO

DRAWN BY: JDR
 CHECKED BY: JDR
 PROJECT NUMBER:
 SHEET:

L1.3



LANDSCAPE PLAN
 ANNEXATION, ZONING AND SUBDIVISION SUBMITTAL
 1"=30'-0"

**SEE SHEET L1.0 FOR PLANT SCHEDULE,
 LANDSCAPE DETAILS, & NOTES**



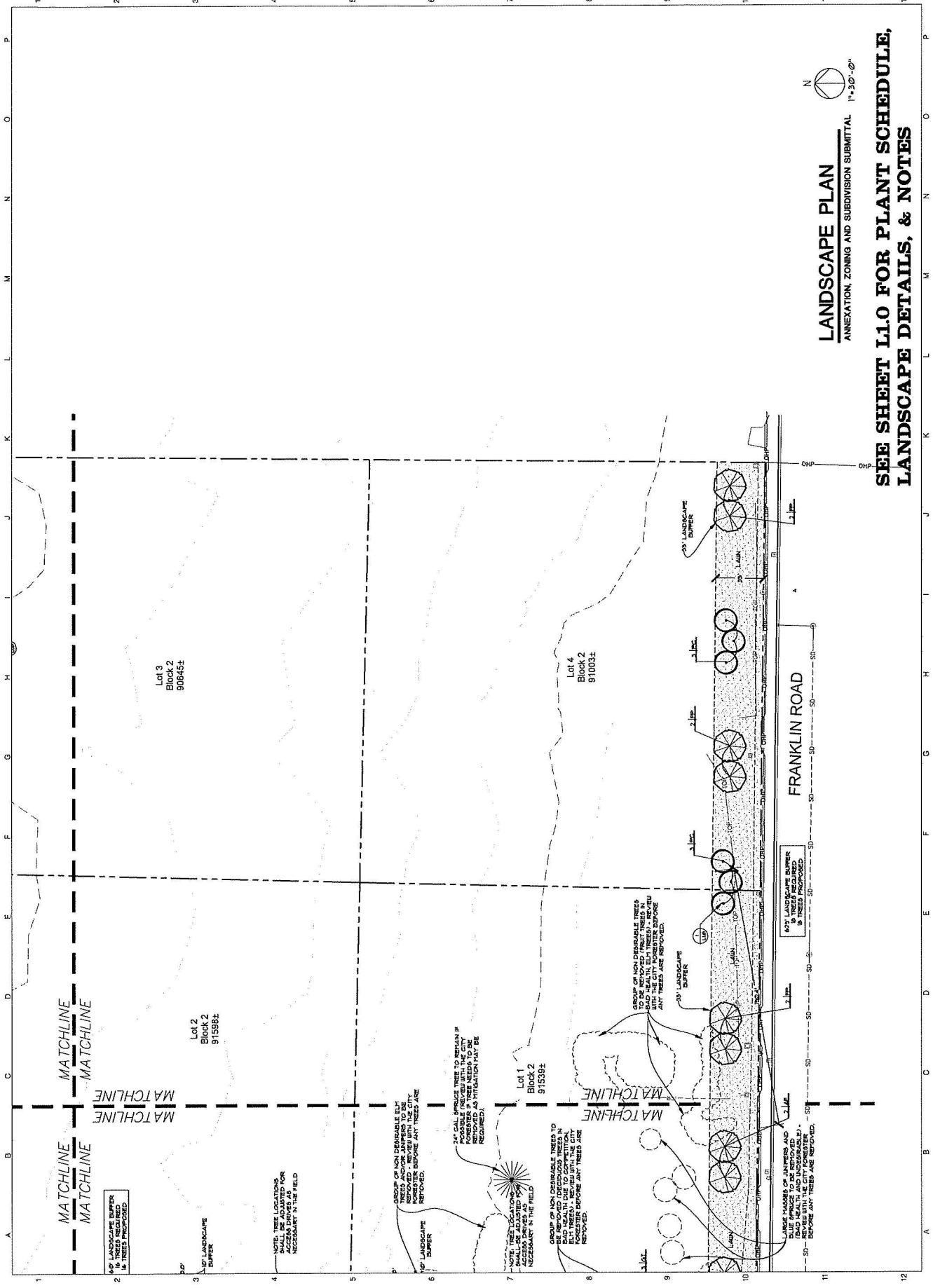
LANDSCAPE ARCHITECTURE, P.C.
 3032 S VISTA AVE
 BOISE, IDAHO 83705
 E-72 478-0188/478-0189
 (202) 242-2999
 F-72 478-0188/478-0189

DATE: 01/17/2017
 REGION: IDAHO

LANDSCAPE PLANS
 Franklin Commercial
 Subdivision
 MERIDIAN
 IDAHO

DRAWN BY: JDR
 CHECKED BY: JDR
 PROJECT NUMBER:
 SHEET:

L1.4



LANDSCAPE PLAN
 ANNEXATION, ZONING AND SUBDIVISION SUBMITTAL
 1" = 50'-0"

SEE SHEET L1.0 FOR PLANT SCHEDULE,
 LANDSCAPE DETAILS, & NOTES

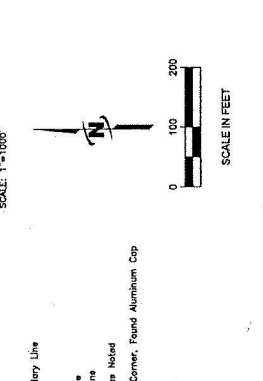


NO.	DESCRIPTION	DATE

PRELIMINARY PLAT
BOUNDARY AND PROJECT INFORMATION
SEAM EAST SUBDIVISION, ADA COUNTY, IDAHO.

PRELIMINARY PLAT FOR
SEYAM EAST SUBDIVISION
SITUATED IN LOT 3 OF BLOCK 1 OF SEYAM SUBDIVISION, IN THE SOUTHWEST QUARTER, AND THE
SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN
CITY OF MERIDIAN, ADA COUNTY, IDAHO.
2016

UNPLATED
STORAGE CONDOS
UNPLATED
UNION PACIFIC RAILROAD
UNPLATED



BOUNDARY LEGEND

- Subdivision Boundary Line
- Section Line
- Center Line
- Right-of-way Line
- Existing Parcel Line
- Section Corner, as Noted
- Quarter-Section Corner, Found Aluminum Cap
- Property Corner

NOTES:

1. CONTIGUOUS LOT ELEVATION DATA IS REFERENCED TO NAVD 83 DATUM.
2. ALL STRUCTURES SHOWN IN THIS DOCUMENT ARE PRIVATE USES AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MERIDIAN STANDARDS FOR PRIVATE USES WITH A MINIMUM SETBACK OF 5.0 FT.
3. ALL LOTS ARE COMMERCIAL LOTS. ALL LOTS TO HAVE CROSS ACCESS EXCEPTORS FOR INCREASED ACCESS BETWEEN ADJACENT LOTS.
4. STORMWATER RUN-OFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONNECTED TO EXISTING STORMWATER INFRASTRUCTURE.
5. PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
6. A PROPOSED IRRIGATION SYSTEM SHALL CONNECT TO THE EXISTING PRIVATE SYSTEM AND IS THE RESPONSIBILITY OF THE PROPERTY OWNER. WATER AND IRRIGATION INFRASTRUCTURE PROVIDED HEREON SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. THIS DOCUMENT RECOGNIZES SECTION 21-603 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, FACILITY OR EXPANSION THEREOF SHALL BE DEEMED TO BE AN OBSTRUCTION TO THE PUBLIC INTEREST OR TO THE PUBLIC HEALTH, SAFETY OR WELFARE OF THE COMMUNITY IF SUCH OPERATION, FACILITY OR EXPANSION IS NOT A MAJOR SOURCE OF POLLUTION AND IS NOT A MAJOR SOURCE OF NOISE OR VIBRATION. THE OPERATIONS, FACILITY OR EXPANSION SHALL BE CONSIDERED TO BE AN OBSTRUCTION TO THE PUBLIC INTEREST OR TO THE PUBLIC HEALTH, SAFETY OR WELFARE OF THE COMMUNITY IF SUCH OPERATION, FACILITY OR EXPANSION IS A MAJOR SOURCE OF POLLUTION OR NOISE OR VIBRATION."
8. DOMESTIC AND THE PROTECTION WHICH SHALL BE PROVIDED BY THE CITY OF MERIDIAN.
9. SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE CITY OF MERIDIAN.
10. PRELIMINARY UTILITY LOCATIONS THROUGH THE PROJECT SHALL BE PLOTTED WHERE THEY CROSS ROADWAYS WITH ALL STRUCTURES LOCATED BEYOND ANY SETBACKS AND SHALL BE PLOTTED WHERE THEY CROSS ROADWAYS WITH ALL STRUCTURES LOCATED BEYOND ANY SETBACKS.
11. BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF MERIDIAN STANDARDS IN EFFECT AT THE TIME OF DEVELOPMENT.
12. AN ACCURATE LOCATION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF DEVELOPMENT.
13. THE OWNER SHALL COMPLY WITH IDAHO CODE SECTION 21-606 ON ITS PROVISIONS THAT MAY APPLY TO REMEDIATION RIGHTS.
14. STORMWATER DRAINAGE EXCEPTORS SHALL BE DEPICTED ON PORTIONS OF LOTS FOR THE BENEFIT OF SUCH LANDSCAPING OVER SLOPE LOTS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND ALSO SHALL BE MAINTAINED BY THE PROPERTY OWNER.
15. THIS PROPERTY IS IN ZONING C OF THE FLOOD HAZARD MAP (MARS NO. 160100231, K AND NO. 160100232, G, COMMUNITY PANEL NO. 0211 N, AND CASE G, WHICH BEAR AN EFFECTIVE DATE OF FEBRUARY 18, 2003 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
16. ALL EXISTING STRUCTURES TO BE REMOVED. ALL EXISTING UTILITIES TO BE ABANDONED.

SHEET INDEX
SHEET NUMBER SHEET TITLE
PP-01 BOUNDARY AND PROJECT INFORMATION
PP-02 EXISTING AND PROPOSED CONDITIONS
PP-03 SEWER PROFILES

LAND USE SUMMARY

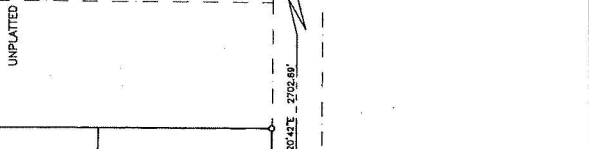
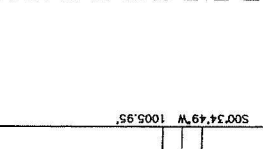
OWNER
UNION PACIFIC RAILROAD
2084 E. LANARK ST.
MERIDIAN, ID 83842

DEVELOPER
RONALD VAN ALDER
SCOTT W. KOSKOSKI, P.E.
250 S. BEECHWOOD AVE.
BOISE, ID 83709

LAND SURVEYOR
JUB ENGINEERS, INC.
250 S. BEECHWOOD AVE.
BOISE, ID 83709

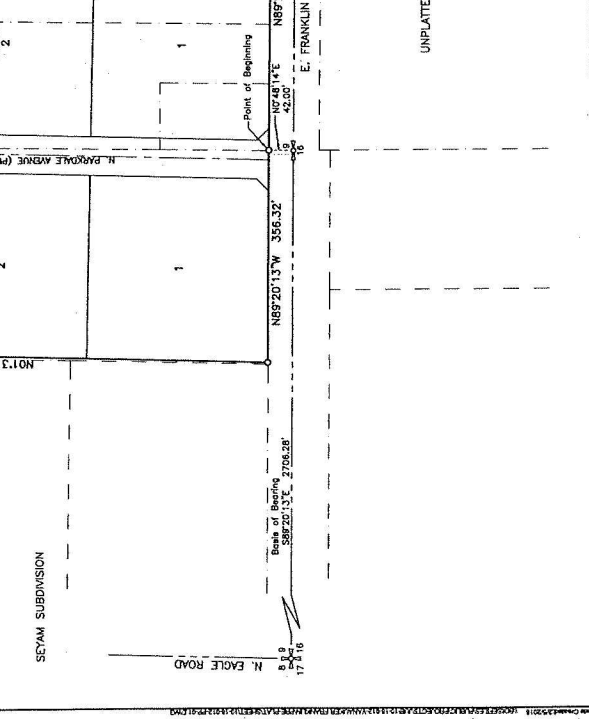
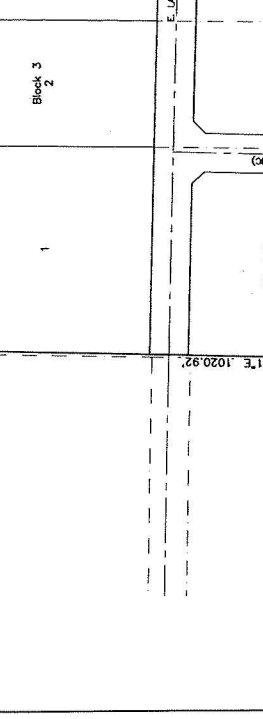
CIVIL ENGINEER
SCOTT W. KOSKOSKI, P.E.
250 S. BEECHWOOD AVE.
BOISE, ID 83709

22.88 AC
10 LOTS
89,717 S.F. (2.05 AC)
171,434 S.F. (3.91 AC)
EXISTING ZONING: C-6, T-1
PROPOSED ZONING: C-6, T-1



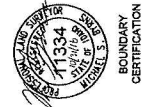
UNPLATED
STORAGE CONDOS
UNPLATED
UNION PACIFIC RAILROAD
UNPLATED

UNPLATED
UNPLATED



UNPLATED
STORAGE CONDOS
UNPLATED
UNION PACIFIC RAILROAD
UNPLATED

UNPLATED
UNPLATED

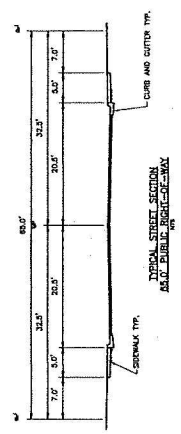
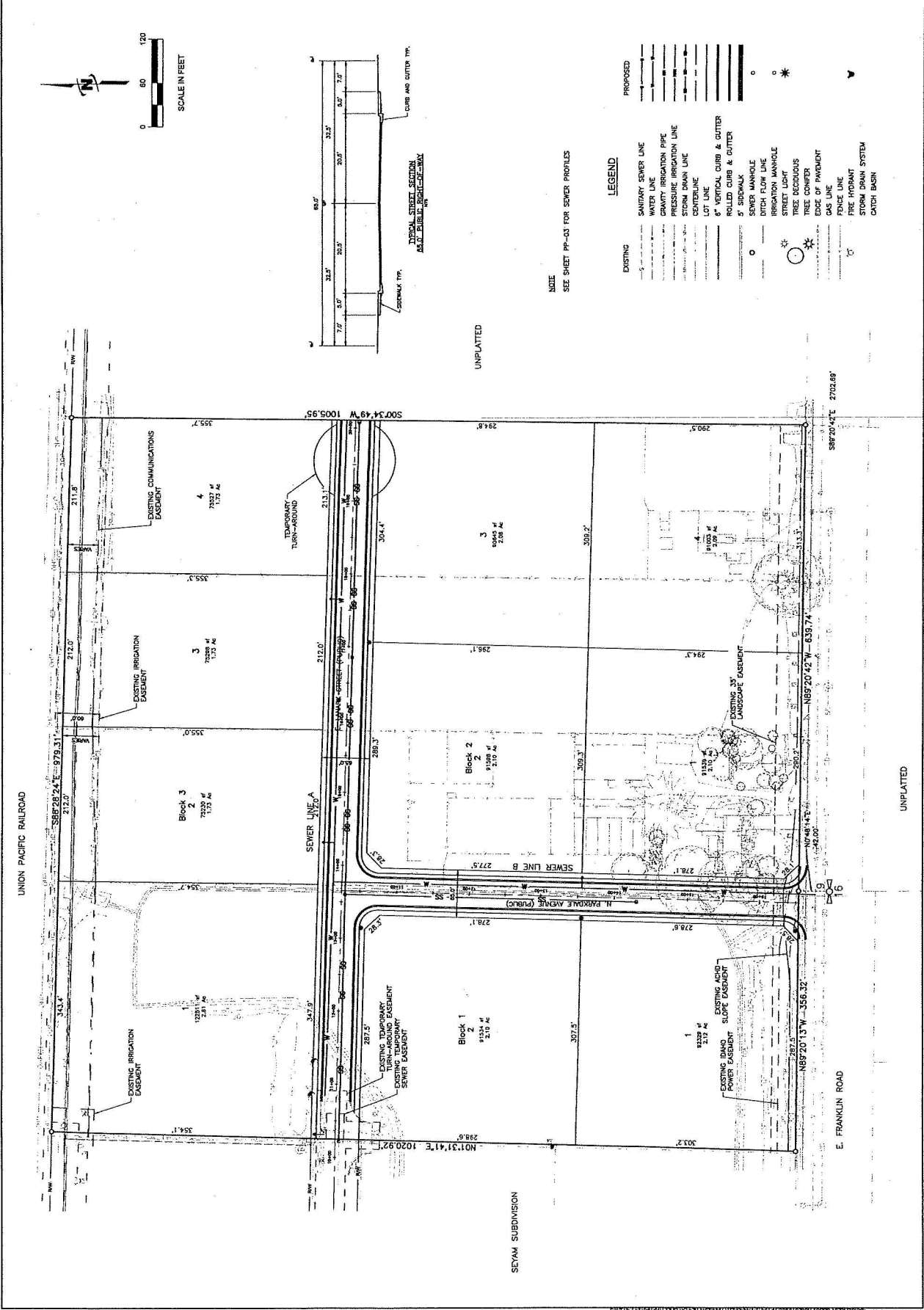


BOUNDARY
CERTIFICATION



NO.	DESCRIPTION	BY	DATE

SEYAM EAST SUBDIVISION
CITY OF MERIDIAN, ADA COUNTY, IDAHO.
PRELIMINARY PLAT
EXISTING AND PROPOSED CONDITIONS



UNPLATTED

NOTE
 SEE SHEET PP-03 FOR SEWER PROFILES

EXISTING	PROPOSED
Sanitary Sewer Line	Sanitary Sewer Line
Water Line	Water Line
Gravity Irrigation Pipe	Gravity Irrigation Pipe
Storm Drain Line	Storm Drain Line
Contributor	Contributor
Lot Line	Lot Line
6" Vertical Curb & Gutter	6" Vertical Curb & Gutter
5' Sidewalk	5' Sidewalk
Sewer Manhole	Sewer Manhole
Ditch Flow Line	Ditch Flow Line
Irrigation Manhole	Irrigation Manhole
Street Light	Street Light
Tree Deciduous	Tree Deciduous
Tree Conifer	Tree Conifer
Edge of Pavement	Edge of Pavement
Gas Line	Gas Line
Fire Hydrant	Fire Hydrant
Storm Drain System	Storm Drain System
Catch Basin	Catch Basin

UNION PACIFIC RAILROAD

SEYAM SUBDIVISION

UNPLATTED

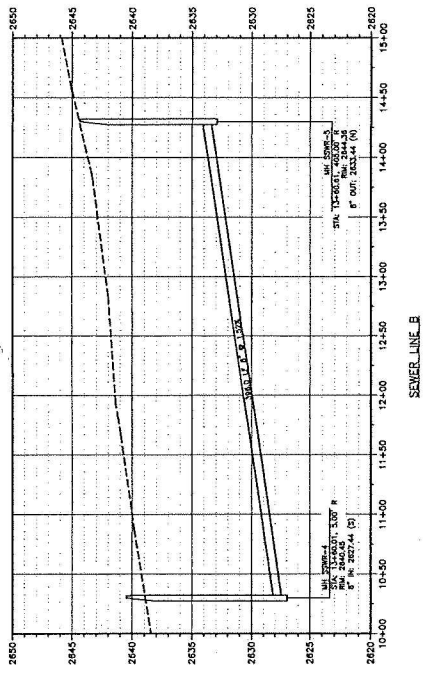
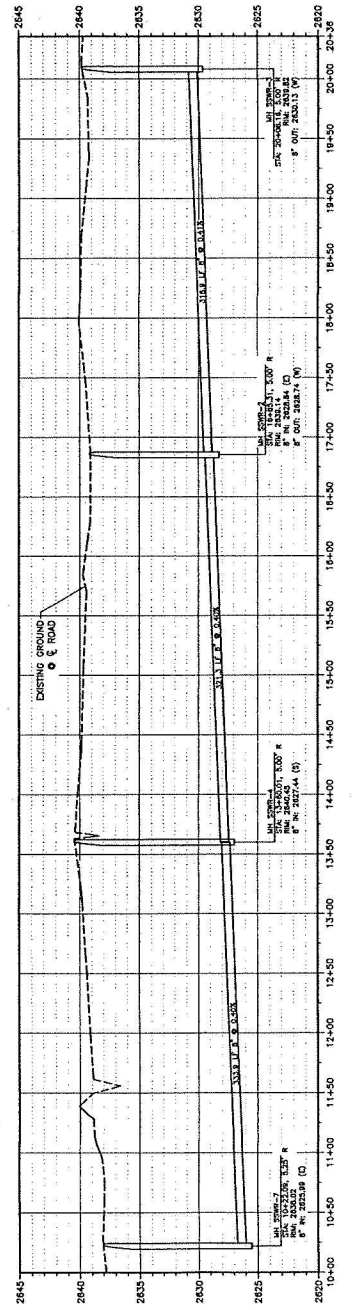
Doc# 1012018 824 Rev. 12/31/2024. Prepared by: E. W. Evans



NO.	DESCRIPTION	DATE

SEAM EAST SUBDIVISION
 CITY OF MERIDIAN, ADA COUNTY, IDAHO.
 PRELIMINARY PLAT
 SEWER PROFILES

DATE: 10/15/2018
 DRAWN BY: JUB
 CHECKED BY: JUB
 PROJECT NO.: 18-001
 SHEET NUMBER: PP-03













Mr. Brad Miller
Ronald Van Auken, Inc.
3084 East Lanark Street
Meridian, Idaho 83642

November 10, 2017
Page 1 of 8
File #17272-A

Re: Groundwater Research
Proposed Seyam Subdivision #2
East Lanark Street
Meridian, Idaho

Brad:

The subject property is located at the east end of Lanark Street, east of Eagle Road and north of Franklin Road in Meridian, Idaho. The proposed subdivision consists of the following five parcels;

Parcel #	Address	Acres
R7820150030	3920 East Lanark Street	8.18
S1109438587	4010 East Franklin Road	4.43
S1109438451	4010 East Franklin Road	0.48
S1109438785	East Franklin Road	4.99
S1109438831	4140 East Franklin Road	4.93
	Total	23.01 Acres

In May 2017, SITE performed a geotechnical investigation on the north end of the first parcel listed above. The investigation included the excavation of four test pits that extended to a maximum depth of 14 feet below the existing ground surface. At this depth, loose sand and gravels were sloughing faster than could be excavated with a rubber tire backhoe. Groundwater was not encountered.

Since groundwater was not confirmed, additional research was undertaken. The subject property is located in section 9, township 3 north, range 1 east. Well logs for this and adjacent sections were reviewed on the Idaho Department of Water Resources website. Three well logs of interest were identified and have been attached.

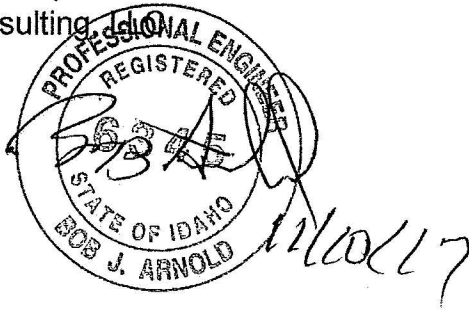
Well Log #1 is for a well drilled in 1963 that was on or very near the subject property. This well log indicates groundwater was 15 feet deep at the time of drilling. Well log #2 is for the former Empire Transport facility, located east of the subject property and #3 is for a former residential / domestic well on the R. C. Willey property to the west. These two wells indicate the static water level was 12 and 18 feet deep at the time of drilling.



Based upon encountered soils and reported research, it is safe to assume that groundwater is greater than 12 feet deep on the subject property and will not adversely impact construction of the proposed subdivision.

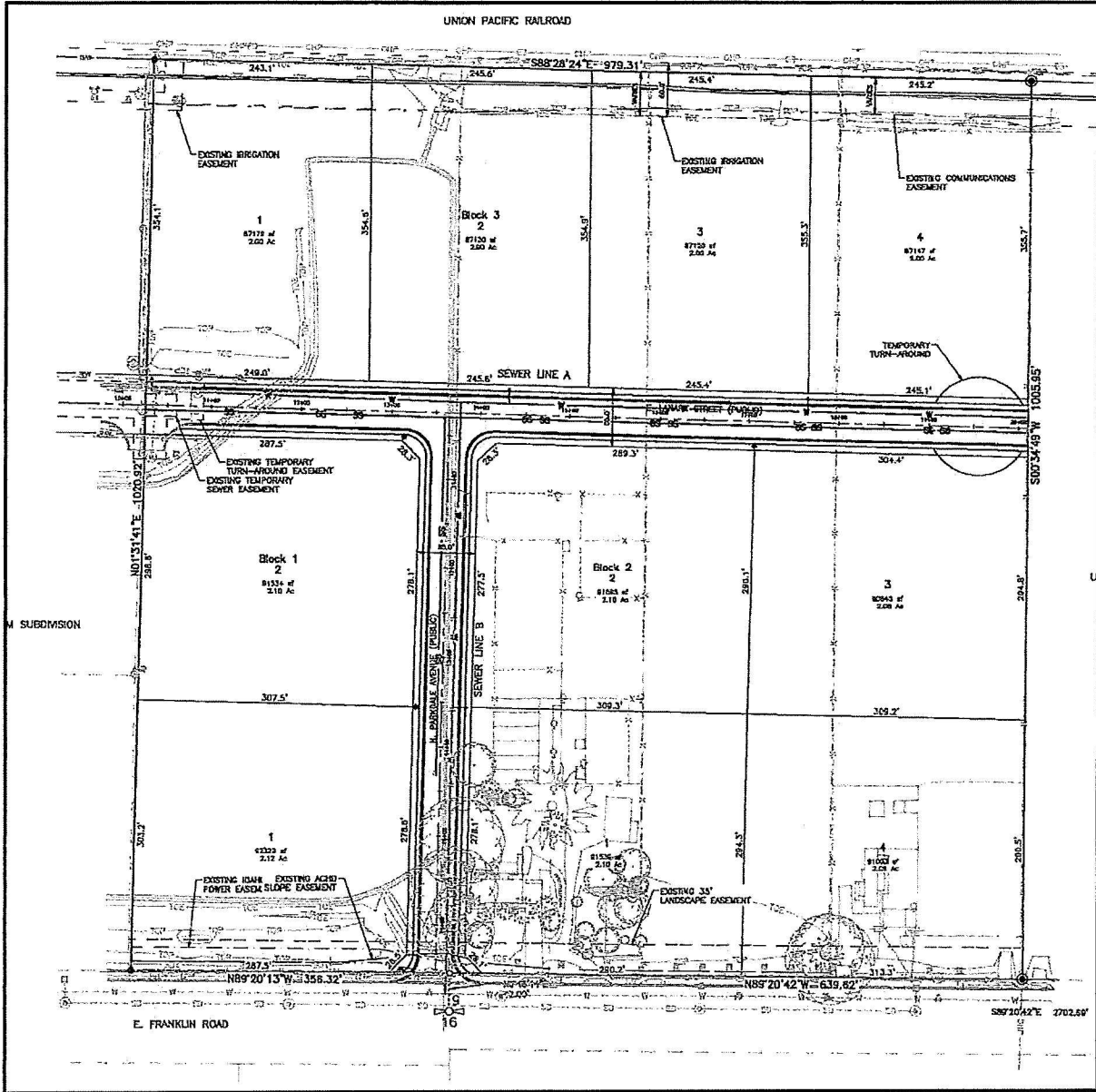
We look forward to assisting with your geotechnical needs should this project become viable and proceed to the design phase. Should you have any questions or require additional information, please contact our office at your convenience.

Respectfully submitted;
Bob J. Arnold, PE
SITE Consulting, LLC



SITE CONSULTING, LLC

PROPOSED SUBDIVISION





**AERIAL PHOTO
Test Pit Locations**





WELL LOGS

Well Log Form 1
4M - 9/82

098851
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JUN 3 1988

#1

WELL LOG AND REPORT OF THE STATE RECLAMATION ENGINEER OF IDAHO

Department of Reclamation

Permit No. _____ Well No. _____ County Ada
 Owner Glenn Baker
 Address 10 Star Creek Dr P.O. Box 5023
 Driller F.J. Clayville
 Address 3817 Greenbriar Dr
 Well location SW 1/4 S 6 1/4 Sec. 9, T. 3 N 1/4 R. 1 E 1/4
 Size of drilled hole 4"

Locate well in section

NW 1/4	NE 1/4
SW 1/4	SE 1/4

+

Total depth of well 62
 Give depth to standing water from the ground 15 Water temp. _____ °Fahr.
 On "Pumping Test" delivery was _____ g.p.m. or _____ c.f.s. Drawdown was _____ feet.
 Size of pump and motor used to make test _____
 Length of time of test _____ hours _____ minutes.
 If flowing well, give flow _____ c.f.s. or _____ g.p.m. and at shut off pressure _____
 If flowing well, described control works _____ (TYPE AND SIZE OF VALVE, ETC.)
 Water will be used for Domestic Weight of casing per lineal foot 11 lb
 Thickness of casing 1/4" Casing material steel (STEEL, CONCRETE, WOOD, ETC.)
 Diameter, length and location of casing _____ (CASING 12" IN DIAMETER OR LESS, GIVE INSIDE DIAMETER; CASING OVER 12" IN DIAMETER, GIVE OUTSIDE DIAMETER)

CASING RECORD

Diam. Casing	From Feet	To Feet	Length	Remarks—seals, grouting, etc.

Number and size of perforations _____ located _____ feet to _____ feet from ground
 Date of commencement of well _____ Date of completion of well March 8-63

SW SE 5.93N 1E

SITE CONSULTING, LLC

#12

WELL LOG

From Feet	To Feet	Type of Material	Water-bearing Formation Yes, No or No	Casing Perforated Above, To or Below
0	3	top soil		
3	6	Large gravel		
6	11	Med		
11	13	Large		
13	22	Med	yes	No
22	58	Sandy clay	No	
58	60	yellow	No	
60	62	Med sand	yes	

If more space is required use Sheet No. 2

WELL DRILLER'S STATEMENT

This well was drilled under my supervision and the above information is complete, true and correct to the best of my knowledge and belief.

Signed F.J. Clapville

By _____

Dated June 7, 1963

License No. 43

SITE CONSULTING, LLC

Form 2367-492

#2

STATE OF IDAHO
DEPARTMENT OF WATER RESOURCES
WELL DRILLER'S REPORT

USE TYPEWRITER OR BALLPOINT PEN

State law requires that this report be filed with the Director, Department of Water Resources within 30 days after the completion or abandonment of the well.

<p>1. WELL OWNER Name <u>Empire Transport</u> Address <u>007 Overland Rd</u> <u>83705</u> Drilling Permit No. <u>63-92-W-0968-000</u> Water Right Permit No. _____</p>	<p>7. WATER LEVEL Static water level <u>12</u> feet below land surface. Flowing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No G.P.M. flow _____ Artesian closed-in pressure _____ p.s.i. Controlled by: <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug Temperature _____ °F Quality _____ <small>Describe strata or temperature zones below.</small></p>																																														
<p>2. NATURE OF WORK <input checked="" type="checkbox"/> New well <input type="checkbox"/> Deepened <input type="checkbox"/> Replacement <input type="checkbox"/> Well diameter increase <input type="checkbox"/> Modification <input type="checkbox"/> Abandoned (describe abandonment or modification procedures such as liners, screen, materials, plug depths, etc. in lithologic log, section 9.)</p>	<p>8. WELL TEST DATA <input type="checkbox"/> Pump <input checked="" type="checkbox"/> Baller <input type="checkbox"/> Air <input type="checkbox"/> Other _____</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Discharge G.P.M.</th> <th>Pumping Level</th> <th>Hours Pumped</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">40</td> <td style="text-align: center;">30'</td> <td style="text-align: center;">1</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Discharge G.P.M.	Pumping Level	Hours Pumped	40	30'	1																																								
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<p>4. METHOD DRILLED <input type="checkbox"/> Rotary <input type="checkbox"/> Air <input type="checkbox"/> Auger <input type="checkbox"/> Reverse rotary <input checked="" type="checkbox"/> Cable <input type="checkbox"/> Mud <input type="checkbox"/> Other _____ (backhoe, hydraulic, etc.)</p>	<p>10. Work started <u>11/4/92</u> finished <u>11/11/92</u></p>																																														
<p>5. WELL CONSTRUCTION Casing schedule: <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Other _____ Thickness _____ Diameter _____ From _____ To _____ <u>250</u> inches <u>6</u> inches + <u>1 1/2</u> feet <u>83' 6"</u> feet _____ inches _____ inches _____ feet _____ feet _____ inches _____ inches _____ feet _____ feet Was casing drive shoe used? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Was a packer or seal used? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Perforated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No How perforated? <input type="checkbox"/> Factory <input type="checkbox"/> Knife <input type="checkbox"/> Torch <input type="checkbox"/> Gun Size of perforation? _____ inches by _____ inches Number _____ From _____ To _____ _____ perforations _____ feet _____ feet _____ perforations _____ feet _____ feet _____ perforations _____ feet _____ feet Well screen installed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Manufacturer <u>Johnson</u> Type <u>304</u> Top Packer or Headpipe <u>4'</u> Bottom of Tailpipe <u>9</u> Diameter <u>5</u> Slot size <u>20</u> Set from <u>25</u> feet to <u>90</u> feet Diameter _____ Slot size _____ Set from _____ feet to _____ feet Gravel packed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Size of gravel _____ Placed from _____ feet to _____ feet Surface seal depth <u>20</u> Material used in seal: <input type="checkbox"/> Cement grout <input checked="" type="checkbox"/> Bentonite <input type="checkbox"/> Puddling clay _____ Sealing procedure used: <input checked="" type="checkbox"/> Slurry pit <input type="checkbox"/> Temp. surface casing <input type="checkbox"/> Overbore-to seal depth Method of joining casing: <input type="checkbox"/> Threaded <input checked="" type="checkbox"/> Welded <input type="checkbox"/> Solvent Weld <input type="checkbox"/> Cemented between strata Describe access port <u>well cap</u></p>	<p>11. DRILLER'S CERTIFICATION I/We certify that all minimum well construction standards were complied with at the time the rig was removed. Firm Name <u>Stevens & Sons</u> Firm No. <u>153</u> Address <u>3709 Southborne Dr</u> Date <u>11/15/92</u> Signed by Drilling Supervisor <u>Wayne Stevens</u> and <u>Clint Perry</u> (Operator) <u>Clint Perry</u> (If different than the Drilling Supervisor)</p>																																														
<p>6. LOCATION OF WELL Sketch map location must agree with written location. Subdivision Name _____ Lot No. _____ Block No. _____ County <u>Ada</u> Address of Well Site _____ (give at least name of road) S/E S/E 9 T. 3 R. 3 or S or W 1/4 1/4 Sec. 1 R. 1 E33 or W 4</p>	<p>USE ADDITIONAL SHEETS IF NECESSARY -- FORWARD THE WHITE COPY TO THE DEPARTMENT</p>																																														

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Department of Water Resources
Western Regional Office

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NOV 20 1992

MICROFILMED
Department of Water Resources

AUG 09 1993

SITE CONSULTING, LLC

USE TYPEWRITER OR BALL POINT PEN

43

State of Idaho
Department of Water Resources

WELL DRILLER'S REPORT

State law requires that this report be filed with the Director, Department of Water Resources within 30 days after the completion or abandonment of the well.

<p>1. WELL OWNER</p> <p>Name <u>Norman Burke</u> Address <u>Mendocino, Idaho</u> Owner's Permit No. _____</p>	<p>7. WATER LEVEL</p> <p>Static water level <u>18</u> feet below land surface Flowing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No G.P.M. flow _____ Temperature _____ ° F. Quality _____ Artesian closed-in pressure _____ p.s.i. Controlled by <input type="checkbox"/> Valve <input type="checkbox"/> Cap <input type="checkbox"/> Plug</p>																																																																								
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USE ADDITIONAL SHEETS IF NECESSARY FORWARD THE WHITE COPY TO THE DEPARTMENT

Nothing follows