



TRANSMITTAL DATE: December 5, 2025

PLANNING AND ZONING COMMISSION MEETING DATE: February 2, 2025

APPLICATION NUMBER: A-2025-07/RZDA-2025-09/CUP-2025-13/PPUD-2025-07/PP-2025-11

PROJECT DESCRIPTION: Tavira Subdivision

APPLICANT:

Sundance Company
Attn: Chris Anderson
3405 East Overland Road, Suite 150
Meridian, Idaho 83642
Email: chris@sundanceco.com
Phone: 208-322-7300

REPRESENTATIVE:

Professional Engineering Services
Attn: Mary Wall
5636 North Portsmouth Avenue
Boise, Idaho 83714
Email: mary@pe-services.biz
Phone: 208-600-6218

SUBJECT: A-2025-07/RZDA-2025-09/CUP-2025-13/PPUD-2025-07/PP-2025-11 – Tavira Subdivision – Sundance Company: Sundance Company, represented by Mary Wall with Professional Engineering Solutions, is requesting annexation, rezone with a development agreement, conditional use permit, preliminary development plan, and preliminary plat approval for Tavira Subdivision, a 121-lot (110-buildable; 11-common) residential subdivision. The 55.00-acre site is generally located on the north side of West Broken Arrow Road, approximately 0.42-miles west of North Palmer Lane.

STAFF CONTACT: Andrew Glaspell | Planner I aglaspell@cityofeagle.org

The City of Eagle is reviewing the above-mentioned applications. If you have any comments on the proposed development please notify the City of Eagle **STAFF** in writing within 15 days of the transmittal date noted above. If no response is received, you will be considered as having no specific concerns regarding this item. *Do not contact City of Eagle appointed or elected officials regarding this application.

TRANSMITTED TO:

Ada County Assessor
Ada County Development Services - Attn: **Richard Beck**
Ada County Highway District - Attn: **Planning Review**
Avimor Water Reclamation District - Attn: **Grant Huling**
Ballentyne Ditch Company - Attn: **S. Bryce Farris**
Ballentyne West Lateral User's Assoc. - **Tim Fease**
Boise River Flood Control District No. 10
Boise School District - Attn: **Lanette Daw**
Central District Health Department
CenturyLink – Attn: **Eddy Franklin**
City of Eagle Police (ACSO) - Attn: **Chief Travis Ruby**
City of Eagle Public Works – Attn: **Eric Ziegenfuss**
City of Eagle Water Dept. - Attn: **Ken Acuff**
COMPASS
DEQ - Attn: **Alicia Martin**
Drainage District #2 - Attn: **S. Bryce Farris**
Eagle Historic Preservation Commission
Eagle Fire Department - Attn: **Scott Buck/John Francesconi/Kobie Woolf**
Eagle Sewer District - Attn: **Neil Jenkins**
Eagle Urban Renewal Agency – Attn: **Ashley Squyres**
Farmers Union Ditch Co. Inc. - Attn: **Andy Waldera**

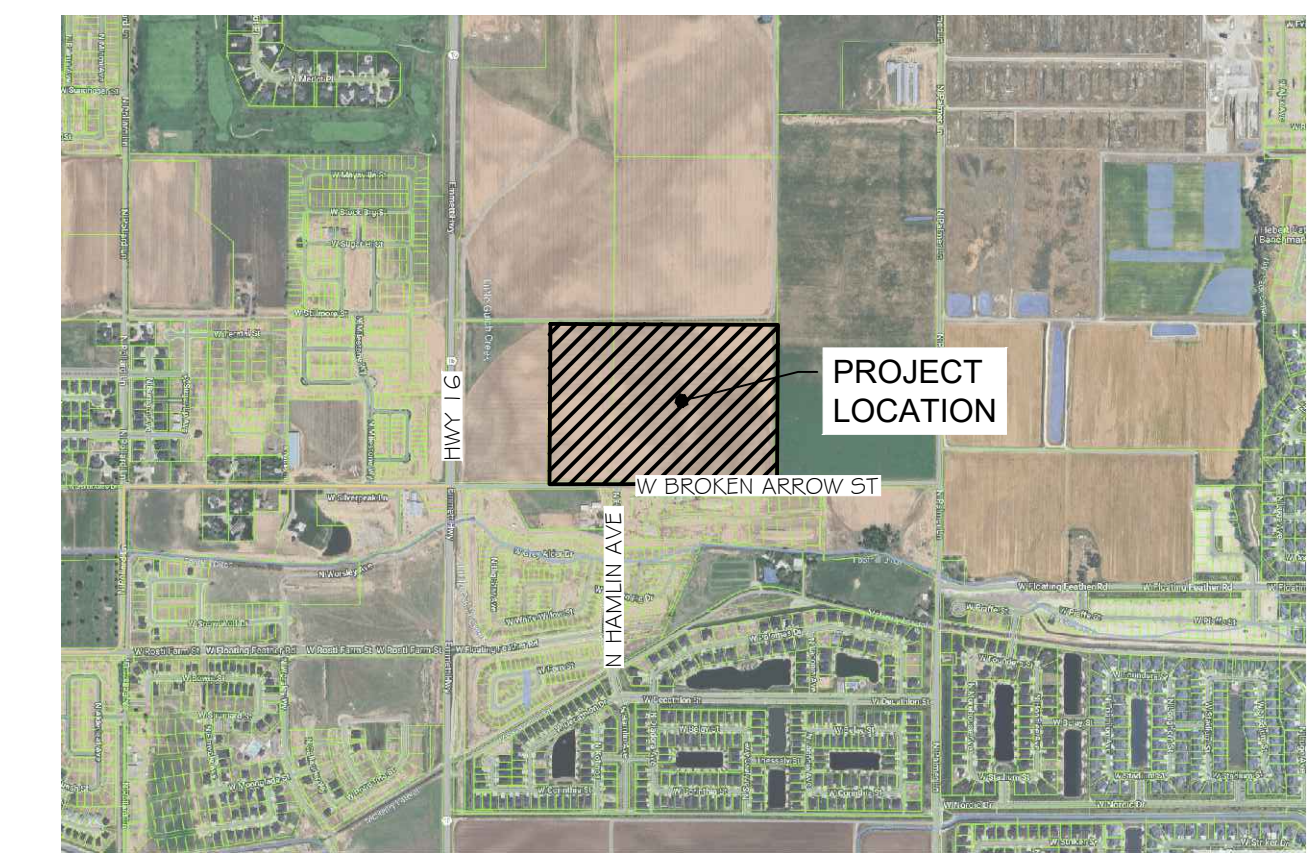
Hardin Sanitation – Attn: **Mark Fulwiler & Nate Unger**
Idaho Dept. of Fish & Game - Southwest Region
Idaho Department of Lands
Idaho Power - Attn: **Paris Dickerson & Taylor Dunn**
Intermountain Gas – **Brian Higgins & Randy Morgan**
ITD
Land Trust of the Treasure Valley – Attn: **Chris Colson**
Marathon Pipe Line – Attn: **Midge Kline**
Meridian Fire Department - Attn: **Steven Taulbee**
Middleton Irrigation Ditch Company - Attn: **S. Bryce Farris**
Middleton Mill Ditch Company - Attn: **S. Bryce Farris**
New Dry Creek Ditch Co. - Attn: **Roger Foster**
New Union Ditch Co. - Attn: **Gary Heikes**
Settler's Irrigation - Attn: **S. Bryce Farris**
Sparklight
Star Fire District - Attn: **Greg Timinsky, Victor Islas**
United States Army Corps of Engineers
Veolia - Attn: **Cathy Cooper**
United States Postal Service - Attn: **Jeff Robertson**
Valley Regional Transit
West Ada School District - Attn: **Dr. David Reinhart, Miranda Carson**

PROJECT CONTACTS		
	COMPANY	PHONE
DEVELOPER	THE SUNDANCE COMPANY	208-322-7300
CIVIL ENGINEER	CIVILSPHERE ENGINEERING, PLLC	512-608-7717
PLANNER / CIVIL ENGINEER	PROFESSIONAL ENGINEERING SERVICES	406-600-6218
SURVEYOR	EAGLE LAND SURVEYING, LLC	208-861-7513

AGENCY CONTACTS		
	AGENCY	PHONE
POWER	IDAHO POWER	208-388-6320
GAS	INTERMOUNTAIN GAS	208-377-6863
SEWER	EAGLE SEWER DISTRICT	208-939-0132
WATER	CITY OF EAGLE WATER	208-489-8777
FIRE	STAR FIRE PROTECTION DISTRICT	208-286-7772
TELEPHONE	CENTURY LINK	208-385-2144
HEALTH AUTHORITY	CENTRAL DISTRICT HEALTH	208-375-5211
IRRIGATION DISTRICT	FARMERS UNION DITCH CO.	208-870-7919

PRELIMINARY PLAT FOR: TAVIRA SUBDIVISION

PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND
PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 3
T. 4 N., R. 1 W., B.M., ADA COUNTY, IDAHO



VICINITY MAP
NOT TO SCALE

DEVELOPMENT FEATURES

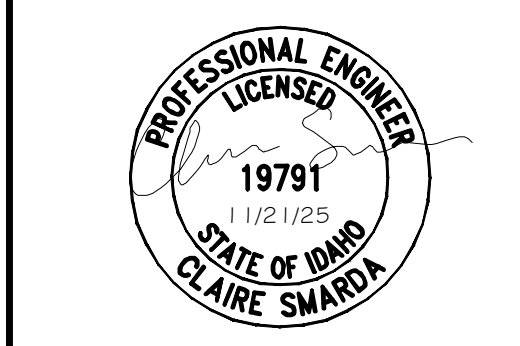
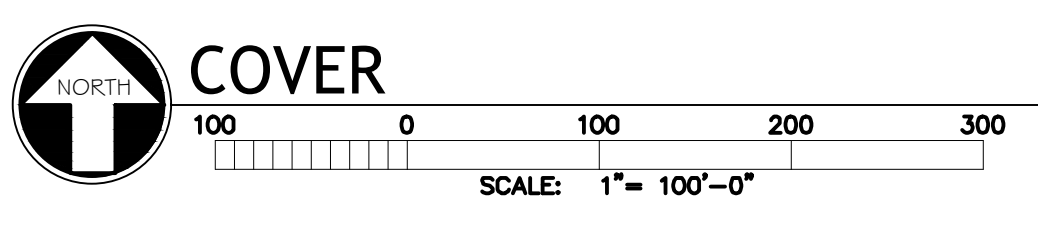
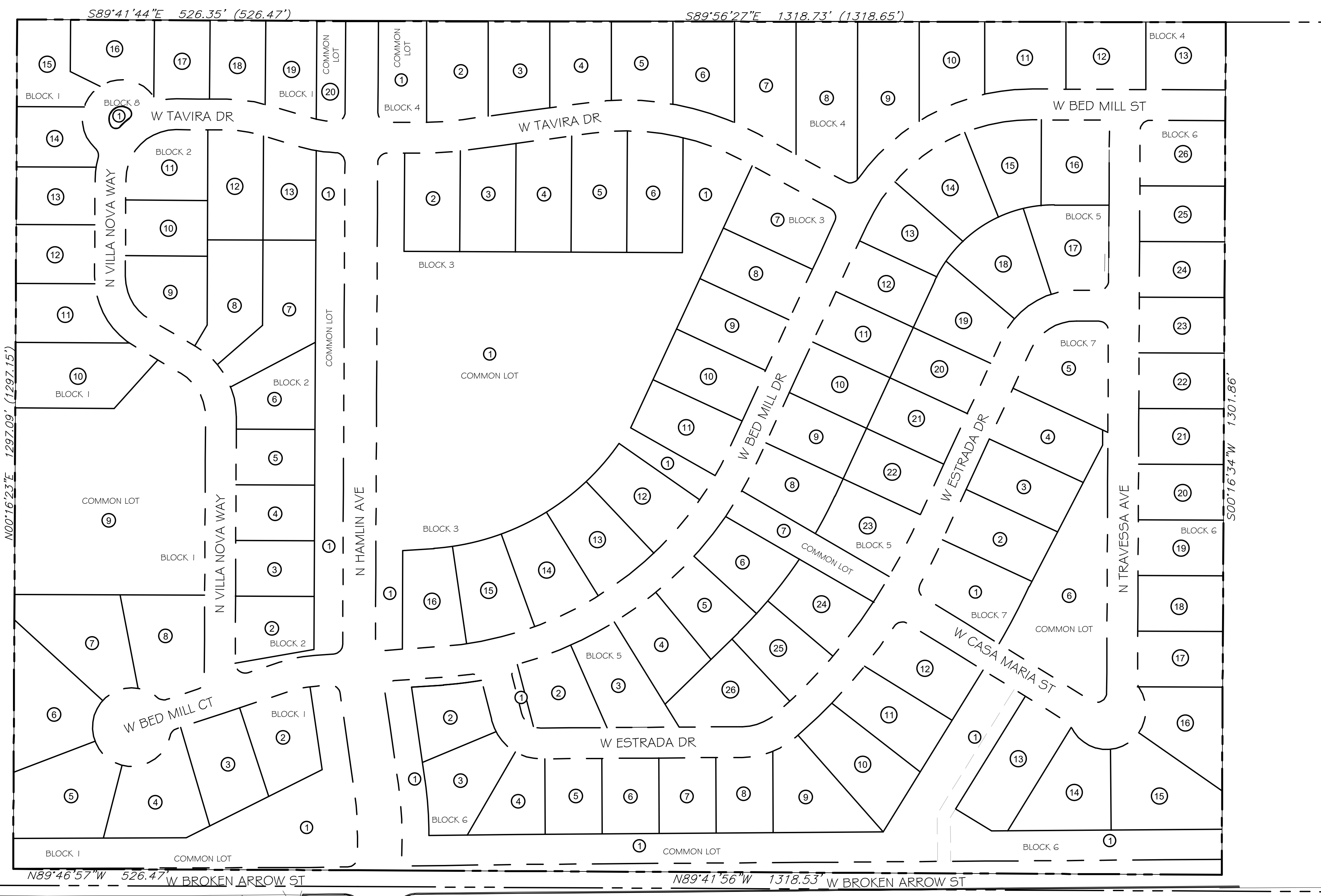
TOTAL ACRES	55.0 AC				
EXISTING ZONING	RUT (ADA COUNTY)				
PROPOSED ZONING	R-3-DA				
LOT COUNTS	SINGLE FAMILY		COMMON LOTS		
	LOTS	ACRES	LOTS	ACRES	
BLOCK 1	17	4.74	3	4.71	
BLOCK 2	12	5.46	1	3.24	
BLOCK 3	15	3.40	1	0.81	
BLOCK 4	12	3.91	1	0.26	
BLOCK 5	24	6.75	2	0.29	
BLOCK 6	25	7.14	1	2.07	
BLOCK 7	5	1.59	1	0.84	
BLOCK 8	0	0	1	0.02	
TOTAL	110	33.04	60.1%	11	12.19 22.1%
OPEN SPACE REQUIRED	20% (11.0 AC)				
OPEN SPACE PROVIDED	12.19 ACRES (22.1%)				
ACTIVE OPEN SPACE	LOT 9, BLOCK 1; LOT 1, BLOCK 3; LOT 7, BLOCK 5; & A PORTION OF LOT 1, BLOCK 6 7.54 ACRES (62% OF ALL COMMON LOTS)				
R-O-W LANDSCAPE STRIP OPEN SPACE	2.86 ACRES				
PUBLIC RIGHT OF WAY	9.77 ACRES (17.8%)				
RESIDENTIAL GROSS DENSITY	2.0 DU/AC				
AVERAGE LOT SIZE	13,084 SF				
MINIMUM LOT SIZE	REQUIRED	PROVIDED			
	10,000 SF	10,005 SF			
W/ STREET SIDE FRONTAGE	11,000 SF	12,234 SF			
MINIMUM LOT WIDTH	75'				

SETBACKS TABLE

LIVING AREA	FRONT		REAR	SIDE	STREET SIDE	MAX LOT COVERAGE
	26'	31'	25'	7.5'	20'	40%

SETBACK VARIANCES MAY BE PROPOSED FOR INDIVIDUAL LOTS TO ACCOMMODATE WIDER AND SHALLOWER DIMENSIONS. REFER TO THE DEVELOPMENT AGREEMENT FOR SPECIFICS.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C1.1	EXISTING CONDITIONS
C1.2	PHASING PLAN
C1.3	NOTES AND CROSS SECTIONS
C2.1	PRELIMINARY PLAT
C2.2	PRELIMINARY PLAT
C2.3	PRELIMINARY PLAT
C2.4	PRELIMINARY PLAT
C3.1	OVERALL PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN
C3.2	PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN
C3.3	PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN
C3.4	PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN
C3.5	PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN



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NO.	DATE	DESCRIPTION	SHEET INFO			
			CS	PMV	CS	SHEET SIZE
						24" x 36"

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO

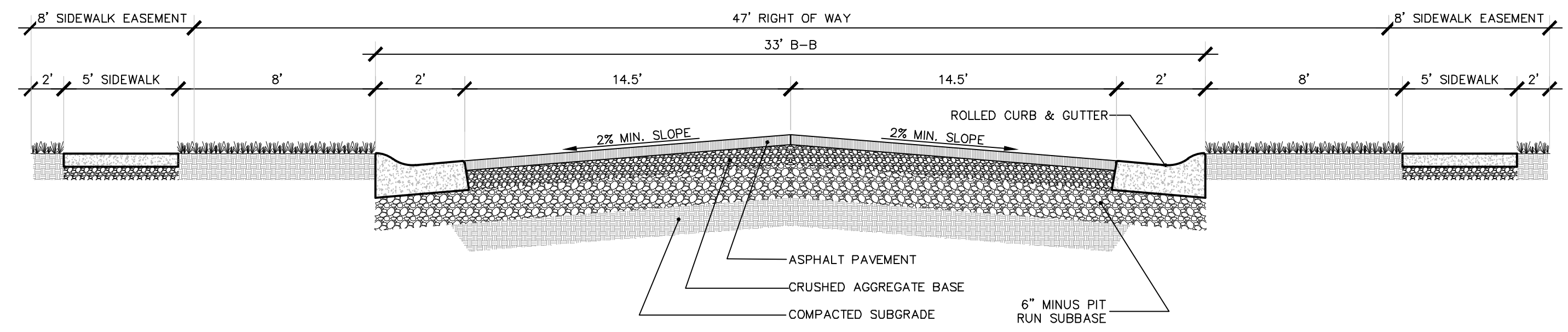
PROJECT NO.
24014
DATE
11/21/2025
SHEET NO.

C1.0

THE PROFESSIONAL SERVICES OF CIVILSPHERE ENGINEERING ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF "THE SUNDANCE COMPANY". NO CONTRACTUAL OBLIGATION IS ASSUMED BY CIVILSPHERE ENGINEERING FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

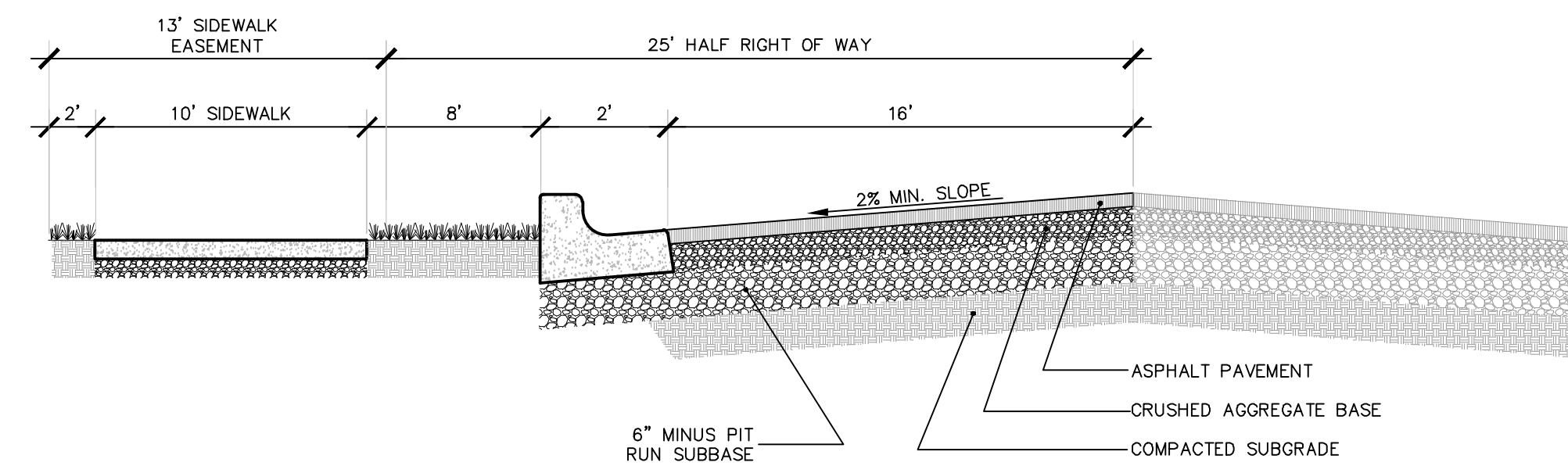
CITY OF EAGLE STANDARD PLAT NOTES

1. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
2. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
3. ALL DEVELOPMENT WITHIN THIS SUBDIVISION SHALL BE CONSISTENT WITH THE CONDITIONS OF DEVELOPMENT WITHIN THE DEVELOPMENT AGREEMENT (INSTRUMENT NO. _____) AND ANY SUBSEQUENT MODIFICATIONS TO THE DEVELOPMENT AGREEMENT.
4. THIS DEVELOPMENT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS (INSTRUMENT NO. _____). THE RESTRICTIVE COVENANTS FOR MAINTENANCE OF THE PRIVATE ROAD CANNOT BE MODIFIED AND THE HOMEOWNER'S ASSOCIATION CANNOT BE DISSOLVED WITHOUT THE EXPRESS CONSENT OF THE CITY OF EAGLE.
5. DIRECT LOT ACCESS TO N. HAMLIN AVE. AND W. BROKEN ARROW ST. IS PROHIBITED.
6. THIS DEVELOPMENT RECOGNIZES 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
7. ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE 10-FOOT ADJACENT TO ANY PUBLIC STREET. THE EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACE DRIVEWAYS, WALKWAYS, LANDSCAPE, PARKING, FENCING OR OTHER SUCH NON-PERMANENT STRUCTURES.
8. UNLESS OTHERWISE SHOWN AND DIMENSIONED, ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE 5-FOOT ADJACENT TO ANY INTERIOR SIDE LOT LINE, OVER THE 5-FOOT ADJACENT TO ANY REAR LOT LINE, AND OVER THE 10-FOOT ADJACENT TO ANY SUBDIVISION BOUNDARY.
9. LOTS 1, 9, & 20, BLOCK 1; LOT 1, BLOCK 2; LOT 1, BLOCK 3; LOT 1, BLOCK 4; LOTS 1, & 7, BLOCK 5; LOT 1, BLOCK 6; LOT 6, BLOCK 7; AND LOT 1, BLOCK 8 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE TAVIRA SUBDIVISION HOMEOWNER'S ASSOCIATION.
10. ACCESS SHALL NOT BE TAKEN ACROSS ANY COMMON LOT.



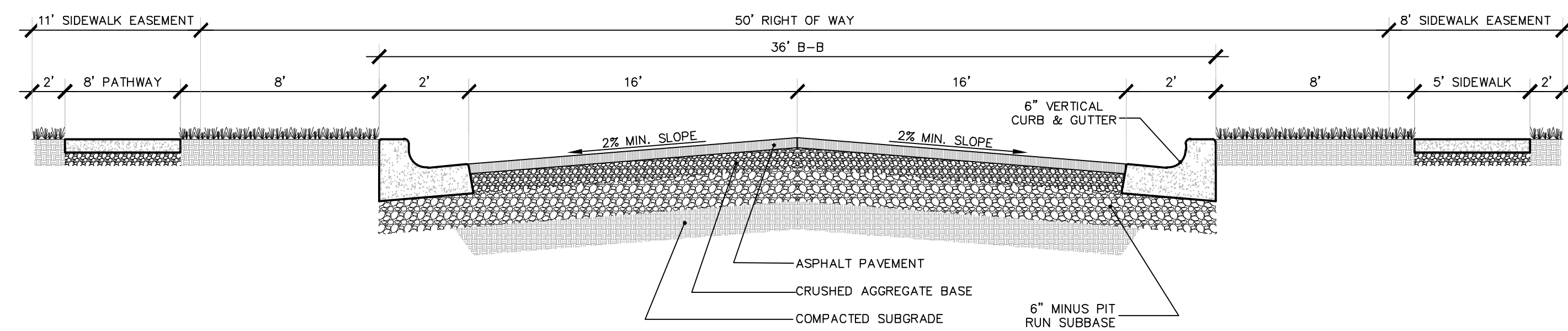
3 LOCAL STREET SECTION

Scale: NTS



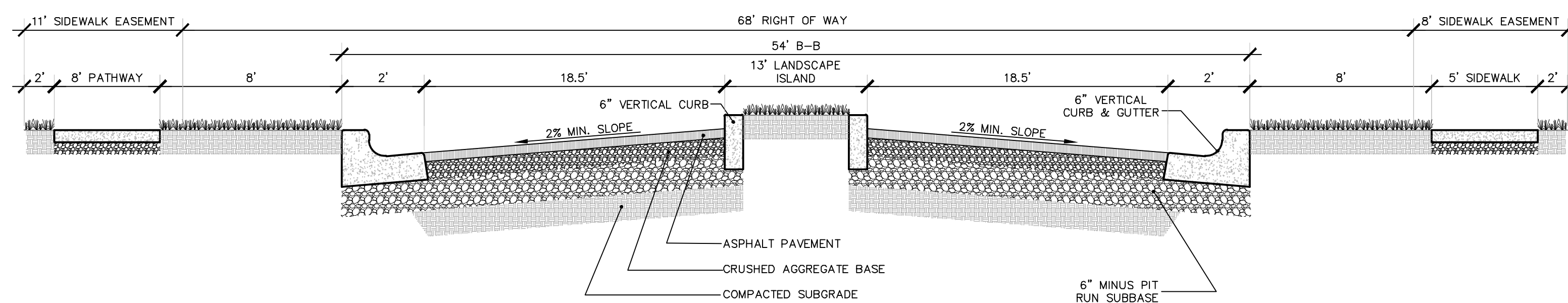
4 COLLECTOR STREET SECTION (W BROKEN ARROW STREET)

Scale: NTS



1 COLLECTOR STREET SECTION (N HAMLIN AVE) BETWEEN W TAVIRA ST AND W RIDER STONE WAY

Scale: NTS



2 DIVIDED COLLECTOR STREET SECTION (N HAMLIN AVE)

Scale: NTS

File: _____
Route to: _____

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			DRAWN BY	CHECKED BY	APPROVED BY	
			CS	PW	CS	24" x 36"

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO

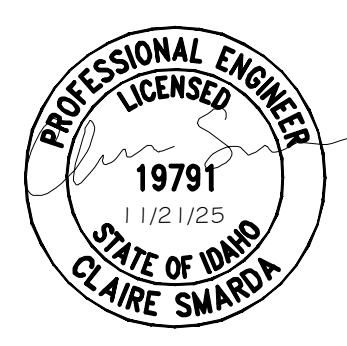
NOTES AND CROSS SECTIONS

PROJECT NO.
24014
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CI.3

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File:
Route to:

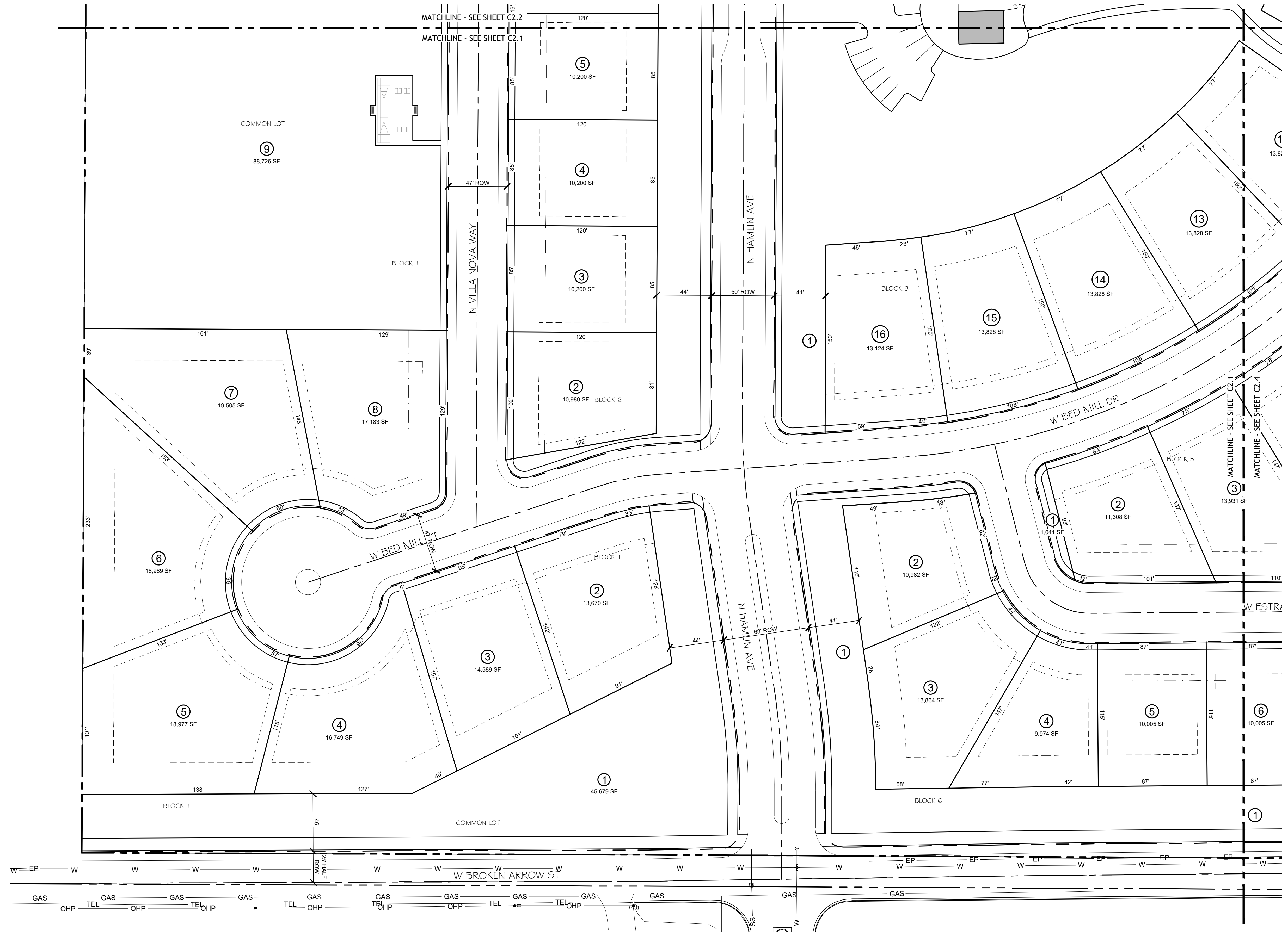


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LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED CONCRETE
- ⊙ LOT NUMBER AND SQUARE FOOTAGE
- BLOCK 1 BLOCK NUMBER
- W — W EXISTING WATER MAIN
- SS EXISTING SEWER MAIN
- ⊕ EXISTING SEWER MANHOLE
- - - BUILDING SETBACK
- - - GARAGE SETBACK



REVISIONS		NO.	DATE	DESCRIPTION

SHEET INFO		NO.	DATE	DESCRIPTION

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO

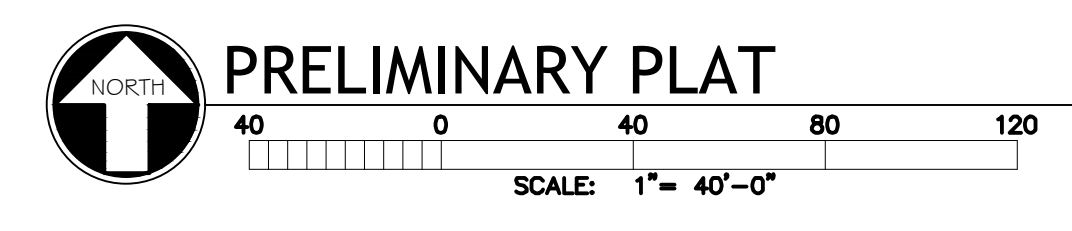
PRELIMINARY PLAT

PROJECT NO.
24014

DATE
11/21/2025

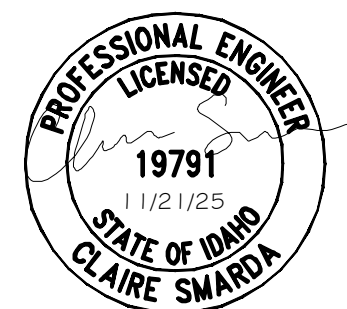
SHEET NO.

C2.1



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File:
Route to:



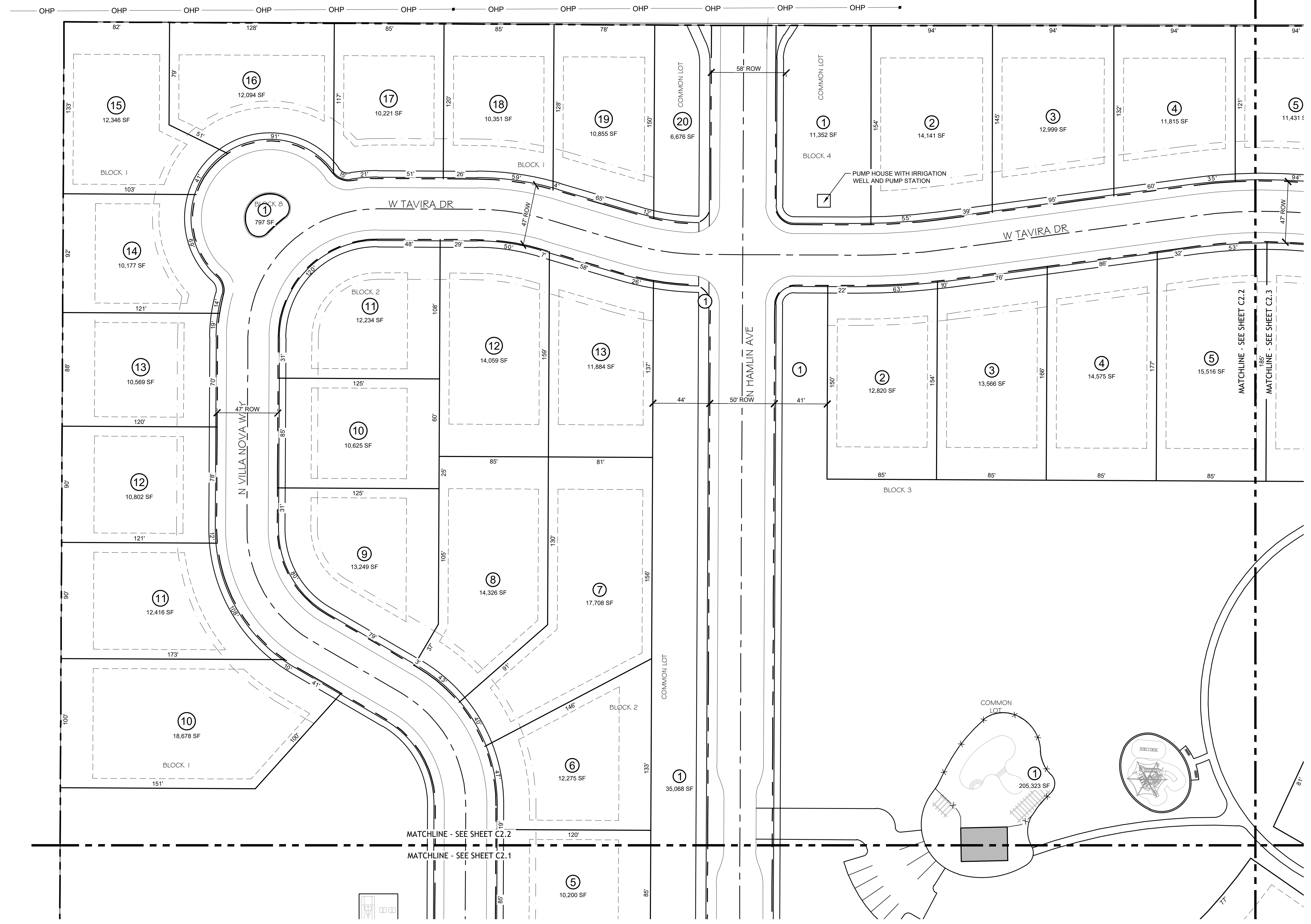
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LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT OF WAY
- PROPOSED CONCRETE
- ⓪ LOT NUMBER AND SQUARE FOOTAGE
- BLOCK 1 BLOCK NUMBER
- W W EXISTING WATER MAIN
- SS EXISTING SEWER MAIN
- Ⓢ EXISTING SEWER MANHOLE
- - - BUILDING SETBACK
- - - GARAGE SETBACK



REVISIONS		DESCRIPTION	
NO.	DATE	NO.	DATE

SHEET INFO			
DRAWN BY	CHECKED BY	APPROVED BY	SHEET SIZE
CS	PMW	CS	24" x 36"

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO

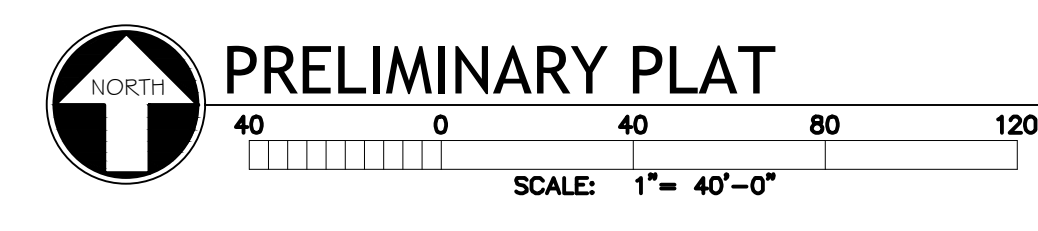
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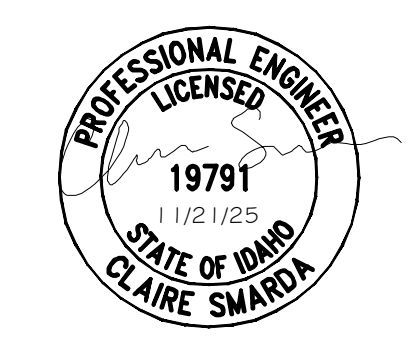
DATE
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SHEET NO.

C2.2



File:
Route to:



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LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED CONCRETE
- ⓪ LOT NUMBER AND SQUARE FOOTAGE
- BLOCK I BLOCK NUMBER
- W — W — EXISTING WATER MAIN
- SS — EXISTING SEWER MAIN
- Ⓢ EXISTING SEWER MANHOLE
- - - BUILDING SETBACK
- - - GARAGE SETBACK

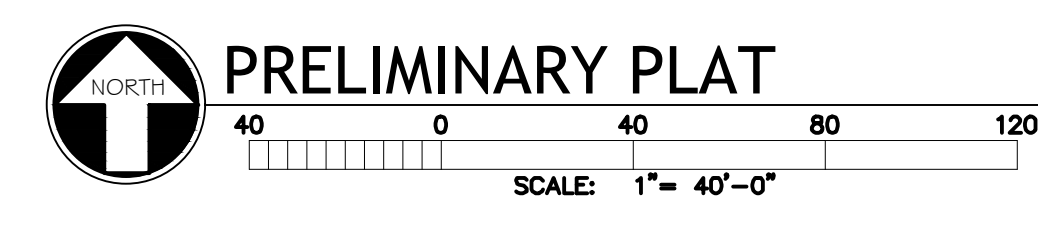
REVISIONS		DESCRIPTION	
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SHEET INFO		DRAWN BY		CHECKED BY		APPROVED BY		SHEET SIZE	
NO.	DATE	CS		MW		CS		24" x 36"	

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO
PRELIMINARY PLAT

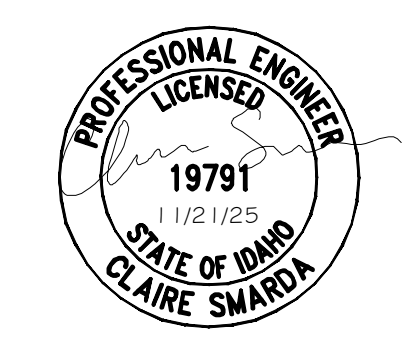
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24014
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SHEET NO.

C2.3



THE PROFESSIONAL SERVICES OF CIVILSPHERE ENGINEERING ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF "THE SUNDANCE COMPANY". NO CONTRACTUAL OBLIGATION IS ASSUMED BY CIVILSPHERE ENGINEERING FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

File:
Route to:



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LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED CONCRETE
- ⓪ LOT NUMBER AND SQUARE FOOTAGE
- BLOCK I BLOCK NUMBER
- W — W — EXISTING WATER MAIN
- SS — EXISTING SEWER MAIN
- Ⓢ EXISTING SEWER MANHOLE
- - - BUILDING SETBACK
- - - GARAGE SETBACK



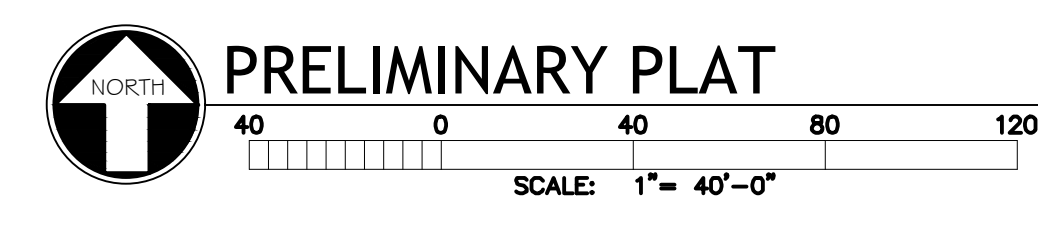
REVISIONS		DESCRIPTION	
NO.	DATE		

SHEET INFO		CS		PW		CS		24" x 36"	
DRAWN BY	CHECKED BY	APPROVED BY	DATE						

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
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PRELIMINARY PLAT

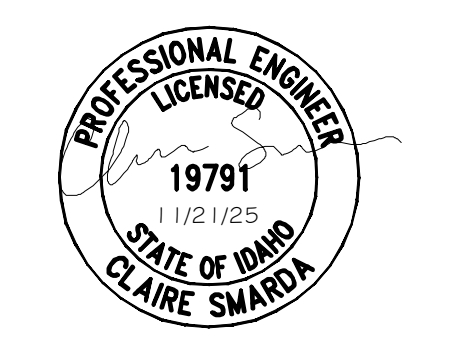
PROJECT NO.
24014
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SHEET NO.

C2.4



THE PROFESSIONAL SERVICES OF CIVILSPHERE ENGINEERING ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF "THE SURVIVANCE COMPANY". NO CONTRACTUAL OBLIGATION IS ASSUMED BY CIVILSPHERE ENGINEERING FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

File:
Route to:

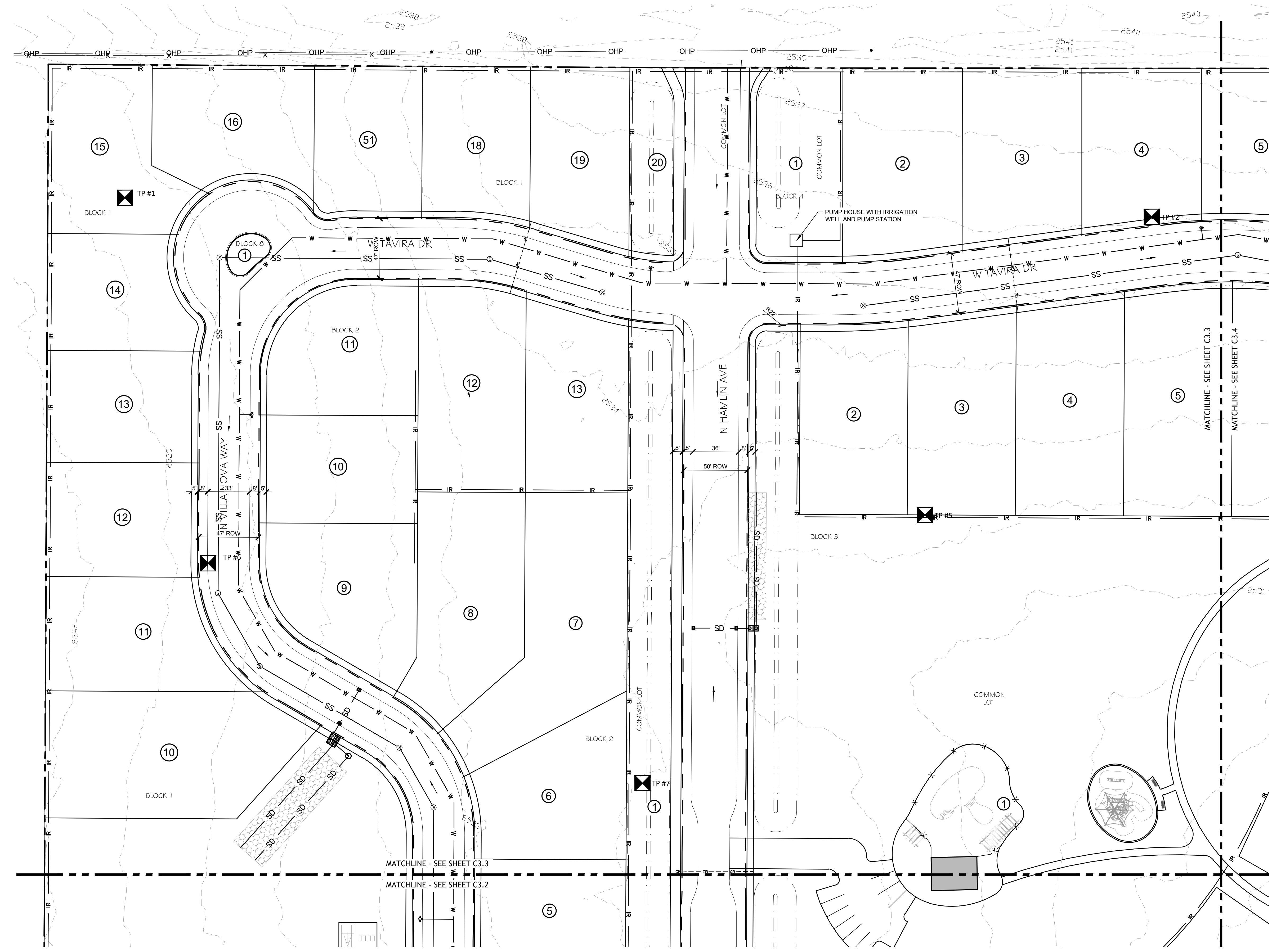


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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED CONCRETE
- (20) LOT NUMBER
- BLOCK 1 BLOCK NUMBER
- SS PROPOSED SEWER MAIN
- (S) PROPOSED SEWER MANHOLE
- W W PROPOSED WATER MAIN
- ⊕ PROPOSED FIRE HYDRANT
- IR PROPOSED PRESSURE IRRIGATION
- SD PROPOSED STORM PIPE
- [Pattern] PROPOSED DRAINAGE FACILITY
- PROPOSED FLOW PATTERN
- H2O EXISTING WATER MAIN
- SWR EXISTING SEWER MAIN
- (S) EXISTING SEWER MANHOLE
- 25.29- EXISTING CONTOURS
- - - GRADE BREAK
- OHP EXISTING OVERHEAD POWER
- TEL EXISTING COMMUNICATION
- GAS EXISTING GAS
- ⊗ TP #1 TEST PIT LOCATION
- - - LANDSCAPE BERM



REVISIONS		DESCRIPTION	
NO.	DATE	NO.	DATE

SHEET INFO			
DRAWN BY	CS	CHECKED BY	PMV
APPROVED BY	CS	SHEET SIZE	24" x 36"

TAVIRA SUBDIVISION

W BROKEN ARROW ST & N HAMLIN AVE

EAGLE, IDAHO

PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN

PROJECT NO.
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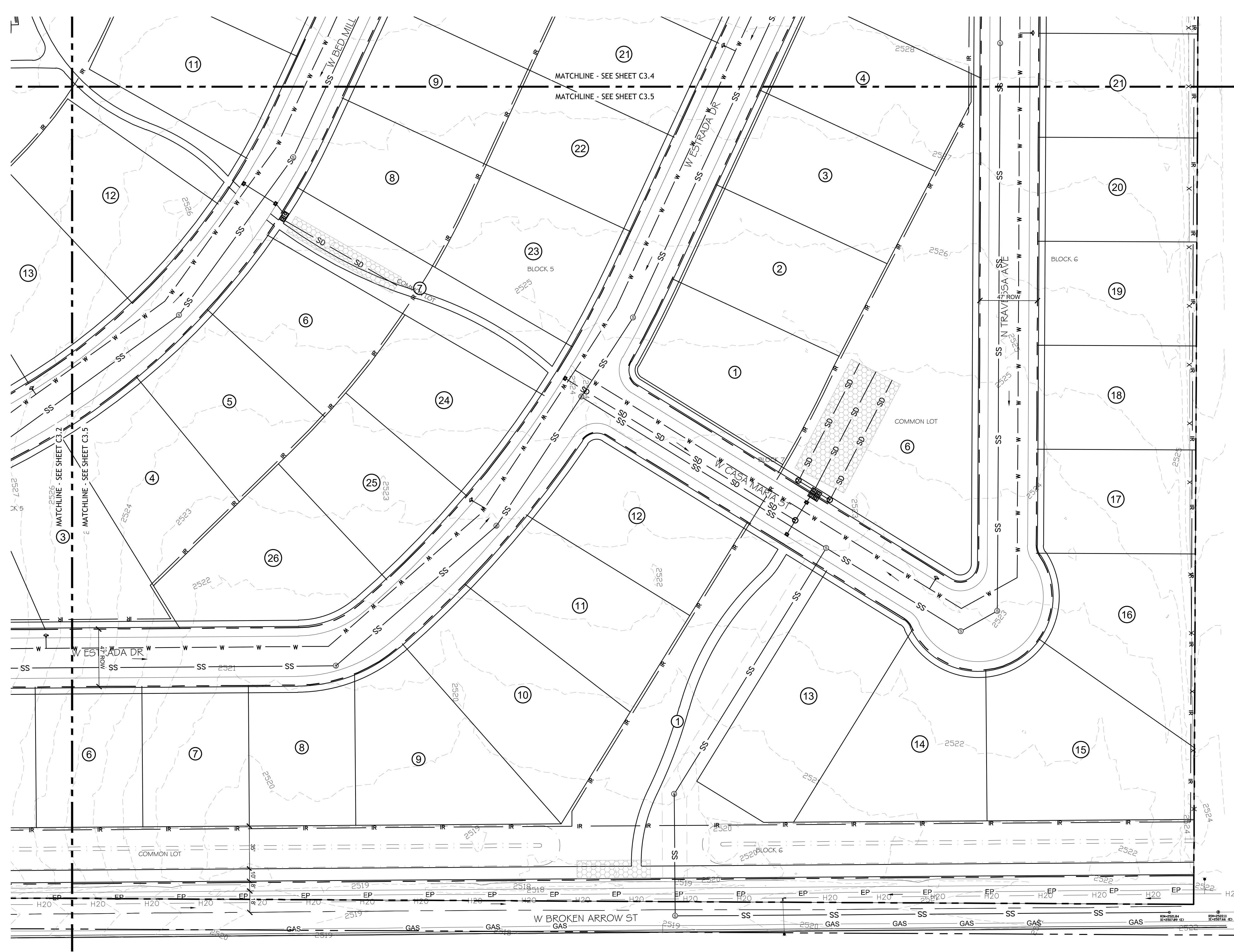
SHEET NO.

C3.3

PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN

SCALE: 1" = 40'-0"

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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED CONCRETE
- ②① LOT NUMBER
- BLOCK 1 BLOCK NUMBER
- SS PROPOSED SEWER MAIN
- Ⓢ PROPOSED SEWER MANHOLE
- W W PROPOSED WATER MAIN
- Ⓢ PROPOSED FIRE HYDRANT
- IR PROPOSED PRESSURE IRRIGATION
- SD PROPOSED STORM PIPE
- [Pattern] PROPOSED DRAINAGE FACILITY
- PROPOSED FLOW PATTERN
- H2O EXISTING WATER MAIN
- SWR EXISTING SEWER MAIN
- Ⓢ EXISTING SEWER MANHOLE
- 2529 EXISTING CONTOURS
- GRADE BREAK
- OHP EXISTING OVERHEAD POWER
- TEL EXISTING COMMUNICATION
- GAS EXISTING GAS
- ⊠ TP #1 TEST PIT LOCATION
- LANDSCAPE BERM

File:
Route to:

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SHEET INFO		CS	PW	CS	24" x 36"
DRAWN BY					
CHECKED BY					
APPROVED BY					
SHEET NO.					

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, IDAHO

PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN

PROJECT NO. 24014
DATE 11/21/2025
SHEET NO.

C3.5

PRELIMINARY UTILITY, GRADING, AND DRAINAGE PLAN

SCALE: 1" = 40'-0"

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12/02/2025

**PROFESSIONAL
ENGINEERING
SERVICES**File: _____
Route to: _____

November 26, 2025

Mr. Andrew Glaspell, Planner I
Eagle Planning & Zoning Department
660 E Civic Lane
Eagle, ID 83616

**Re: Revised Narrative Letter for Tavira Subdivision
Tax Parcel Nos. S0403325400 AND S0403325600, Broken Arrow Street, Eagle, ID
Annexation & Rezone, Preliminary Plat & PUD**

Dear Andrew,

We are pleased to submit the above referenced revised applications for the proposed Tavira Subdivision (hereinafter the "Project" or "Development") on behalf of our client, Chris Anderson, The Sundance Company, and the property owner, Roman Catholic Diocese of Boise. Included with this narrative you will find the required applications and supporting documentation for annexing the subject property into the City of Eagle, rezoning it to an R-3-DA-P zoning designation and subdividing the property into 110 residential lots. Applications for this project include annexation and zoning with a development agreement; a preliminary plat; and a preliminary planned unit development (PUD).

The subject parcel is a 55-acre parcel located on the north side of W. Broken Arrow Street in the vicinity of N. Hamlin Avenue in Eagle, Idaho. Adjacent to the site are the recently annexed and approved Millstone Subdivision and the Terra View South Subdivision. Both adjacent residential subdivisions are currently in the design or construction phase. This project consists of 110 single-family residential lots, the associated road and utility infrastructure and common open space lots. The open space comprises 12.19 Acres, or 22.1% of the 55-acre parcel. Development of this subdivision will include the extension of N. Hamlin Road through the project; an important collector planned for the north/south movement of traffic in this area of Eagle. N. Hamlin Avenue will connect Floating Feather Road to Beacon Light Road once Tavira Subdivision and Terra View South Subdivision are constructed.

In preparation for submitting these applications we held a neighborhood meeting, conducted research on adjacent approved projects, and we participated in reviews and discussions with City staff. The neighborhood meeting was held on November 13, 2025, and was NOT attended by any neighbors. Most properties within the 500-foot notice perimeter are part of recently approved residential developments currently in the design phase or early construction phase. Since most properties are still under ownership of the developers or builders there were only a few unique property owners receiving the neighborhood meeting notice.

Annexation and Rezone

The property is currently zoned Rural Urban Transition (RUT) in Ada County. It is within the City of Eagle Impact Area and is surrounded by residential subdivisions currently under development within the Eagle City limits. The Eagle Comprehensive Plan Land Use designation for this property is "Neighborhood" which, according to the *Eagle is Home Plan* adopted November 2017, is suitable for a single-family residential density of 2 to 4 units per acre. This property is also located within the Village Planning Area (VPA) which designates the area around Highway 16 and Beacon Light Road as the Village Center. The VPA calls for decreasing residential density as distance from the village center increases. The proposed density for the Tavira Subdivision is 2.0 dwelling units per acre which falls within the density range for the "Neighborhood" designation and provides for a decrease in density from the Terra View South subdivision to the north (located between the Village Center and Tavira). The lower density proposed in Tavira complies with the VPA requirement for decreased density for properties as they get further from the Village Center.

12/02/2025

NOVEMBER 26, 2025
MR. ANDREW GLASPELL
SHEET 2 OF 3File: _____
Route to: _____

Tavira Subdivision as proposed is compatible with the Comprehensive Plan and with planned land uses surrounding the property as outlined and shown below:

- North and West: Terra View South Subdivision, an approved single-family development in the design phase of development, zoned R-2-DA and lots ranging in size from 7,920 to approximately 14,500 square feet, and an overall density of 2.17 dwelling units per acre.
- South: Arvory Crest Subdivision to the south, across Broken Arrow Street, is zoned R-2-DA and has a gross density of 2.8 dwelling units per acre.
- East: Millstone Farm Subdivision, an approved single-family development in the design phase of development, zoned R-4-DA with lots sizes between 8,000 and 9,000 square feet in the vicinity of Tavira Subdivision. The overall density of Millstone Farm Subdivision is 3.45 dwelling units per acre.

The applicant is proposing a rezone of the property to R-3-DA P (Residential - 3 units per acre - Development Agreement – Planned Unit Development) with a maximum density of two (2) dwelling units per acre in conjunction with the annexation of the property. This zone will allow for the creation of parcels of similar size to the surrounding neighborhoods while including adequate open space to fit in with the surrounding area. All proposed parcels will meet the minimum 10,000 square feet requirement for the R-3 zone. The only exception to the setbacks being requested is a 5-foot reduction in the front setback for the living area. This exception is not required but would provide the opportunity for more architectural variation and interest in the homes built in the subdivision. The overall average lot size within the subdivision is 13,084 square feet, lot sizes range from 10,005 square feet to 19,505 square feet. The lot layout and the R-3-DA-P zoning allows us to create a harmonious transition between two different adjacent zoning districts, create lots of similar sizes to the adjacent subdivisions, and provide open space that exceeds the minimum requirement of 20% of the gross property.

The project will be developed in one phase and will be provided with utilities as follows:

- **Sewer** service will be provided by Eagle Sewer District through an extension of the existing system located in W. Broken Arrow Street on the south side of the Millstone Farm Subdivision.
- **Water** service will be provided by Eagle Water through an extension of the existing system located at the intersection of W. Broken Arrow Street and N. Hamlin Avenue. Water will be for domestic use and for fire protection.
- **Streets** throughout the development will be public roads built to Ada County Highway District (ACHD) standards. As part of the road improvements for this project, N. Hamlin Avenue, a planned collector road, will be extended from its current termination at the south property boundary through the subdivision to the connection point in the Terra View South Subdivision. Terra View South Subdivision will complete the connection to Beacon Light Road.
- **A pressurized irrigation system** will use existing groundwater and surface water rights to serve all lots and open space throughout the project. The homeowner's association will own and operate the irrigation system.
- **Fire protection** will be provided by the Star Fire Protection District.

The applicant proposes entering into a development agreement, as needed, to guide future development of the site. We are proposing a planned unit development residential subdivision as outlined in the section below.

Preliminary Plat & PUD

Assuming approval of the annexation and rezone, the applicant proposes to subdivide the existing 55-acre parcel into 110 single-family residential lots and 11 common lots. The common lots will provide large landscape buffers in addition to open space that will include amenities such as a community pool, a game court with a bocce ball and horseshoe area, a kids play structure, and some neighborhood walking paths. The setbacks proposed for this subdivision are outlined in Attachment A and consistent with the Eagle City Code requirements for the R-3 zoning. The proposed subdivision is aligned with the City of Eagle Land Use Map, the *Eagle is Home Plan* and it fits in with the surrounding communities as shown in the exhibit above.

12/02/2025

NOVEMBER 26, 2025
MR. ANDREW GLASPELL
SHEET 3 OF 3

File: _____
Route to: _____

Attachment A is included as part of this Narrative Letter and provides the written justification for all items listed in the PUD checklist.

Public Streets are proposed throughout the development, with the main point of access being from N. Hamlin Avenue which will be extended through the site. The subdivision will also connect with W. Broken Arrow Street along the southern property boundary. A traffic impact analysis was not required for this subdivision but the proposed extension of N. Hamlin Road through this development and the Terra View Subdivision to the north will create connectivity and improve north/south traffic movement between Floating Feather Road and Beacon Light Road.

The proposed development supports Eagle's capital improvement program and aligns with the City's vision for this property. The project is not in a regulated flood plain and there are no known adverse health, safety, or environmental issues.

In summary, the proposed annexation, rezone, and preliminary plat/PUD of this property will support the orderly development of the City in accordance with the City code and in a manner consistent with the surrounding communities. We believe this project will be an asset to the City of Eagle. If you have any further questions or comments, please contact me at 406-600-6218 or via email at mary@pe-services.biz.

Very truly yours,



Mary B. Wall, PE
Principal

Attachment: Attachment A

Enclosure:

CC:

12/02/2025

ATTACHMENT A – NARRATIVE LETTER FOR TAVIRA SUBDIVISION

File: _____
Route to: _____**Attachment A:** Addressing City of Eagle required justification for the proposed Tavira Subdivision PUD

PUD Findings:

1. ***That the proposed PUD is in the public interest, advances the general welfare of the community and neighborhood, and will not be detrimental to the economic welfare of the community.***

Tavira Subdivision is in conformance with the Eagle Comprehensive Plan, the Eagle City zoning and development code, and fits in with the neighboring approved subdivisions regarding lot sizes and amount of open space. Development of the Tavira Subdivision, along with the Terra View Subdivision to the north, will complete the planned north/south N. Hamlin Avenue collector which will advance the general welfare of the community through improved traffic circulation.

2. ***That the development be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and how such use will not change the essential character of the same area.***

Tavira Subdivision has been designed to fit in with the neighboring subdivisions that have been approved by the City of Eagle and are going through the design and/or construction process. Tavira Subdivision has parcel sizes comparable to the approved subdivisions, is proposing a density of only two dwelling units per acre, and is proposing a similar amount of open space as the other subdivisions.

3. ***That the development will not be hazardous or disturbing to existing or future neighborhood uses.***

The development is planned for residential uses and is consistent with the comprehensive plan. This residential use will not be hazardous or disturbing to the existing or future neighborhood uses. The multisport court, play area, and community pool proposed in the subdivision have been located such that the activities will not create noise impacts to adjacent subdivisions.

4. ***That the development does not involve uses, activities, processes, materials, equipment, and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.***

The development is planned for residential uses and is consistent with the comprehensive plan. This residential use will not be hazardous or disturbing to the existing or future neighborhood uses. Note that the construction of N. Hamlin Avenue through the project will support improved traffic circulation throughout the area.

5. ***That the development will be served adequately by essential public facilities such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools.***

Water and sewer service is available to the property at the south boundary. Development of

12/02/2025

ATTACHMENT A – NARRATIVE LETTER FOR TAVIRA SUBDIVISION

File: _____
Route to: _____

water, sewer, streets, drainage facilities and other services will be provided at the developer's expense.

Property is located within the Star Fire District. Police service is provided by Eagle Police with assistance from the Ada County Sheriff's office.

6. ***That the development will not create excessive additional requirements at public cost for public facilities and services.***

Development of water, sewer, streets, drainage facilities and other services will be provided at the developer's expense and will not create additional public expenses.

7. ***That the development is provided with parks, ponds, open areas, areas of special interest, floodplain preservation, and/or other special features which would not typically be provided in a non-PUD proposal.***

Tavira Subdivision's planned open space provides 12.19 acres (22.1%), significantly more open space than provided in non-PUD developments. Included in this open space will be a community pool, a game area, and a children's play structure providing a variety of outdoor activities for the residents of Tavira Subdivision. The game area will provide an area for playing bocce ball and for horseshoes. In addition to the game area, pool, and play area the subdivision will complete the connection of the regional pathway on the north side of Broken Arrow Street, as well as provide an 8-foot-wide community pathway on the west side of Hamlin Avenue that connects to the Terra View Subdivision to the north.

Sidewalks and pathways along Hamlin Avenue, Broken Arrow Street, and N. Rider Stone Way provide connectivity to the neighboring subdivisions. Sidewalks along N. Hamlin Avenue will provide access from Tavira Subdivision to Terra View Subdivision and the commercial area planned along Beacon Light Road.

A homeowner's association (HOA) will be established to maintain the common areas and neighborhood amenities.

8. ***That the vehicular approaches to the property are designed to not create an interference with traffic on surrounding public thoroughfares.***

Vehicle approaches to the property will be by connection to stub roads to the north, east and south. The full width of Hamlin Avenue will be constructed through the property which will help complete planned north/south access for the area and will provide improved traffic flow for the public in this area.

9. ***That the development will not result in the destruction, loss, or damage of a natural, scenic or historic feature of major importance.***

No historic or scenic features of importance are located on this site.

10. ***That the proposed development will be harmonious with, and in accordance with, any specific objective of the Comprehensive Plan.***

The Eagle Comprehensive Plan designates this property as Neighborhood. The Neighborhood designation is defined as being suitable for single-family residential uses with a density of 2-4 dwelling units per acre. This property is also located within the Village Planning Area (VPA) which designates the area around Highway 16 and Beacon Light Road as the Village Center. The VPA calls for decreasing residential density as distance from the

File: _____
Route to: _____

village center increases. The proposed density for the Tavira Subdivision is 2.0 dwelling units per acre which falls within the density range for the “Neighborhood” designation and provides for a lower density than in the Terra View South subdivision to the north.

11. That the proposed development will be harmonious with and in accordance with the general objectives or with any specific objective of Eagle City Code Title 8.

The development will be in alignment with the goals and objectives outlined in Section 8-6-1 of the Eagle City Code specifically, it will create a livable community that is harmonious with the neighboring subdivisions, provide exemplary open spaces and a variety of recreational opportunities, as well as diversification of housing types.

12. That the benefits, combination of various land uses, and interrelationship with the surrounding area for this proposed development justifies any proposed deviation from any standard district regulations.

The proposed zoning for this development is R-3. All proposed lots will meet the minimum 10,000 square foot lot size and the required building setbacks. Reducing the front setback by 5 feet for the living area is proposed throughout the subdivision to allow for facades with architectural variations and interest. This proposed deviation to the standard district regulations is similar to what has been allowed on adjacent subdivisions and will create consistency and harmonious interrelationships with the surrounding subdivisions.

13. That public services shall be provided to the development including, but not limited to, fire protection, police protection, central water, central sewer, road construction, parks and open space, recreation, maintenance, schools and solid waste collection.

Fire Protection: Star Fire District.

Police Protection: Eagle Police Department

Water Service: Eagle Municipal Water System

Sewer Service: Eagle Sewer District

Roads: ACHD

Schools: West Ada School District

Solid Waste Collection: Republic Services through contract with City of Eagle

Parks & Open Space: 12.19 acres of passive and active open space with amenities will be provided for the residents of the development. The project will also generate park impact fees to be used on new or existing parks in the City of Eagle.

Maintenance: A homeowner’s association shall be created to maintain private open space and development amenities. Public roads and utilities shall be maintained by the respective agencies listed above.

Note that all infrastructure required for the development shall be provided by the developer.

14. That an estimate of the public service costs to provide adequate service to the development has been provided by the developer.

All public utilities and road construction will be provided by the developer. There will be no cost to the public.

12/02/2025

ATTACHMENT A – NARRATIVE LETTER FOR TAVIRA SUBDIVISION

File: _____
Route to: _____

15. That an estimate of the tax revenue that will be generated from the development has been provided by the developer.

The median home price in Eagle, Idaho is approximately \$788,000 (per Redfin, 10/15/25). The median property tax rate in Eagle is 0.8% in 2024. Based upon this information the proposed 110-lot subdivision will annually generate approximately \$693,440, of which \$77,460 (11.17%) will go to the City of Eagle.

16. That suggested public (or private) means of financing the services for the development if the cost for the public services would not be offset by the tax revenue received from the development has been provided by the developer.

The extension of all public utilities and road construction will be provided by the developer at no cost to the public.

17. That the quality of the designs for visual focal points, use of existing features such as topography, view, sun orientation, prevalent wind direction, pedestrian/vehicular circulation pattern, physical environment, variation in building setbacks, and building groupings (such as clustering), incorporated into this development, exceed that of a non-PUD development.

Hamlin Avenue is the primary north/south road and is located on the crest of a slight ridge which will provide a visual focal point along this entry road with a view of the surrounding area and of the foothills to the east. The proposed meandering roads provide for a variety of lot sizes, lot shapes and lot orientation which will create options for future home builders regarding house size and orientation to the local views and to the sun. Neighborhood pathways and sidewalks provide access to the neighborhood open space and to the community and regional paths along N. Hamlin Avenue and Broken Arrow Road.

18. That the quality of the designs for street sections, architectural styles, harmonious use of materials, parking areas broken by landscaping features, and varied use of housing types, incorporated into the development, exceed that of a non-PUD development.

The proposed development incorporates a comprehensive design approach that exceeds the standards of a typical non-PUD subdivision. The street sections include enhanced landscaping, detached sidewalks, and multiple pathways that promote pedestrian comfort and neighborhood connectivity. Architectural design guidelines will encourage diversity in form and style while maintaining visual harmony through consistent use of high-quality exterior materials and cohesive color palettes. This development includes a mix of lot sizes, lot shapes and lot orientation which lends itself to a variety of house styles while still maintaining the lower density preferred for this area.

19. The continuity of the proposed development with the capital improvement program.

This development will provide all infrastructure improvements including the completion of the north/south collector, Hamlin Avenue, without cost to the City of Eagle. In addition, this development will provide impact fees and taxes to the City of Eagle that will support the Eagle 2026-2030 Capital Plan.

12/02/2025

ATTACHMENT A – NARRATIVE LETTER FOR TAVIRA SUBDIVISION

File: _____
Route to: _____

20. ***The other health, safety and environmental problems that may be brought to the City's attention.***

No other health, safety or environmental problems are anticipated from this project.

21. ***The proposed street connections will not create congestion or traffic hazards.***

The proposed street connections will reduce the chance of congestion or traffic hazards in the area of the subdivision by connecting the temporary “dead end” roads on adjacent subdivisions completing the planned interconnectivity between subdivisions as well as completing the section of N. Hamlin Avenue that will provide the north/south collector connection between Floating Feather Road and Beacon Light Road.

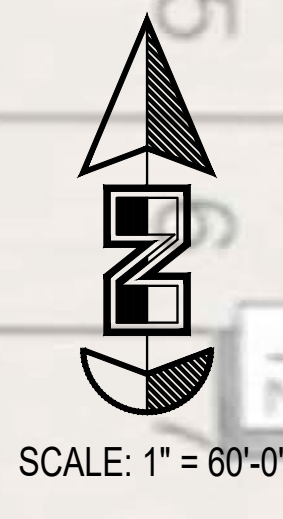


TERRAVIEW SOUTH SUBDIVISION

TERRAVIEW SOUTH SUBDIVISION

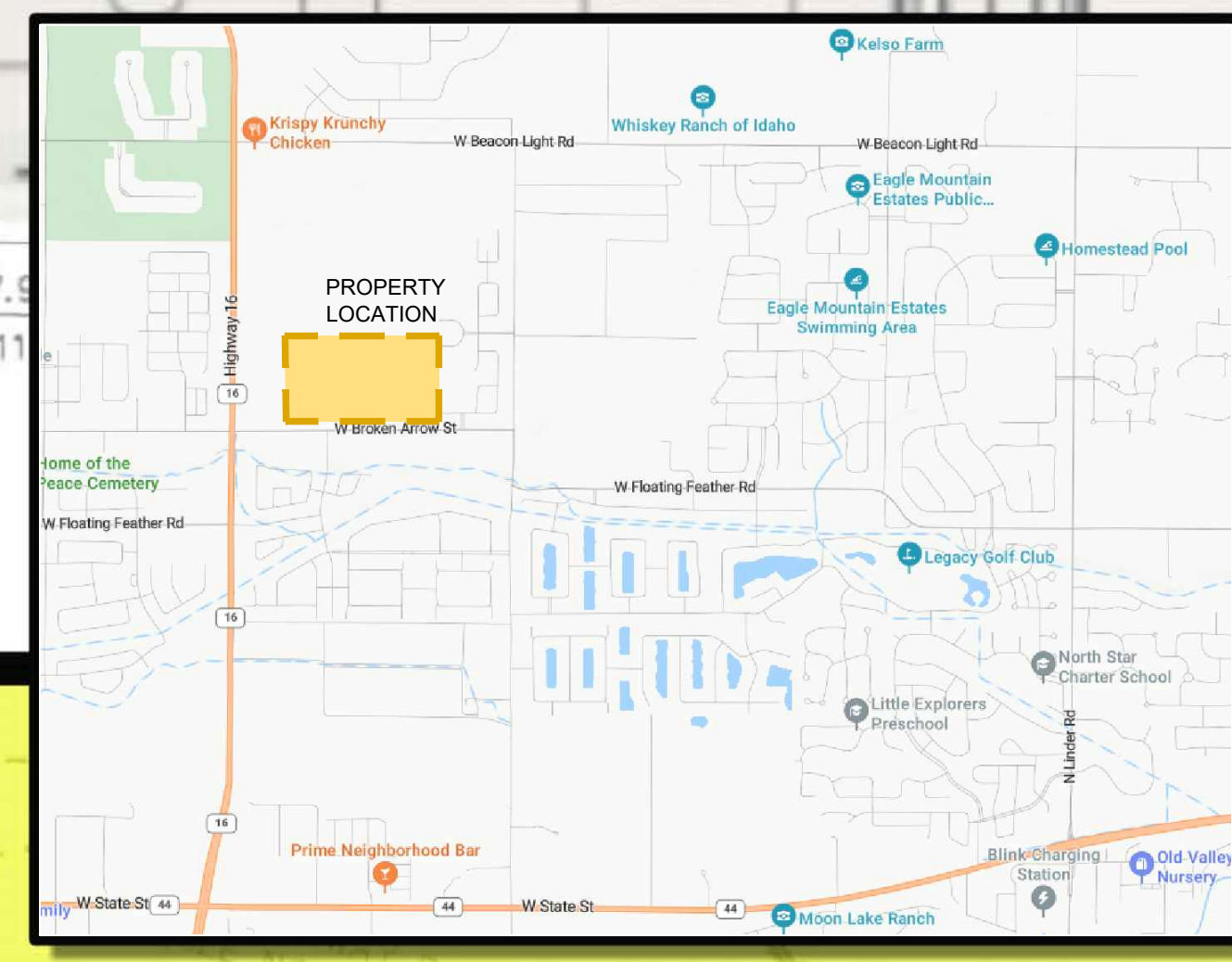
MILLSTONE FARM SUBDIVISION

AVERY CREST SUBDIVISION



DEVELOPMENT FEATURES

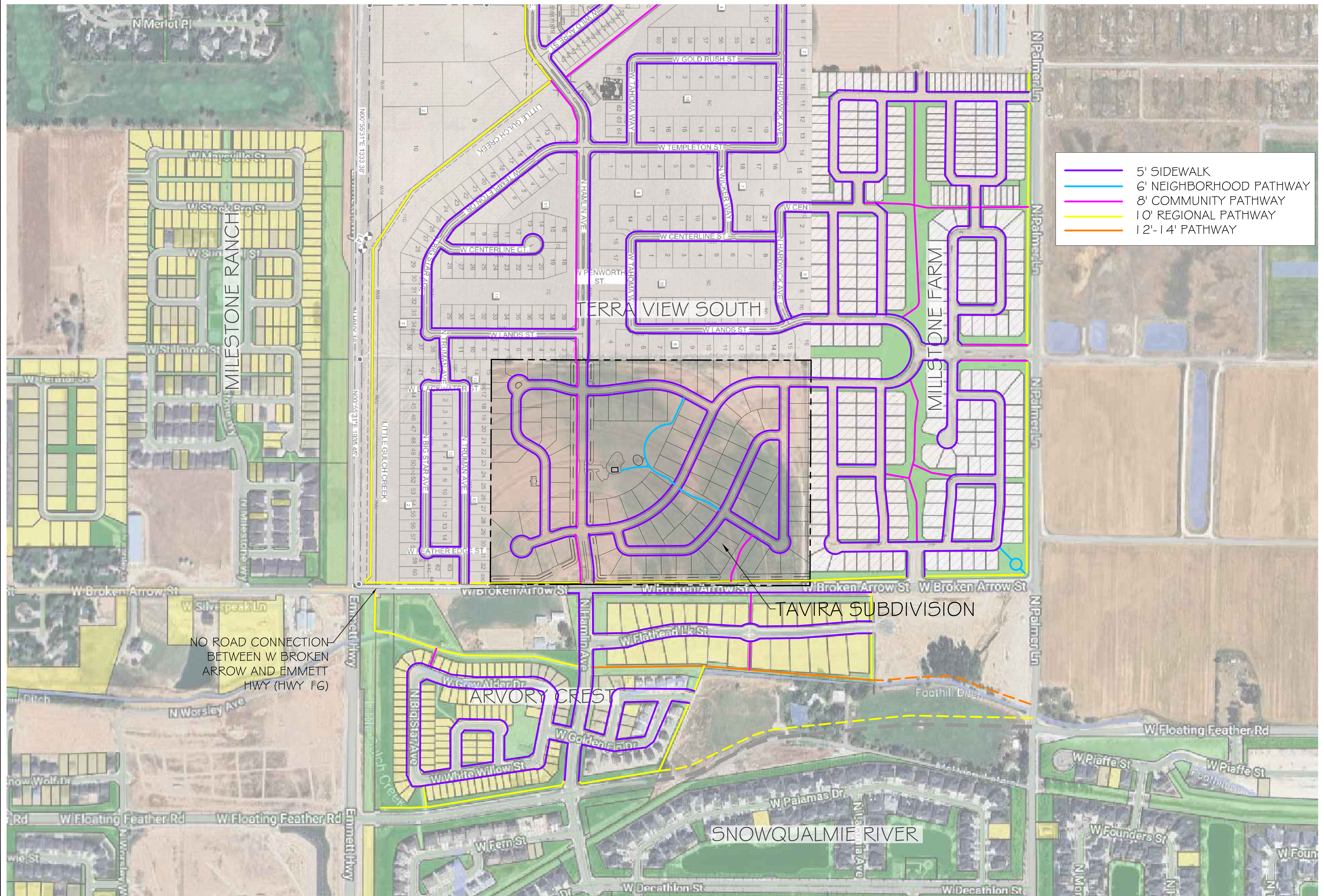
TOTAL ACRES	55.0 AC			
EXISTING ZONING	RUT (ADA COUNTY)			
PROPOSED ZONING	R-3-DA			
LOT COUNTS	SINGLE FAMILY		COMMON LOTS	
	LOTS	ACRES	LOTS	ACRES
BLOCK 1	17	4.74	3	4.71
BLOCK 2	12	5.46	1	3.24
BLOCK 3	15	3.40	1	0.81
BLOCK 4	12	3.91	1	0.26
BLOCK 5	24	6.75	2	0.29
BLOCK 6	25	7.14	1	2.07
BLOCK 7	5	1.59	1	0.84
BLOCK 8	0	0	1	0.02
TOTAL	110	33.04	11	12.19
OPEN SPACE REQUIRED	20% (11.0 AC)			
OPEN SPACE PROVIDED	12.19 ACRES (22.1%)			
ACTIVE OPEN SPACE	LOT 8, BLOCK 1, LOT 1, BLOCK 3, LOT 7, BLOCK 5, & A PORTION OF LOT 1, BLOCK 6			
R-O-W LANDSCAPE STRIP OPEN SPACE	2.86 ACRES			
PUBLIC RIGHT OF WAY	9.77 ACRES (17.8%)			
RESIDENTIAL GROSS DENSITY	2.0 DU/AC			
AVERAGE LOT SIZE	13,084 SF			
MINIMUM LOT SIZE	REQUIRED	PROVIDED		
	10,000 SF	10,005 SF		
W/ STREET SIDE FRONTAGE	REQUIRED	PROVIDED		
	11,000 SF	12,234 SF		
MINIMUM LOT WIDTH	75'			



Tavira Subdivision

Eagle, Idaho

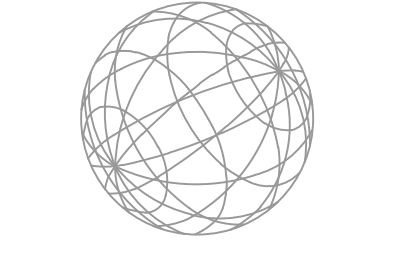
SEE SHEET 3



- 5' SIDEWALK
- 6' NEIGHBORHOOD PATHWAY
- 8' COMMUNITY PATHWAY
- 10' REGIONAL PATHWAY
- 12'-14' PATHWAY

NO ROAD CONNECTION
BETWEEN W BROKEN
ARROW AND EMMETT
HWY (HWY 16)

**CivilSphere
Engineering**
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(512) 688-7717



SHEET INFO		REVISIONS	
NO.	DATE	NO.	DESCRIPTION

TAVIRA SUBDIVISION
W BROKEN ARROW ST & N HAMLIN AVE
EAGLE, ID

PROJECT NO.
24014
DATE
11/24/2025
SHEET NO.

OVERALL PATHWAY MAP

THE PROFESSIONAL SERVICES OF CIVILSPHERE ENGINEERING ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF "CATALYST, INC." NO CONTRACTUAL OBLIGATION IS ASSUMED BY CIVILSPHERE ENGINEERING FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.