



# Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



**\*\*Office Use Only\*\***

**File No.(s):** 22-10-S, 22-32-DR

**Project Name:** Valor West

**Date Received:** First half 07.01.2022;

**Date Accepted as Complete:** \_\_\_\_\_

Type of review requested (check all that apply):

<input type="checkbox"/>	Annexation	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Comp. Plan Map Amendment	<input type="checkbox"/>	Combination Pre & Final Plat
<input type="checkbox"/>	Design Review	<input type="checkbox"/>	Development Agreement
<input type="checkbox"/>	Final Planned Unit Development	<input type="checkbox"/>	Final Plat
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Ordinance Amendment	<input type="checkbox"/>	Planned Unit Development
<input checked="" type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Rezone
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Temporary Business
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Variance

**Owner of Record**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant (Developer) Information**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Engineer/Representative Information**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Subject Property Information**

Site Address: \_\_\_\_\_

Nearest Major Cross Streets: \_\_\_\_\_

Parcel No.(s): \_\_\_\_\_

Section, Township, Range: \_\_\_\_\_

Property Size: \_\_\_\_\_

Current Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

Current Zoning: \_\_\_\_\_ Proposed Zoning: \_\_\_\_\_

**Project Description**

Project Name: \_\_\_\_\_

General Description of Project: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Type of proposed use (check all that apply and provide specific density/zoning):

Residential: R-2 R-4 R-6 R-8 R-12 R-20  Commercial: C-1 C-2 C-3  CBD

Office  Industrial: M-1 M-2  Other: \_\_\_\_\_

Type(s) of amenities provided with development: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Residential Project Summary (If Applicable)**

Are there existing buildings? **YES** NO

If YES, please describe: \_\_\_\_\_

\_\_\_\_\_

Will any existing buildings remain? YES **NO**

No. of Residential Units: \_\_\_\_\_ No. of Building Lots: \_\_\_\_\_

No. of Common Lots: \_\_\_\_\_ No. of Other Lots: \_\_\_\_\_

Type of dwelling(s) proposed (check all that apply):

Single-Family  Townhomes  Duplexes  Multi-Family

Other: \_\_\_\_\_

Minimum square footage of structure(s): \_\_\_\_\_

Gross Density (Dwelling Units ÷ Total Acreage): \_\_\_\_\_

Net Density (Dwelling Units ÷ Total Acreage not including Roads): \_\_\_\_\_

Percentage of Open Space provided: \_\_\_\_\_ Acreage of Open Space: \_\_\_\_\_

Type of Open Space provided (i.e. public, common, landscaping): \_\_\_\_\_

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**Non-Residential Project Summary (If Applicable)**

Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_

Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Building height: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_

Total No. of Employees: \_\_\_\_\_ Max No. of Employees at one time: \_\_\_\_\_

No. of and ages of students: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

**Proposed Parking**

ADA accessible spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Regular parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Width of driveway aisle: \_\_\_\_\_

Proposed lighting: \_\_\_\_\_

Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

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Applicant Signature: WJLL Date: \_\_\_\_\_

*By signing, you are confirming you have provided all required items listed on this application.*

**Upon completion of this form, please email to [pzapplications@kunaid.gov](mailto:pzapplications@kunaid.gov). A link will be provided for application attachments to be uploaded to the cloud.**



# Preliminary Plat Application



PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)

**Preliminary Plats require public hearings with both the Planning & Zoning Commission and City Council. Public Hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.**

**\*\*Office Use Only\*\***

Case No(s): 22-10-S, 22-32-DR

Project Name: Valor West

Date of Pre-Application Meeting: Valid for three (3) months, unless otherwise determined by staff

Date Received: First half 07.01.2022;

Date Accepted as Complete: \_\_\_\_\_

**Application shall contain one (1) copy of the following (digital documents preferred):**

- Complete Planning & Zoning Application Coversheet
- Complete Preliminary Plat Application
- Detailed narrative or justification for the application, describing the project, design elements, serviceability, amenities, and how the project complies with the requirements found within Kuna City Code.
- Vicinity Map 8.5” x 11” : Drawn to scale of 1” = 300’ (or similar), showing the location of subject property. Map shall contain a shaded area showing the annexation property; surrounding street names; and name(s) of surrounding subdivisions.
- Legal Description of Preliminary Plat Area: Include metes & bounds description to the section line of all adjacent roadways; stamped & signed by a registered professional Land Surveyor; calculated closure sheet; and a map showing the boundaries of the legal description.
- Recorded Warranty Deed for property.
- Affidavit of Legal Interest if the individual submitting this application is not the legal property owner. (One Affidavit required for each party involved. Originals must be submitted to the Planning & Zoning Department.)
- Neighborhood Meeting Certification.
- Commitment of Property Posting form signed by the applicant/agent.
- A letter or email from the Ada County Engineer showing the subdivision name reservation. (A name change needs to be submitted and approved by the Planning & Zoning Director & Ada County Engineer.)
- Preliminary Plat (24” x 36”): Drawn to a scale of 1” = 100’ (or similar), showing
  - Topography at 2’ intervals
  - Land uses (location, layout, types & dimensions) of Residential, Commercial & Industrial
  - Street right-of-way (ROW) including dimensions of ROW dedication for all roadways, street sections, improvements, etc.
  - Easements/common space such as utility easements, parks, community spaces, etc.
  - Layout & dimensions of lots
  - Improvements drawing showing water, sewer, drainage, electricity, irrigation, telephone, gas, proposed street lighting, proposed street names, fire hydrant placement, storm water disposal, underground utilities, and sidewalks.
- Preliminary Plat (8.5” x 11”): Drawn to a scale of 1” = 100’ (or similar), with the same items as listed in the “Preliminary Plat”.





# DESIGN REVIEW APPLICATION



PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)

**\*\*Office Use Only\*\***

Case No(s): 22-10-S, 22-32-DR

Project Name: Valor West

Date of Pre-Application Meeting: Valid for three (3) months, unless otherwise designated by Staff

Date Received: \_\_\_\_\_

Date Accepted as Complete: \_\_\_\_\_

The City of Kuna has adopted a Design Review Overlay District whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in Kuna City Code 5-4. The Design Overlay District includes all of Kuna City Limits.

Design Review includes, but is not limited to:

- Commercial
- Institutional
- Multifamily Residential
- Proposed Conversions
- Exterior Remodel//Restoration
- Industrial
- Office
- Common Areas/Landscaping
- Proposed Changes in Land and/or building use
- Enlargement or Expansion of existing buildings or sites

**Application shall contain one (1) copy of the following (digital documents preferred):**

- Complete Planning & Zoning Application Coversheet
- Complete Design Review Application *(It is the Applicant's responsibility to use the most current application.)*
- Detailed narrative or justification for the application, describing the project, design elements and how the project complies with Design Review standards.
- Vicinity Map: 8.5" x 11" at 1" = 300' scale (or similar). Label the location of the property and adjacent streets.
- Aerial Map: 8.5" x 11" color photo depicting proposed site, street names, and surrounding area within 500'.
- Recorded Warranty Deed
- Affidavit of Legal Interest if the individual submitting the application is not the property owner. *(One Affidavit required for each party involved. Originals must be submitted to the Planning & Zoning Department.)*
- Elevations for each structure & color rendering with material sample(s) specifically noting where each color and material is to be located on the structure. *(PDF or photo of materials acceptable).*
- Site, Lighting, Landscape & Drainage Plans
- Construction Drawings/Civil Plans

### Detailed Site Plan Requirements

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Property Lines
- Existing structures – Identify those which are relocated or removed
- On-site and adjoining streets, alleys, private drives and rights-of-way
- Drainage location and method of on-site retention/detention
- Location of public restrooms, if applicable
- Existing and/or proposed utility services; any above ground utility structures and provide their location
- Location and width of easements, canals and drainage ditches
- Location and dimensions of off-street parking
- Location and size of any loading areas, docks, ramps and vehicle storage or service areas
- Location of trash storage areas and exterior mechanical equipment; provide proposed method of screening
- Sign locations (*A separate Sign Application must be submitted; this is a Staff level review.*)
- On-site transportation circulation plan for motor vehicles, pedestrians and bicycles
- Locations and uses of *all* Open Spaces (*if applicable*)
- Location, types and sizes of sound and visual buffers (*all buffers must be located outside the public rights-of-way.*)
- Parking layout including spaces, driveways, curbs, cuts, circulation patterns, pedestrian walks and vision triangles
- Location and designation of subdivision lines (*if applicable*), property lines, and rights-of-way
- Location of walls and fences; provide their height and material of construction
- Roofline and foundation plan of building and location onsite

### Landscape Plan

The Landscape Plan need to be drawn by the Project Architect, Professional Landscape Architect, Landscape Designer, or qualified Nurseryman for developments possessing more than twelve thousand (12,000) square feet of private land. The Landscape Plan must be colored and drawn to a scale no smaller than 1" = 30', unless otherwise approved. The Planning & Zoning Director may require the preparation of a landscape plan for smaller developments by one of the noted individuals, if the lot(s) have unique attributes. (*See Kuna City Code 5-17 Landscaping Requirements*)

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Boundaries, property lines and dimensions
- Location and design of areas to be landscaped
- Location and labels for all proposed plants
- Existing vegetation identified by species & sizes, and if they are proposed to be relocated or removed (*Retention of existing trees required, see Kuna City Code 5-17-4*)
- Plant lists or schedules with the botanical common name, quantity, and spacing as well as the size of all proposed landscape materials at time of planting
- Location of automatic, underground irrigation systems (*See Kuna City Code 5-17-11*)
- Clearly identify pressurized irrigation lines and underground water storage
- Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencing, fountains, street/pathway furniture, etc.

- Sign locations (a separate sign application must be submitted)
- Locations of open spaces (*if applicable*)
- Parking areas
- Location and designations of all sidewalks
- Engineered Grading and Drainage Plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved Design Review application, a detailed site grading and drainage plan prepared by a registered professional engineer (PE), shall be submitted to the City for review and approval by the City Engineer.

**Building Elevations**

- Detailed elevation plans, in color, of each side of any proposed building(s) or addition(s). Label associated elevations with North, South, East, West
- Color renderings of all proposed building materials and indication where each material and color application are to be located, in PDF or JPEG format.
- Screening of mechanical equipment
- Provide a cross-section of the building showing any rooftop mechanical units and their roof placement
- Detailed trash enclosure elevation plans showing the materials to be used in construction

**Lighting Plan**

- Exterior lighting, including detailed cut sheets and photometric plan (*pedestrian, vehicle, security, decoration, etc.*)
- Types and wattage of all light fixtures. (*NOTE: Lighting fixtures shall comply with "Dark Sky" policies.*)
- Placement of all light fixtures shown on elevations and landscaping plans

**Owner Information**

Name: Falcon Crest LLC  
 Address: 2528 N Cloverdale Road, Boise 83712  
 Phone: 208-939-6263 Email: mtate@m3companies llc.com

**Applicant Information**

Name: M3 Companies, LLC  
 Address: 1673 Shorline Drive, Suite 200, Boise, 83702  
 Phone: 208-939-6263 Email: mtate@m3companiesllc.com

**Engineer/Representative**

Name: Wendy Shrief, JUB Engineers  
 Address: 2760 W Excursion Lane, Suite 400, Meridian 83642  
 Phone: 208-376-7330 Email: wshrief@jub.com





**Exterior Building Materials and Colors**

	Material	Color
Roof:		
Walls: (include percentage of wall coverage of each material)		
% of Wood Application:		
% EIFS: (Exterior Insulation Finish System)		
% Masonry:		
% Face Block:		
% Stucco:		
Other:		
Windows/Doors:		
Soffits and Fascia:		
Trim, etc.:		

**Mechanical Units**

Please identify mechanical unit(s) size and placement: \_\_\_\_\_

Proposed screening method? \_\_\_\_\_

**Trash Enclosures**

Please identify trash enclosure location, size, and construction materials: \_\_\_\_\_

**Irrigation Ditches/Canals**

Are there any irrigation ditches/canals on or adjacent to the property? YES  NO

If Yes, what is the name of the irrigation/drainage provider? N/A

What is the proposed method of on-site drainage retention/detention? \_\_\_\_\_

Seepage beds and ponds will be used for onsite detention and retention.

**Fencing**

Is there any existing fencing that will remain?   No

If Yes, what is the fencing material, size and location? \_\_\_\_\_

What is the fencing material for all new fencing? Vinyl and wood fencing

*The City has regulations for fences, walls, and hedges (see Kuna City Code 5-5-5). A fence permit must be acquired prior to installation of any fencing; a permit cannot be acquired until Design Review application Approval/Conditional Approval/Denial.*

**Building Coverage**

% of site devoted to building coverage?		
% of site devoted to landscaping? (Include landscaped rights-of-way)		Square Footage:
% of site that is hard surface? (paving, driveways, walkways)		Square Footage:
% of site devoted to other uses:		Describe:

**Landscaping**

Please provide dimensions of landscaped areas within public rights-of-way: \_\_\_\_\_

There is 8' of landscaping along the 33' detached road sections and along S. Five Mile.

Are there any existing trees of 4" or greater in caliper on the property? YES NO **NO**  
If Yes, what type, size and general location? (Please indicate location on site plan. NOTE: It is the city's goal to preserve such trees.)

**Dock Loading Facilities**

Will there be any dock loading facilities? YES NO (If Yes, please continue; if No, please skip this section.)

No. of dock loading facilities and their location: \_\_\_\_\_

What is the proposed method of screening? \_\_\_\_\_

**Pedestrian Amenities**

Are there any proposed pedestrian amenities? (i.e. bike racks, trash receptacles, drinking fountains, benches, etc.) YES NO

If Yes, please indicate type, number of each type: \_\_\_\_\_  
Pedestrian amenities will be defined when construction drawings are designed.

Bike racks, trash receptacles, and drinking fountains will all be provided near pool and sport court areas.

**Parking**

Total number of parking spaces? **70** Dimensions? **Standard**

Total number of ADA accessible spaces? **TBD** Dimensions? \_\_\_\_\_

Total number of compact spaces (8' x 17')? **None**

**Miscellaneous**

Will you be proposing setbacks different than those found in KCC 5-3-3? YES NO Setbacks approved through Falcon Crest DA

If YES, please provide setbacks below, in feet:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Side: \_\_\_\_\_

Is any portion of the property subject to flooding conditions? YES NO

*The Ada County Highway District (ACHD) may also conduct a public meeting regarding this application. If you have questions about the meeting date, the traffic that this development may generate or the impact of that traffic on streets in the area, please contact ACHD at (208) 387-6170. In order to expedite your request, please have ready the file number indicated.*

Applicant Signature: W J D L Date: 8/18/22

**Additional Information**

Please indicate/explain/provide any additional information deemed relevant to this application:

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**J·U·B ENGINEERS, INC.**

April 21, 2022

City of Kuna  
Planning and Zoning  
751 W. 4th Street  
Kuna, ID 83634

**Re: Valor West Subdivision | Preliminary Plat Application**

Dear Staff and Commissioners:

We are pleased to submit the enclosed applications associated with the Preliminary Plat for Valor West Subdivision. JUB Engineering is representing the owner/developer, Falcon Crest LLC, for this application.

### **Project Background**

Valor West Subdivision Subdivision is a 126.89-acre single-family residential development located north of Kuna Road and east of Cloverdale Road. The following applications will allow for an R-6 residential development consisting of 386 residential lots, 23 common lots, and five shared driveway lots. The average lot size will be 7,607 Sq.Sf., with the smallest lot being 5,902 Sq.Sf. The residential gross density is 3.04 DU/AC, and the net density is 4.13 DU/AC. The percentage of open space is 20.52 % or 26.04 acres.

A large public amenity area including sportfields, restrooms, play areas, and pickleball courts is being proposed as a part of the development.

The subject parcel was previously annexed into the City of Kuna with an R-6 zoning designation.

#### *Utilities:*

##### Water:

The City of Kuna will provide water service for domestic use and fire protection.

##### Sewer:

All lots within the subdivision will be provided sanitary sewer service by the City of Kuna.



**J-U-B ENGINEERS, INC.**

Streets:

The primary access to the development will be taken off of W. Kuna Road; the proposed subdivision will include important roadway connections to Falcon Crest Subdivision and Golf Villages Subdivision. Public streets will be constructed on-site to provide internal access throughout the development. Please refer to the preliminary plat for design details.

*Design Concept:*

Valor West Subdivision will provide the City of Kuna with upscale single family housing and a range of lot sizes that will complement the surrounding Falcon Crest development and provide a range of housing choices. The overall density and variety of lot sizes will also be consistent with other nearby approved developments. There are three types of lot sizes proposed; lots in the 6,200 s.f. range, lots in the range of 7,500 s.f., and lots that are approximately 9,500 s.f. in size. All proposed housing will be single family detached.

*Landscaping and Amenities:*

Two large open space areas are proposed for Valor West. A public amenity that includes sportfields, restrooms, a kids play area and pickleball courts will be constructed on the west side of Five Mile Road, a smaller private amenity area that includes a pool, restrooms, and play area will also be constructed.

All public streets will have a tree/landscape barrier between the sidewalks and the roads, giving pedestrians a real and perceived increase in protection as they travel through the development. This type of landscape design will help to create a pleasant environment for residents and this type of separated sidewalk helps to encourage drivers to reduce their speeds. There will be a significant amount of open space that will serve as recreational areas for both the public and residents and help enhance the neighborhood's beauty and environmental quality.

**Applications**

As discussed during the pre-application meeting with city staff, the required applications include a Planning and Zoning Application Coversheet and a Preliminary Plat Application.

*Preliminary Plat:*

The proposed preliminary plat consists of 386 residential lots, 23 common lots, and five common shared driveway lots. The average lot size will be 7,612 Sq.Sf., with the smallest lot being 5,990 Sq.Sf. The residential gross density is 3.04 DU/AC. The percentage of open space is 20.52% or 26.04 acres.

We appreciate the opportunity to present these applications to the Planning and Zoning. As you complete your review, please don't hesitate to let me know if we can provide any additional information to clarify the project's vision. I can be reached via email at [wshrief@jub.com](mailto:wshrief@jub.com) or by phone at 208-376-7330

Sincerely,

A handwritten signature in black ink, appearing to read "Wendy Shrief", is written over the typed name.

Wendy Shrief

J-U-B ENGINEERS, Inc.

W. HUBBARD ROAD

10 MILE CREEK ROAD

NEW YORK CANAL

CLOVERDALE RIDGE ESTATES SUBDIVISION

S. CLOVERDALE ROAD

FALCON CREST GOLF COURSE

PROPOSED ROBINHOOD SUBDIVISION NO. 1

PROPOSED GOLF VILLAGE PRE-PLAT

PROJECT LOCATION



0 750 1500

SCALE IN FEET

REINING HORSE DR

PROPOSED FALCON CREST SUBDIVISION NO. 3

FALCON CREST SUBDIVISION NO. 2

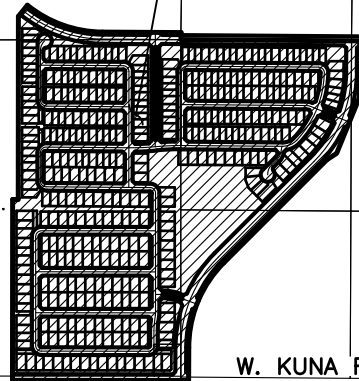
FALCON CREST SUBDIVISION NO. 1

PROPOSED FALCON CREST SUBDIVISION NO. 5

PROPOSED FALCON CREST SUBDIVISION NO. 4

PROPOSED FALCON CREST SUBDIVISION NO. 6

PROPOSED FALCON CREST SOUTH PRE-PLAT



W. KUNA ROAD

DESERT VIEW ESTATES SUBDIVISION

Plot Date: 3/17/2023 1:05 PM, Plotted By: Everett Earnest, Date Created: 1/26/2022, JUB.COM/CENTRALCLIENTS/IDM/PROJECTS/10-21-089\_FCPREPLAT2/DESIGN\_PREPLAT EAST VICINITY NEIGHBORHOOD.DWG

REUSE OF DRAWINGS

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FILE: FC EAST\_VICINITY\_NEIGHBORHOOD

JUB PROJ. #: 10-17-141

DRAWN BY: ###

DESIGN BY: ###

CHECKED BY: ###



J-U-B ENGINEERS, INC.

VALOR WEST PRE-PLAT KUNA, IDAHO

VICINITY MAP

SHEET

1

NO	REVISION DESCRIPTION	BY	APR	DATE	LAST UPDATED: 1/26/2022

# Vicinity Map Valor West Sub.



Cutting Horse

Joyful

Movement

Kind

Cheer

Courage

Integrity

Wellness

Reining Horse

Connection

Bravery

Cloverdale

E Kuna Rd

Kuna

W Kuna Rd

Conchos

Romiro

Sonora

Five Mile

W Desert View Dr

Desert View

Arroyo






Ocotillo

Bravo

Madera

Tampico

Ned  
Pepper

-  Valor West Sub
-  KUNA PARCELS
-  KUNA\_ROADS
-  SECTION ROAD LABELS
-  KUNA\_WATERBODIES







**Valor West Subdivision  
Preliminary Plat  
Boundary Description**

*Project Number 22-171      April 26, 2022*

A parcel of land situated in the east half of Section 22 and the southwest quarter of Section 23, Township 2 North, Range 1 East, Boise Meridian, City of Kuna, Ada County, Idaho, and being more particularly described as follows:

BEGINNING at the corner common to Sections 22, 23, 26, and 27, Township 2 North, Range 1 East, Boise Meridian, which bears S89°58'04"E, 2660.62 feet from the south quarter-section corner of Section 22;

Thence N89°58'04"W, 1314.13 feet along the south line of Section 22;

Thence N00°02'18"E, 1412.35 feet;

Thence S89°57'42"E, 43.49 feet;

Thence N00°02'18"E, 1431.07 feet;

Thence N38°56'21"E, 112.00 feet;

Thence 635.45 feet on a non-tangent curve to the left, having a radius of 945.00 feet, a central angle of 38°31'41", a chord bearing of S70°19'30"E, and a chord length of 623.55 feet;

Thence S89°35'20"E, 613.65 feet to the line between Sections 22 and 23;

Thence S00°47'22"W, 55.00 feet along the line between Sections 22 and 23 to the quarter-section corner between Sections 22 and 23;

Thence S89°35'20"E, 1395.80 feet along the east-west mid-section line of Section 23;

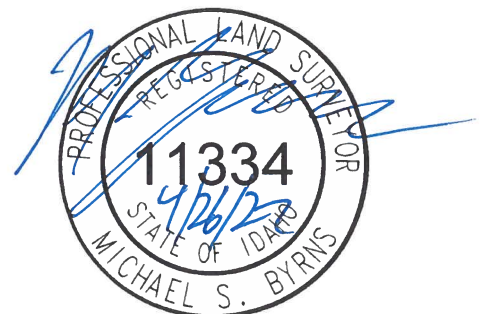
Thence S00°24'40"W, 445.77 feet;

Thence S22°09'59"W, 466.48 feet;

Thence S56°39'46"W, 91.82 feet;

Thence S45°01'43"W, 1136.89 feet;

Thence 359.35 feet on a curve to the left, having a radius of 938.00 feet, a central angle of 21°57'00", a chord bearing of S34°03'13"W, and a chord length of 357.15 feet;





IDAHO  
SURVEY  
GROUP

9955 W Emerald St  
Boise, ID 83704

Phone: (208) 846-8570  
Fax: (208) 884-5399

Thence S21°14'42"W, 60.02 feet;

Thence 317.20 feet on a non-tangent curve to the left, having a radius of 938.00 feet, a central angle of 19°22'32", a chord bearing of S09°43'26"W, and a chord length of 315.69 feet;

Thence S00°02'10"W, 257.56 feet to the south line of Section 23;

Thence N89°37'13"W, 62.00 feet along the south line of Section 23 to the POINT OF BEGINNING.

The above-described parcel contains 126.89 acres, more or less.  
Prepared from an ALTA by JUB Engineers, dated 7/13/2017.





# Valor West Preliminary Plat Closure

4/26/2022

Scale: 1 inch= 400 feet

File:

Tract 1: 126.8917 Acres, Closure: s07.2827w 0.01 ft. (1/740334), Perimeter=10210 ft.

- 01 n89.5804w 1314.13
- 02 n00.0218e 1412.35
- 03 s89.5742e 43.49
- 04 n00.0218e 1431.07
- 05 n38.5621e 112
- 06 Lt, r=945.00, delta=038.3141, chord=s70.1930e 623.55
- 07 s89.3520e 613.65
- 08 s00.4722w 55
- 09 s89.3520e 1395.8
- 10 s00.2440w 445.77
- 11 s22.0959w 466.48

- 12 s56.3946w 91.82
- 13 s45.0143w 1136.89
- 14 Lt, r=938.00, delta=021.5700, chord=s34.0313w 357.15
- 15 s21.1442w 60.02
- 16 Lt, r=938.00, delta=019.2232, chord=s09.4326w 315.69
- 17 s00.0210w 257.56
- 18 n89.3713w 62



# AFFIDAVIT OF LEGAL INTEREST

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)

State of Idaho )  
                                  ) ss  
County of Ada )

I, William I. Brownlee, Manager of The M3 Companies, LLC, sole Member of M3 Builders, LLC, Manager of Falcon Crest Holdings, LLC  
Full Name

7033 Greenway Parkway, Suite 100 Scottsdale, AZ 85254 State            ZIP           

Being first duly sworn upon oath, depose and say: (If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my permission to JUB Engineers  
Full Name

2760 Excursion Ln, Meridian, ID 83642 City            State            ZIP             
Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend, and hold City of Kuna and its employees, harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 25 day of May, 2021  
Falcon Crest Holdings, LLC

By: [Signature]  
Name: William I. Brownlee Signature  
Its: Manager

Subscribed and sworn to before me the day and year first above written.

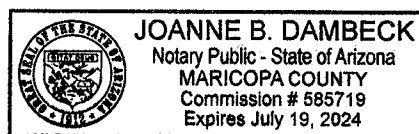
Joanne B. Dambeck Name

Residing at: 12830 S. 45th Street

Phoenix, AZ 85044 State            ZIP           

My Commission expires: 7-19-24

[Signature]  
Signature



ADA COUNTY RECORDER  
J. DAVID NAVARRO  
BOISE, IDAHO  
GRANT DEED  
2000 JUN 26 PM 4:56  
RECORDED - REQUEST OF  
Elyse  
Borden  
FEE 15.00  
DEPUTY M. K...  
100049802

FOR VALUE RECEIVED

**CLOVERDALE RANCH**, an Idaho general partnership whose general partners are Hans Borbonus and Terry Lee Cook ("Grantor"), does hereby grant, bargain, sell and convey unto **FALCON CREST, LLC**, an Idaho limited liability company, whose current address is 2528 N. Cloverdale Road, Boise, Idaho 83713 ("Grantee"), the following described premises located in Ada County, Idaho, to-wit:

The real estate more particularly described in Exhibit A, consisting of three (3) pages, attached hereto and by this reference incorporated herein

Subject to taxes and assessments, easements, rights of way, encumbrances, restrictions and reservations.

Together with appurtenances.

DATED: Effective January 1, 1999.

Cloverdale Ranch, an Idaho general partnership

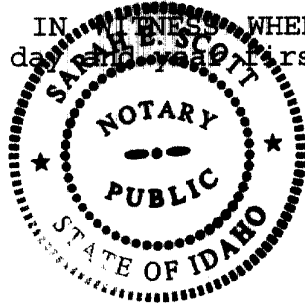
By: [Signature]  
Hans Borbonus  
Its: General Partner

By: [Signature]  
Terry Lee Cook  
Its: General Partner

STATE OF IDAHO )  
 : ss  
County of Ada )

On the 7<sup>th</sup> day of June, 2000, before me, the undersigned notary public in and for said State, personally appeared Hans Borbonus, known or identified to me to be a general partner of **Cloverdale Ranch**, the Idaho general partnership that executed the within instrument or the person who executed the same on behalf of said general partnership, and acknowledged to me that said general partnership executed same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

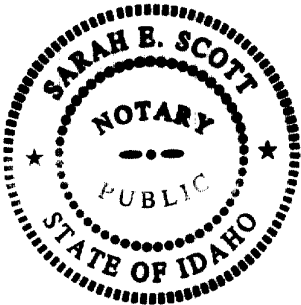


Sarah E. Scott  
Notary Public for Idaho  
Residing at: Bowen ID  
My Commission Expires: 10/16/2001

STATE OF IDAHO )  
 : ss  
County of Ada )

On the 7<sup>th</sup> day of June, 2000, before me, the undersigned notary public in and for said State, personally appeared Terry Lee Cook, known or identified to me to be a general partner of **Cloverdale Ranch**, the Idaho general partnership that executed the within instrument or the person who executed the same on behalf of said general partnership, and acknowledged to me that said general partnership executed same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Sarah E. Scott  
Notary Public for Idaho  
Residing at: Bowen ID  
My Commission Expires: 10/16/2001

PARCEL I:

The  $W\frac{1}{2}NW\frac{1}{2}$ ;  $SE\frac{1}{2}NW\frac{1}{2}$ ;  $E\frac{1}{2}NE\frac{1}{2}NW\frac{1}{2}$ ; Section 22, T. 2 N., 1E.,  
B.M., Ada County, Idaho.

and

$S\frac{1}{2}SE\frac{1}{2}$  Section 15, T. 2 N., R. 1 E., B.M.,  
Except,

A strip of land for public right of way located in the  
northwest  $\frac{1}{4}$  of Section 22, T. 2 N., R. 1 E., B.M., Ada  
County, Idaho; more specifically described to-wit:

Beginning at the northwest corner of Section 22, T. 2 N.,  
R. 1 E., B.M., thence  
East along the north line of Section 22, 40 feet to a point;  
thence  
South parallel to the west line of Section 22, 404 feet to  
a point; thence  
Southwesterly 100.24 feet more or less to a point 33 feet  
East of the West line of Section 22; thence  
South parallel to the west line of Section 22, 2170 feet  
more or less to the east-west  $\frac{1}{4}$  Section line; thence  
West along the  $\frac{1}{4}$  Section line 33 feet to the west line of  
Section 22; thence  
North along the west line of Section 22, 2674 feet more  
or less to the northwest corner of Section 22, The Point  
of Beginning.

PARCEL IV:

The  $NE\frac{1}{4}$  of Section 22, T. 2N., R. 1E., B.M., Ada County,  
Idaho.

Parcel II:

The  $W\frac{1}{2}NE\frac{1}{4}NW\frac{1}{4}$  Section 22, T. 2 N., R. 1 E., B.M., Ada County, Idaho  
and

That portion of the  $W\frac{1}{2}$  of the  $SW\frac{1}{4}$  lying South of the New York Canal in Section 15, Township 2 North, Range 1 East, B.M., in Ada County, Idaho.

Except Therefrom the following described tracts of land.

A,

Beginning at a point, said point being the South Quarter corner of said Section 15; thence

South  $89^{\circ}45'$  West a distance of 334 feet; thence

North  $54^{\circ}55'$  West a distance of 2,319 feet to the True Point of Beginning; thence

North  $0^{\circ}20'$  West 299.8 feet; thence

South  $89^{\circ}40'$  West 400 feet; thence

South  $0^{\circ}20'$  East 450 feet; thence

North  $89^{\circ}40'$  East 400 feet; thence

North  $0^{\circ}20'$  West 150.2 feet to the True Point of Beginning.

B,

A strip of land for public right of way located in the  $West\frac{1}{4}$  Southwest  $\frac{1}{4}$  lying South of the New York Canal in Section 15, T. 2 N., R. 1 E., B.M., Ada County, Idaho; more specifically described to-wit:

Beginning at the southwest corner of Section 15, T. 2 N., R. 1 E., B.M., thence

East along the South line of Section 15, 40 feet to a point; thence

North parallel to the West line of Section 15, 300 feet to a point; thence

Northwesterly 100.24 feet more or less to a point which is 33 feet East of the West line of said Section 15, thence

North parallel to the West line of Section 15, 910 feet more or less to the South property line of the Idaho Power Company substation; thence

West 33 feet to the west line of Section 15; thence

South along the west line of Section 15, 1310 feet more or less to the Southwest corner of Section 15, T. 2 N., R. 1 E., The Point of Beginning.

Parcel III:

The  $SE\frac{1}{4}SW\frac{1}{4}$  Section 15, T. 2 N., R. 1 E., B.M., Ada County, Idaho,

Except all minerals in or under said land including but not limited to metals, oil, gas, coal, stone and mineral rights, mining rights and easement rights or other matters relating thereto whether expressed or implied.



Excepting from the foregoing Parcels all of the real property heretofore conveyed to Idaho Power Company by the Grantor and/or Grantee as follows:

A strip of land 150 feet wide being 75 feet on each side of a centerline located in the N1/2SW1/4, W1/2W1/2NW1/4SE1/4, Section 15, T2N, R1E, B.M., Ada County, Idaho, being more particularly described as follows:

Commencing at a point identified as the SW Corner of said Section 15; thence North, along the West section line of said Section 15, a distance of 1660.0 feet, thence S 79°11'30" E. a distance of 33.0 feet, more or less, to a point in the East right of way line of South Cloverdale Road, said point being the True Point of Beginning; thence S. 79°11'30" E. a distance of 1343.2 feet, to an angle point, thence, N. 89°50'20" E., a distance of 1640.0 feet, more or less, to a point in the East line of the W1/2W1/2NW1/4SE1/4, said Section 15, said point being the point of terminus of said right of way and easement;

Excepting therefrom that portion of the described strip of land located in a parcel of land in the W1/2SW1/4, said Section 15, presently owned by Idaho Power Company as described in Instrument No. 522630, Pages 545-546, Book 486 of the records of the County Recorder of Ada County, Idaho.



4033024 JWLK

**WARRANTY DEED**

For Value Received Hans Borbonus,  
the Grantor, hereby grants, bargains, sells, conveys and warrants unto

Falcon Crest, L.L.C., an Idaho Limited Liability Company,

the grantee, whose current address is

the following described premises, to wit:

See "Exhibit A" attached hereto

Parcel Number:

**SUBJECT TO:** Current General Taxes, a lien in the process of assessments, not yet due or payable. Easements, restrictions, reservations, provisions of record, and assessments, if any.

**TO HAVE AND TO HOLD** the said premises, with their appurtenances unto the said Grantee, their heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that it is the owner in fee simple of said premises, that said premises are free from all encumbrances and that he will warrant and defend the same from all lawful claims whatsoever.

Dated this 6th day of May, 2005.

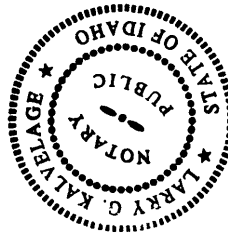
*Hans Borbonus*  
\_\_\_\_\_  
HANS BORBONUS

STATE OF Idaho )  
) ss.  
COUNTY OF Ada )

On this 10th day of May, 2005, before me, the undersigned, a Notary Public, in and for said State, personally appeared Hans Borbonus known to me, and/or identified to me on the basis of satisfactory evidence, to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS MY HAND AND OFFICIAL SEAL.

*Larry G. Kalvelage*  
\_\_\_\_\_  
Notary Public: Larry G. Kalvelage  
Residing at: Nampa, ID  
My commission expires December 14, 2006



The Southeast quarter of Section 22, Township 2 North, Range 1 East of the Boise Meridian, Ada County, Idaho.

**EXCEPT** the following described parcel:

Commencing at the Southeast corner of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho, being the section corner common to Sections 22, 23, 26 and 27;  
Thence

West along the section line common to Sections 22 and 27 a distance of 208.0 feet to a point;

Thence

North 281.9 feet; thence

East 208.0 feet to a point on the section line common to Sections 22 and 23; thence

South 281.9 feet along said section line to **THE POINT OF BEGINNING**.

And Also:

The Southwest quarter of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County Idaho.

**EXCEPT** the West 33 feet thereof conveyed to Ada County Highway District for public right of way by Deed recorded as Instrument No. 878551, of Official Records.



4033024371K

**WARRANTY DEED**

For Value Received Hansgeorg Borbonus,  
the Grantor, hereby grants, bargains, sells, conveys and warrants unto

Falcon Crest, L.L.C., an Idaho Limited Liability Company,

the grantee, whose current address is

the following described premises, to wit:

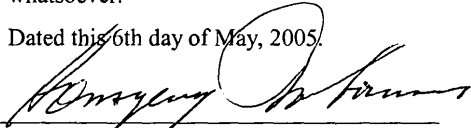
See "Exhibit A" attached hereto

Parcel Number:

**SUBJECT TO:** Current General Taxes, a lien in the process of assessments, not yet due or payable. Easements, restrictions, reservations, provisions of record, and assessments, if any.

**TO HAVE AND TO HOLD** the said premises, with their appurtenances unto the said Grantee, their heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that it is the owner in fee simple of said premises, that said premises are free from all encumbrances and that he will warrant and defend the same from all lawful claims whatsoever.


Dated this 6th day of May, 2005.

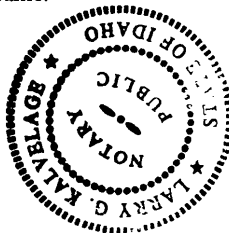
  
\_\_\_\_\_  
Hansgeorg Borbonus

STATE OF Idaho )  
 ) ss.  
COUNTY OF Ada )

On this 10th day of May, 2005, before me, the undersigned, a Notary Public, in and for said State, personally appeared Hansgeorg Borbonus known to me, and/or identified to me on the basis of satisfactory evidence, to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS MY HAND AND OFFICIAL SEAL.

  
\_\_\_\_\_  
Notary Public, Larry G. Kalvelage  
Residing at: Nampa, ID  
My commission expires December 14, 2006



LEGAL DESCRIPTION

EXHIBIT A

The Northwest quarter of the Southwest quarter of Section 23, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho;

And:

The Northeast quarter of the Southwest quarter of Section 23, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho;

And also:

The Southwest quarter of the Southwest quarter of Section 23, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho;

And also:

The Southeast quarter of the Southwest quarter of Section 23, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho.



ADA COUNTY RECORDER J. DAVID NAVARRO  
BOISE IDAHO 11/08/05 04:30 PM  
DEPUTY Bonnie Oberbillig  
RECORDED - REQUEST OF  
Stewart Title Company

AMOUNT 6.00 2



ACCOMMODATION ONLY JW

**QUITCLAIM DEED**

THIS INDENTURE, made this 7th day of November, 2005, between

Hansgeorg Borbonus, as **GRANTOR(S)** and

Falconcrest, LLC, an Idaho Limited Liability Company, **GRANTEE(S)**

whose current address is 2528 N. Cloverdale Rd.

WITNESS, that said Grantor(s), for an in consideration in lawful money of the United States of America, in hand paid by the Grantee, the receipt whereof is hereby acknowledged, does by these premises remise, release and forever QUITCLAIM, unto the said Grantee(s) and to its heirs and assigns all that certain lot, piece or parcel of land, bounded and particularly described as follows, to wit:

See "Exhibit A" attached hereto

Parcel Number:

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

TO HAVE AND TO HOLD, All and singular the said premises, together with the appurtenances, unto the Grantee and to its heirs and assigns forever.

IN WITNESS WHEREOF, the grantor(s) has executed this deed on the date set forth above.

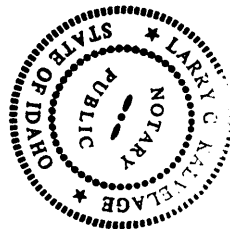
*[Handwritten Signature]*  
Hansgeorg Borbonus

STATE OF Idaho )  
 ) ss.  
COUNTY OF Ada )

On this 7<sup>th</sup> day of November, 2005, before me, the undersigned, a Notary Public, in and for said State, personally appeared Hansgeorg Borbonus known to me, and or identified to me on the basis of satisfactory evidence, to be the person(s) whose name is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS MY HAND AND OFFICIAL SEAL.

*[Handwritten Signature]*  
Notary Public: Larry G. Kalvelage  
Residing at: Nampa, ID  
My commission expires: December 14, 2006



## LEGAL DESCRIPTION

Order Number:

### EXHIBIT A

The Northeast quarter of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho.

And

The Southeast quarter of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho.

Except the following described parcel:

Commencing at the Southeast corner of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho, being the section corner common to Sections 22, 23, 26 and 27; thence West along the section line common to Section 22 and 27 a distance of 208.0 feet to a point; thence North 281.9 feet; thence East 208.0 feet to a point on the section line common to Sections 22 and 23; thence South 281.9 feet along said Section line to the Point of Beginning.

AFTER RECORDING MAIL TO:

Falcon Crest, L.L.C., an Idaho Limited Liability Company  
2528 N Cloverdale Road  
Boise, ID 83713

ADA COUNTY RECORDER Christopher D Rich  
BOISE IDAHO Pgs=3 CHE FOWLER  
FALCON CREST, LLC

**2015-115981**  
12/21/2015 03:08 PM  
AMOUNT \$16.00



00177462201501159810030039

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**QUITCLAIM DEED**

Date: **May 12, 2015**

For Value Received, **Falcon Crest, L.L.C., an Idaho Limited Liability Company**, do(es) hereby convey, release, remise, and forever quit claim unto **Falcon Crest, L.L.C., an Idaho Limited Liability Company**, whose address is **2528 N Cloverdale Road, Boise, ID 83713**, the following described premises in **Ada County, Idaho**, to-wit:

**LEGAL DESCRIPTION:** Real property in the County of Ada, State of Idaho, described as follows:

**See Legal Description Attached Hereto and Made a Part Hereof**

together with their appurtenances.

Dated: 5-14, 20 15

Terry Cook  
**Terry Cook, Member**





**DESCRIPTION FOR  
PARCEL B  
FALCON CREST LLC PROPERTY**

A parcel of land located in the SW 1/4 of the SW 1/4 of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho being more particularly described as follows:

Commencing at a brass cap monument marking the SW of said Section 22;

Thence along said South boundary line of said Section 22 South 89°57'42" East, 48.00 feet to the **REAL POINT OF BEGINNING**;

Thence leaving said South boundary line and along the along the East right-of-way line of S. Cloverdale Road North 00°42'47" East, 1325.52 feet to a point on the North boundary line of the SW 1/4 of the SW 1/4 of said Section 22;

Thence along said North boundary line North 89°58'36" East, 1280.49 feet to the SW1/16 corner of said Section 22;

Thence along the East boundary line of the SW 1/4 of the SW 1/4 of said Section 22 South 00°38'13" West, 1326.88 feet to the W1/16 corner of said Section 22;

Thence along the South boundary line of said Section 22 North 89°57'42" West, 1282.24 feet to the **REAL POINT OF BEGINNING**.

AFTER RECORDING MAIL TO:

Falcon Crest, L.L.C., an Idaho Limited Liability Company  
2528 N Cloverdale Road  
Boise, ID 83713

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=3 CHE FOWLER  
FALCON CREST, LLC

**2015-115982**  
12/21/2015 03:08 PM  
AMOUNT \$16.00



00177453201501159820030036

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## QUITCLAIM DEED

Date: **May 12, 2015**

For Value Received, **Falcon Crest, L.L.C., an Idaho Limited Liability Company**, do(es) hereby convey, release, remise, and forever quit claim unto **Falcon Crest, L.L.C., an Idaho Limited Liability Company**, whose address is **2528 N Cloverdale Road, Boise, ID 83713**, the following described premises in **Ada County, Idaho**, to-wit:

**LEGAL DESCRIPTION:** Real property in the County of Ada, State of Idaho, described as follows:

**See Legal Description Attached Hereto and Made a Part Hereof**

together with their appurtenances.

Dated: 5-30, 20 15

Terry Cook  
**Terry Cook, Member**



**DESCRIPTION FOR  
PARCEL A  
FALCON CREST LLC PROPERTY**

A parcel of land located in the SW 1/4 of Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho being more particularly described as follows:

Commencing at a brass cap monument marking the SW of said Section 22;

Thence along said South boundary line of said Section 22 South 89°57'42" East, 48.00 feet;

Thence leaving said South boundary line and along the along the East right-of-way line of S. Cloverdale Road North 00°42'47" East, 1325.52 feet to a point on the North boundary line of the SW 1/4 of the SW 1/4 of said Section 22, said point being the **REAL POINT OF BEGINNING**;

Thence continuing along the East right-of-way line of S. Cloverdale Road North 00°42'47" East, 1325.52 feet to a point on the North boundary line of the SW 1/4 of said Section 22;

Thence along said North boundary line North 89°54'53" East, 2605.51 feet to the C1/4 corner of said Section 22;

Thence along the East boundary line of the SW 1/4 of said Section 22 South 00°33'40" West, 2656.59 feet to the S1/4 corner of said Section 22;

Thence along the South boundary line of said Section 22 North 89°57'42" West, 1330.24 feet to the W1/16 corner of said Section 22;

Thence along the East boundary line of the SW 1/4 of the SW 1/4 of said Section 22 North 00°38'13" East, 1326.88 feet to the SW1/16 corner of said Section 22;

Thence along the North boundary line of the SW 1/4 of the SW 1/4 of said Section 22 South 89°58'36" West, 1280.49 feet to the **REAL POINT OF BEGINNING**.



# COMMITMENT TO PROPERTY POSTING

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



Per Kuna City Code (KCC) 5-1A-8, the Applicant, for all applications requiring a Public Hearing, shall post the subject property *not less than ten (10) days prior to the hearing*. The Applicant shall post a copy of the Public Hearing notice on the property under consideration; all posting must be in substantial compliance.

The Applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the Planning and Zoning Department *no later than seven (7) days* prior to the Public Hearing, attesting to where and when the sign(s) were posted. Unless such certificate is received by the required date, the hearing will be continued to the next available date, as scheduling permits.

***The signs shall be removed no later than three (3) days after the end of the Public Hearing for which the sign(s) had been posted.***

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



# Neighborhood Meeting Certification



PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)

You **must** conduct a Neighborhood Meeting **prior** to submission of an application for Annexation; Rezone; Special Use Permit; Subdivision; and Variance. Please see Kuna City Code 5-1A-2 for more information or contact the Planning & Zoning Department at (208) 922-5274.

The Neighborhood Meeting Certification packet includes the following:

- Neighborhood Meeting Certification – This acts as quick reference information regarding your project.
- Sign-in Sheet – This provides written record of who attended your Neighborhood Meeting.
- Neighborhood Meeting Minutes – Provides space in which to record the items discussed and any concerns attendees may have.

A Neighborhood Meeting cannot take place more than two (2) months prior to acceptance of the application and an application will not be accepted before the meeting is conducted. You are required to mail written notification of your meeting, allowing at least fourteen (14) days before your meeting for property owners to plan to attend. **Contacting and/or meeting individually with property owners will not fulfill Neighborhood Meeting requirements.** You may request a 300' property owners mailing list by completing the Neighborhood Meeting Mailing List Request form located under Forms & Applications on the City of Kuna website.

Neighborhood Meetings must be held on either a weekend between 10:00 Am & 7:00 PM, or a weekday between 6:00 PM & 8:00 PM. The meeting **cannot** be conducted on holidays, holiday weekends, or the day before/after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- Subject property;
- Nearest available public meeting place (i.e. Libraries, Community Centers, etc.); or
- An office space within a one (1) mile radius of the subject property.

Once you have held your Neighborhood Meeting, please complete this certification form and include with your application along with the Sign-in Sheet, Neighborhood Meeting Minutes & a copy of the notification mailed to attendees.

Description of proposed project: 130 ac. residential subdivision

Date of Meeting: 7/28/22 Time: 5:30 - 6:30

Meeting Location: FC Clubhouse

### Site Information

Location: Section 22,23 Township 2N Range 1E Total Acres 130

Subdivision Name: Valor West Subdivision Lot \_\_\_\_\_ Block \_\_\_\_\_

Address: \_\_\_\_\_

Parcel No(s): See attached

*Include ALL addresses and parcel numbers for your application.*

**Current Property Owner**

Name: See attached

Address: \_\_\_\_\_

**Contact Person**

Name: Wendy Shrief

Business Name (if applicable): JUB

Address: 2760 Excursion Lane Meridian, ID

Phone: 208.376.7330 Email: wshrief@jub.com

**Applicant**

Name: M3 Companies

Address: 1673 Shoreline Drive, Suite 200 Boise, ID

Phone: 208.939.6263 Email: mtate@m3companiesllc.com

I, Wendy Shrief, certify that a Neighborhood Meeting was conducted at the time and location noted on this form in accordance with Kuna City Code 5-1A-2.

Applicant Signature: Wg Shrief Date: 7/28/22



# SIGN-IN SHEET

Project Name: Valor West - 2nd Meeting 7/28/2d

	Name	Address	Phone
1	Tim Hume	10837 KUNAWA	2083622142
2	Michael Lam	12669 Romiro Ave	208-362-5736
3	Tony Chidwick	12433 COACHOS AVE	208-972-4495
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# NEIGHBORHOOD MEETING MINUTES

Meeting Date: 7/28/22 Number of Attendees: 3

Location: FC Clubhouse

Project Description: 30 acre residential

## Attendee Comments or Concerns:

- Traffic on Kuna Road
- Timing on Kuna Road improvements
- Impact of new development on tax assessments
- Neighbors were very unhappy with the previous closure of Kuna Road

I, Wendy Shrief, hereby certify the above information and the information provided within these forms is true, complete and correct to the best of my knowledge.

Applicant Signature: Wendy Shrief Date: 7/29/22



J-U-B FAMILY OF COMPANIES

July 14, 2022

RE: **NOTICE OF NEIGHBORHOOD MEETING | July 28, 2022**

Dear Property Owner:

You are invited to attend an Open House/ Neighborhood Meeting for a single-family residential development:

- Thursday, July 28, 2022 from 5:30 p.m. to 6:30 p.m.
- Meeting will be held at 11102 S Cloverdale Road at the Falcon Crest Golf Course Club House. Meeting location is shown on enclosed map.

The subdivision project is located on the east side of S Cloverdale Road, south of Falcon Crest Golf Course. The subdivision consists of approximately 130 acres (see reverse side for project location). An application will be submitted to the City of Kuna consisting of a Preliminary Plat. The property has already been annexed into the City of Kuna, the property has existing R-6 zoning.

**This second Neighborhood Meeting is being held due to an error with the original meeting notice, the proposed development plans have not changed from what was presented in February.**

Should you have any questions prior to the meeting or cannot attend, please do not hesitate to contact me at [wshrief@jub.com](mailto:wshrief@jub.com) or at (208) 376-7330.

Sincerely,  
J-U-B Engineers, Inc.

Wendy Shrief, AICP  
Senior Planner

W. HUBBARD ROAD

10 MILE CREEK ROAD

NEW YORK CANAL

CLOVERDALE RIDGE ESTATES SUBDIVISION

S. CLOVERDALE ROAD

PROPOSED ROBINHOOD SUBDIVISION NO. 1

NEIGHBORHOOD MEETING LOCATION - GOLF CLUB HOUSE

FALCON CREST GOLF COURSE

PROPOSED GOLF VILLAGE PRE-PLAT

W. TEIRCEL DR

PROJECT LOCATION

PROPOSED FALCON CREST SUBDIVISION NO. 3

0 750 1500

SCALE IN FEET

REINING HORSE DR

FALCON CREST SUBDIVISION NO. 2

FALCON CREST SUBDIVISION NO. 1

PROPOSED FALCON CREST SUBDIVISION NO. 5

PROPOSED FALCON CREST SUBDIVISION NO. 4

PROPOSED FALCON CREST SUBDIVISION NO. 6

PROPOSED FALCON CREST SOUTH PRE-PLAT

W. KUNA ROAD

DESERT VIEW ESTATES SUBDIVISION

REUSE OF DRAWINGS

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FILE FALCON CREST EAST PRE-PLAT

JUB PROJ # 101-122  
DRAWN BY \*\*\*  
DESIGN BY \*\*\*  
CHECKED BY \*\*\*  
LAST UPDATED 1/14/2021



J-U-B ENGINEERS, INC.

FALCON CREST EAST PRE-PLAT  
KUNA, IDAHO

VICINITY MAP  
NEIGHBORHOOD MEETING LOCATION

SHEET

1

## Glen Smallwood

---

**From:** Sub Name Mail  
**To:** Terry O'Brien  
**Cc:** Timothy Harrigan  
**Subject:** RE: Valor West Subdivision Name Reservation

March 15, 2022

Timothy Harrigan, J-U-B Engineers  
Terry O'Brien, J-U-B Engineers

RE: Subdivision Name Reservation: **VALOR WEST SUBDIVISION**

At your request, I will reserve the name **Valor West Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



**Glen Smallwood**  
**Surveying Technician**  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7926 *office*  
(208) 287-7909 *fax*

---

**From:** Terry O'Brien <tobrien@jub.com>  
**Sent:** Tuesday, March 15, 2022 9:46 AM  
**To:** Sub Name Mail <subnamemail@adacounty.id.gov>  
**Subject:** [EXTERNAL] RE: Request for Subdivision Name

Good morning Glen,

**The owner is:** Falcon Crest LLC      and      M3 ID Falcon Crest LLC  
2528 N Cloverdale Rd                      7033 E Greenway PKWY, Ste 100  
Boise, ID 83712                                      Scottsdale, AZ 85254

**The Developer is:** M3 Companies, LLC – Mark Tate  
1673 Shoreline Drive, Ste 200  
Boise, ID 83702  
208.939.6263  
[mtate@m3companiesllc.com](mailto:mtate@m3companiesllc.com)

The Land Surveyor: Timothy Harrigan – J-U-B Engineers, Inc  
2760 W Excursion Lane, Ste 400  
Meridian, ID 83642  
208.376.7330  
tharrigan@jub.com

Please let me know if there is anything else you need from me...have a wonderful day!

Best regards,

Terry O'Brien  
Team Coordinator

---

**From:** Sub Name Mail <subnamemail@adacounty.id.gov>  
**Sent:** Tuesday, March 15, 2022 6:50 AM  
**To:** Terry O'Brien <tobrien@jub.com>  
**Subject:** [EXTERNAL] RE: Request for Subdivision Name

**External Email - This Message originated from outside J-U-B ENGINEERS, Inc.**

---

Terry,

The name is approvable, however the following information is also required prior to reserving a name;

- The name and contact information for the Owner
- The name and contact information for the Developer
- The name of the Professional Land Surveyor that will be in responsible charge of the plat

Once I have this information, I can process the reservation.



**Glen Smallwood**  
**Surveying Technician**  
Ada County Development Services  
200 W. Front St., Boise, ID 83702  
(208) 287-7926 office  
(208) 287-7909 fax

---

**From:** Terry O'Brien <[tobrien@jub.com](mailto:tobrien@jub.com)>  
**Sent:** Monday, March 14, 2022 8:03 AM  
**To:** Sub Name Mail <[subnamemail@adacounty.id.gov](mailto:subnamemail@adacounty.id.gov)>  
**Subject:** [EXTERNAL] FW: Request for Subdivision Name

**CAUTION:** This email originated from outside Ada County email servers. Do not click on links or open attachments unless you recognize the sender and know the content is safe. Verify the sender by mouse-hovering over their display name in order to see the sender's full email address and confirm it is not suspicious. If you are unsure an email is safe, please report the email by using the 'Phish Alert' button in Outlook.

Hello,

We would like to reserve the name **Valor West** for a new subdivision in Kuna. The parcel numbers are: S1422131500, S1422417200, S1423325400 and S14224498200. I have attached a vicinity map with the parcels labeled and the outline of the project. Please let me know if you need anything else from me.

Thank you kindly and have a wonderful weekend!

Best regards,

Terry O'Brien  
*Team Coordinator*

**J-U-B ENGINEERS, Inc.**

2760 W. Excursion Lane, Suite 400, Meridian, ID 83642-5313

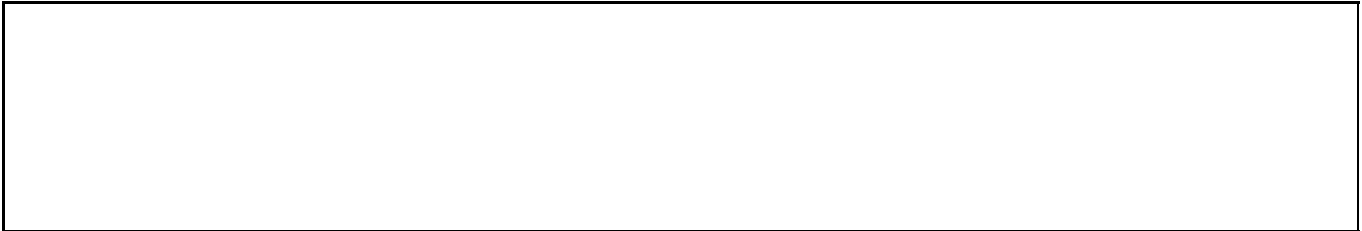
e [tobrien@jub.com](mailto:tobrien@jub.com) w [www.jub.com](http://www.jub.com) [[jub.com](http://jub.com)]

p 208 376 7330 ex 1093

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This email has been scanned for viruses and malware, and may have been automatically archived.

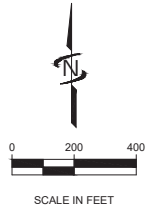


# PRELIMINARY PLAT FOR VALOR WEST SUBDIVISION

SITUATE IN THE SE QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 22,  
AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 23,  
TOWNSHIP 2 NORTH, RANGE 1 EAST, BOISE MERIDIAN,  
KUNA, IDAHO  
2022

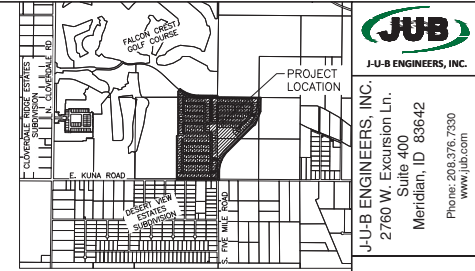
Line #	Direction	Length
L1	S89°57'42"E	43.49'
L2	N38°56'21"E	112.00'
L3	S00°47'22"W	55.00'
L4	S50°39'46"W	91.82'
L5	S00°02'10"W	257.56'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	635.45'	945.00'	39°31'41"	S70°19'30"E	623.55'
C2	736.45'	940.93'	44°50'40"	S22°31'56"W	717.80'



## BOUNDARY LEGEND

- - - - - Subdivision Boundary Line
- - - - - Section Line
- - - - - Center Line
- - - - - Right-of-way Line
- - - - - Existing Parcel Line
- - - - - Section Corner
- - - - - Quarter-Section Corner
- - - - - Property Corner
- - - - - Calculated Point



**JUB**  
J-U-B ENGINEERS, INC.  
2760 W. Excursion Ln.,  
Suite 400  
Meridian, ID 83642  
Phone: 208.376.7330  
www.jub.com

**PROFESSIONAL ENGINEER**  
REGISTERED  
11704  
STATE OF IDAHO  
MATT E. PRICE

NO.	DESCRIPTION	DATE

### NOTES:

- CONTOUR AND SPOT ELEVATION DATA IS REFERENCED TO NAVD '88 DATUM.
- THE STREETS WITHIN THIS DEVELOPMENT ARE STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA COUNTY HIGHWAY DISTRICT (AHD) STANDARDS FOR PUBLIC STREETS WITH A MINIMUM GRADIENT OF 0.40%.
- ALL LOTS ARE RESIDENTIAL BUILDING LOTS EXCEPT LOT 1, BLOCK 1, LOT 1, BLOCK 2; LOTS 12 AND 22, BLOCK 3; LOT 12, BLOCK 4; LOTS 1 AND 12, BLOCK 5; LOT 1, BLOCK 6; LOT 1, BLOCK 7; LOTS 1 AND 14, BLOCK 8; LOTS 1 AND 14, BLOCK 9; LOTS 1 AND 14, BLOCK 10; LOT 1, BLOCKS 11 THRU 18, LOTS 1 AND 11, BLOCK 19, WHICH ARE COMMON AREA/DRAINAGE STORAGE LOTS. LOTS 36, 63, 97, 113, 131, BLOCK 1 ARE COMMON DRIVEWAY LOTS.
- STORMWATER RUN-OFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
- PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
- THIS SUBDIVISION WILL RECEIVE PRESSURIZED IRRIGATION FOR COMMON LOTS AND THE GOLF COURSE FROM EXISTING IRRIGATION WELLS. THE INDIVIDUAL LOTS WILL RECEIVE PRESSURE IRRIGATION FROM THE DOMESTIC WATER SUPPLY WELLS ON SITE. THE CONSTRUCTED PRESSURE IRRIGATION SYSTEM SHALL BE MAINTAINED AND OPERATED BY THE HOME OWNERS ASSOCIATION AND GOLF COURSE.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4803 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, NO AGRICULTURAL, OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF.
- DOMESTIC AND FIRE PROTECTION WATER SHALL BE PROVIDED BY THE CITY OF KUNA.
- SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE CITY OF KUNA.
- IRRIGATION DITCHES THROUGH THE PROJECT SHALL BE PIPED WHERE THEY CROSS ROADWAYS WITH ALL STRUCTURES LOCATED BEYOND ANY PUBLIC RIGHT-OF-WAY.
- LANDSCAPED COMMON LOTS ARE LOCATED THROUGHOUT THE PROJECT AND ARE IDENTIFIED ON THE PLAN. THESE LOTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE DEVELOPMENT AGREEMENT WITH THE CITY OF KUNA.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
- THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
- A STORMWATER DRAINAGE EASEMENT SHALL BE RESERVED ON THE DRAINAGE LOTS FOR THE BENEFIT OF AHD. LANDSCAPING OVER SAID LOTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND AHD SHALL PROVIDE HEAVY MAINTENANCE OF THE STORM DRAINAGE FACILITIES AS DEFINED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR SILVERWATER SUBDIVISION.
- THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP NO. 16001C0425 HX, COMMUNITY PANEL NO. 0425, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 2, 2003 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

<b>FIRE DISTRICT:</b> KUNA FIRE DISTRICT 150 W. BOISE STREET KUNA, ID 83634 PHONE: (208) 922-1144	<b>OWNER:</b> FALCON CREST LLC 2928 N. CLOVERDALE RD. BOISE, ID 83713 PHONE: (208) 922-1144	<b>SEWER &amp; WATER:</b> CITY OF KUNA 6950 S TEN MILE RD MERIDIAN, ID 83634 PHONE: (208) 287-1729 (SEW) PHONE: (208) 287-1725 (WAT)	<b>PRESSURE IRRIGATION:</b> CITY OF KUNA 6950 S TEN MILE RD MERIDIAN, ID 83634 PHONE: (208) 287-1725
<b>SCHOOL DISTRICT:</b> KUNA SCHOOL DISTRICT 711 E. PORTER STREET KUNA, ID 83634 PHONE: (208) 922-1000	<b>OWNER:</b> M3 ID FALCON CREST LLC 7033 E. GREENWAY PKWY STE. 100 SCOTTSDALE, AZ 85254 PHONE: (208) 922-1000	<b>POWER:</b> IDAHO POWER JESS POWELL 1221 W. IDAHO STREET BOISE, ID 83702 PHONE: (208) 388-6399	<b>ROADWAYS:</b> ADA COUNTY HIGHWAY DISTRICT 1301 N. ORCHARD ST BOISE, ID 83706 PHONE: (208) 387-6100

<b>IRRIGATION DISTRICT:</b> BOISE PROJECT BOARD OF CONTROL 2465 OVERLAND ROAD BOISE, ID 83705 PHONE: (208) 344-1141	<b>DEVELOPER:</b> M3 COMPANIES 1087 W. RIVER STREET SUITE #310 BOISE, IDAHO 83702 208-939-6263 MARK TATE	<b>CIVIL ENGINEER:</b> MATT PRICE, P.E. J-U-B ENGINEERS 2760 W. EXCURSION LN. STE. 400 MERIDIAN, ID 83642 208-376-7330	<b>LAND SURVEYOR:</b> TIMOTHY HARRIGAN, P.L.S. J-U-B ENGINEERS 2760 W. EXCURSION LN. STE. 400 MERIDIAN, ID 83642 208-376-7330
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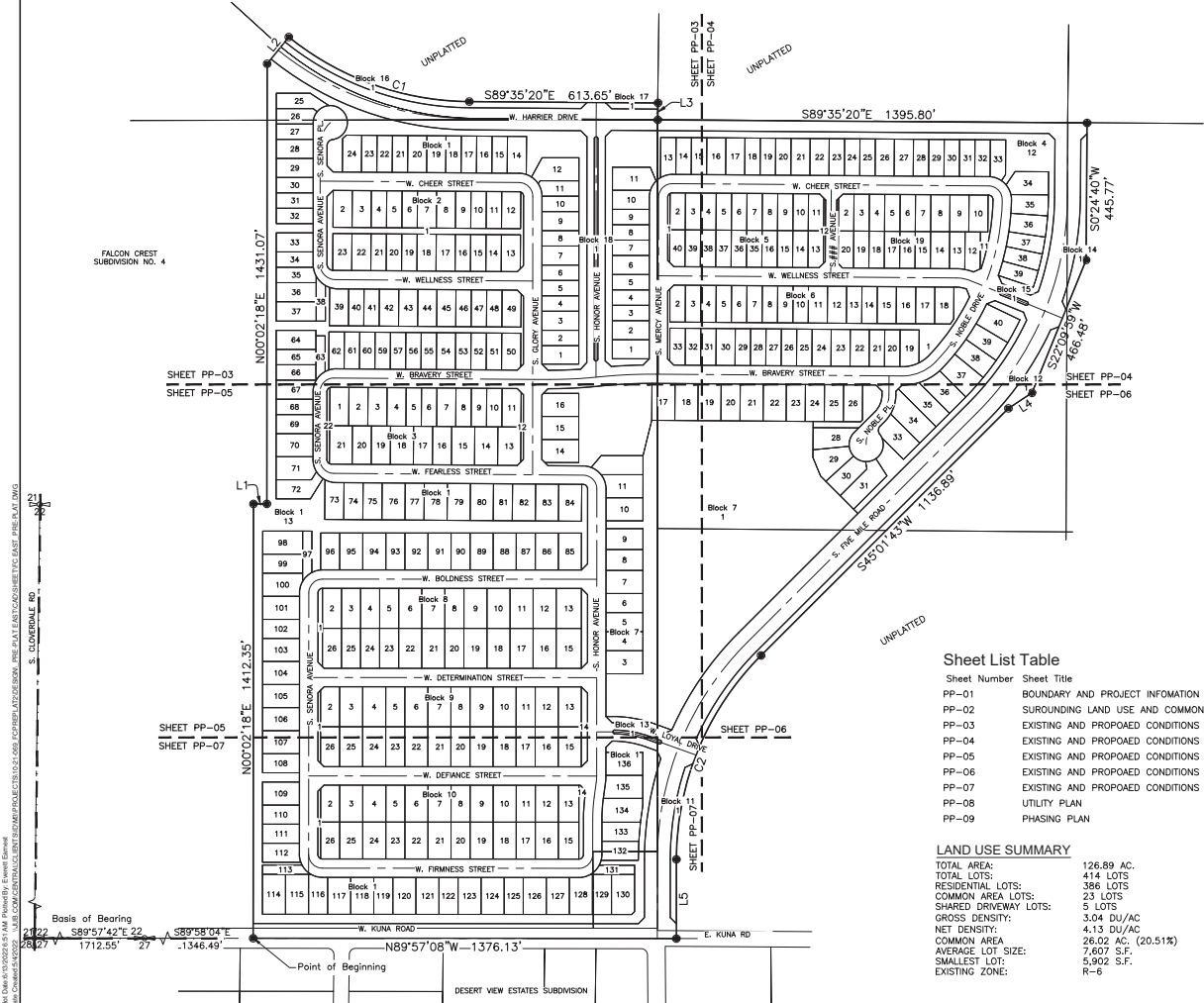
<b>EXISTING</b>	<b>LEGEND</b>	<b>PROPOSED</b>
- - - - -	SANITARY SEWER LINE	- - - - -
- - - - -	WATER LINE	- - - - -
- - - - -	GRAVITY IRRIGATION PIPE	- - - - -
- - - - -	PRESSURE IRRIGATION LINE	- - - - -
- - - - -	STORM DRAIN LINE	- - - - -
- - - - -	CENTERLINE	- - - - -
- - - - -	LOT LINE	- - - - -
- - - - -	6" VERTICAL CURB & GUTTER	- - - - -
- - - - -	ROLLED CURB & GUTTER	- - - - -
- - - - -	5' SIDEWALK	- - - - -
- - - - -	SEWER MANHOLE	- - - - -
- - - - -	DITCH FLOW LINE	- - - - -
- - - - -	IRRIGATION MANHOLE	- - - - -
- - - - -	STREET LIGHT	- - - - -
- - - - -	TREE DECIDUOUS	- - - - -
- - - - -	TREE CONIFER	- - - - -
- - - - -	EDGE OF PAVEMENT	- - - - -
- - - - -	GAS LINE	- - - - -
- - - - -	FENCE LINE	- - - - -
- - - - -	FIRE HYDRANT	- - - - -
- - - - -	5' CONTOUR LINE	- - - - -
- - - - -	1' CONTOUR LINE	- - - - -

### Sheet List Table

Sheet Number	Sheet Title
PP-01	BOUNDARY AND PROJECT INFORMATION
PP-02	SURROUNDING LAND USE AND COMMON LOT TABLES
PP-03	EXISTING AND PROPOSED CONDITIONS
PP-04	EXISTING AND PROPOSED CONDITIONS
PP-05	EXISTING AND PROPOSED CONDITIONS
PP-06	EXISTING AND PROPOSED CONDITIONS
PP-07	EXISTING AND PROPOSED CONDITIONS
PP-08	UTILITY PLAN
PP-09	PHASING PLAN

### LAND USE SUMMARY

TOTAL AREA:	126.89 AC.
TOTAL LOTS:	414 LOTS
RESIDENTIAL LOTS:	386 LOTS
COMMON AREA LOTS:	23 LOTS
SHARED DRIVEWAY LOTS:	5 LOTS
GROSS DENSITY:	3.04 DU/AC
NET DENSITY:	4.13 DU/AC
COMMON AREA:	26.02 AC. (20.51%)
AVERAGE LOT SIZE:	7,607 S.F.
SMALLEST LOT:	5,902 S.F.
EXISTING ZONE:	R-6



Basis of Bearing  
 2022 S89°57'42"E = 22'  
 2027 W 171°55' 27" = 1346.49'  
 S89°58'04"E = 27'  
 N89°57'08"W = 1376.13'

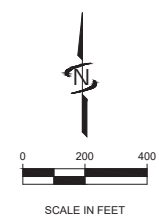
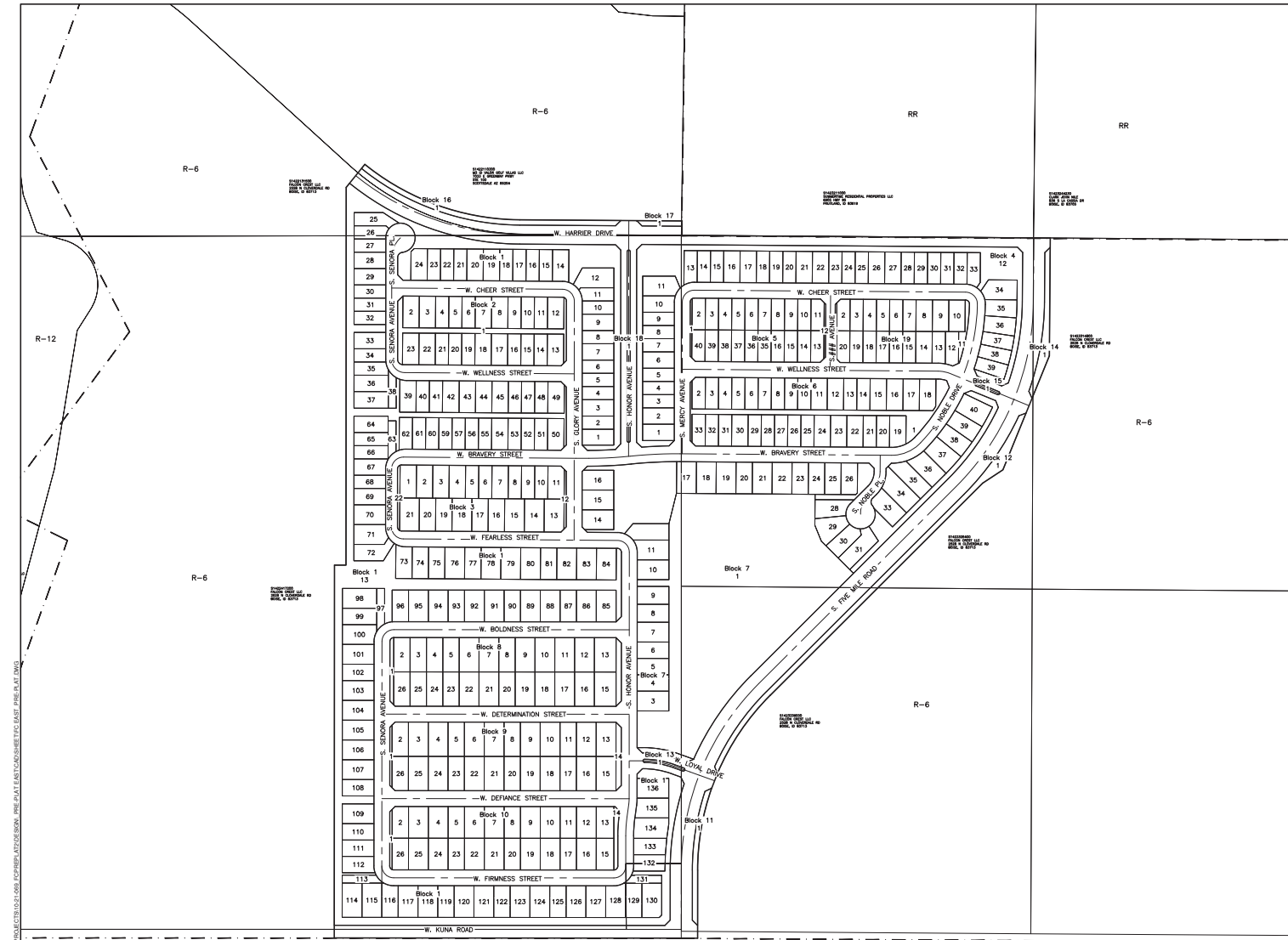
Point of Beginning

DESERT VIEW ESTATES SUBDIVISION

VALOR WEST SUBDIVISION  
 KUNA, IDAHO  
 BOUNDARY AND PROJECT INFORMATION

FILE: FC EAST PRE PLAT  
 PER: PER: 8-10-2022  
 DRAWN BY: [ ]  
 DESIGN BY: [ ]  
 CHECKED BY: [ ]  
 AT FULL SIZE, IF NOT ONE  
 INCH, BEARS ACCORDINGLY  
 LAST UPDATED: 8-10-2022  
 SHEET NUMBER:  
**PP-01**





Parcel Area Table

BLOCK NUMBER	LOT NUMBER	AREA (ACRES)	LOT USE
1	13	7.27 ac.	Common Lot
2	1	0.44 ac.	Common Lot
3	12	0.04 ac.	Common Lot
4	12	2.19 ac.	Common Lot
5	1	0.03 ac.	Common Lot
5	12	0.03 ac.	Common Lot
6	1	0.69 ac.	Common Lot
7	1	10.33 ac.	Common Lot
8	1	0.08 ac.	Common Lot
9	14	0.11 ac.	Common Lot
9	1	0.04 ac.	Common Lot
10	1	0.05 ac.	Common Lot
11	1	0.23 ac.	Common Lot
12	1	0.92 ac.	Common Lot
13	1	0.04 ac.	Common Lot
14	1	0.32 ac.	Common Lot
15	1	0.03 ac.	Common Lot
16	1	0.47 ac.	Common Lot
17	1	0.07 ac.	Common Lot
18	1	0.20 ac.	Common Lot
19	11	0.09 ac.	Common Lot
19	1	0.03 ac.	Common Lot

Parcel Area Table

BLOCK NUMBER	LOT NUMBER	AREA (ACRES)	LOT USE
1	113	0.10 ac.	Shared Driveway
1	97	0.10 ac.	Shared Driveway
1	38	0.09 ac.	Shared Driveway
1	63	0.09 ac.	Shared Driveway

LEGEND  
 - - - - - EXISTING ZONE BOUNDARY  
 R-6 EXISTING ZONE DESIGNATION



J-U-B ENGINEERS, INC.  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com



NO.	DESCRIPTION	BY	DATE

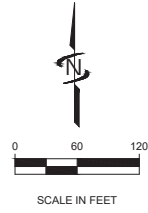
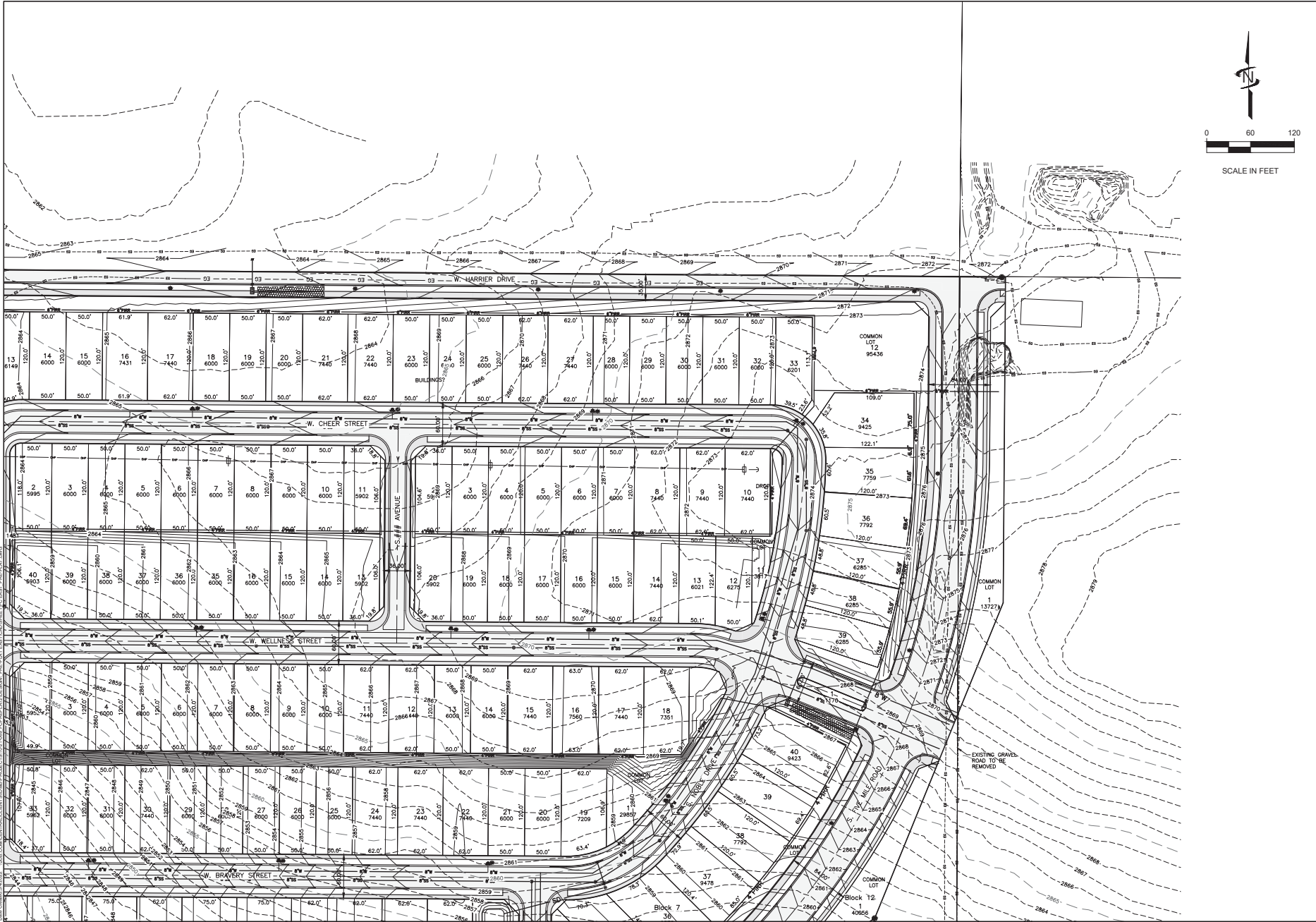
VALOR WEST SUBDIVISION  
 KUNA, IDAHO  
 SURROUNDING LAND USE AND COMMON LOT TABLES

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 CHECKED BY: [blank]  
 IN CHARGE: [blank]  
 AT FULL SIZE, IF NOT ONE  
 INCH, SCALE ACCORDINGLY.  
 LAST UPDATED: 6-13-2022

SHEET NUMBER:  
**PP-02**

Plot Date: 6/13/2022 9:51 AM  
 Date Created: 6/13/2022





**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com



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NO.	DESCRIPTION	DATE

**VALOR WEST SUBDIVISION**  
**KUNA, IDAHO**  
 EXISTING AND PROPOSED CONDITIONS

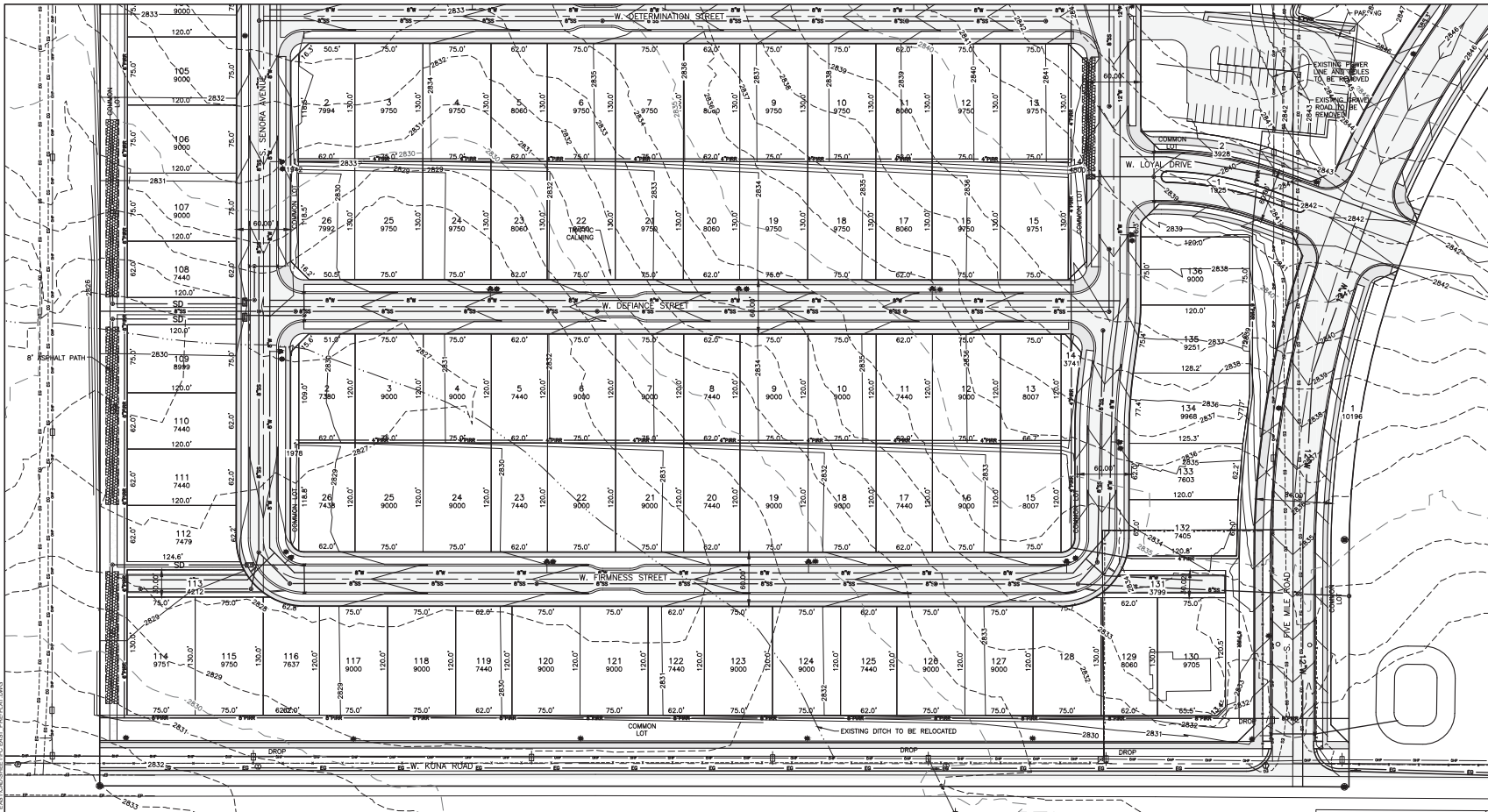
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 CHECKED BY: [Signature]  
 AT FULL SIZE, IF NOT ONE  
 INCH BEING ACCORDINGLY.  
 LAST UPDATED: 6-13-2022

SHEET NUMBER:  
**PP-04**

P:\01\2022\13-10-28-002\13-10-28-002-FC EAST PRE-PLAT.dwg  
 DATE: 6/13/2022 10:58 AM  
 PLOTTER: HP DesignJet 2450  
 PLOT SCALE: 1"=60'-0"  
 PLOT SHEET: 1 OF 4  
 PLOT DATE: 6/13/2022 10:58 AM  
 PLOT BY: [Signature]







**JUB**  
 J-U-B ENGINEERS, INC.  
 J-U-B ENGINEERS, INC.  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com

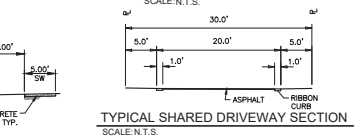
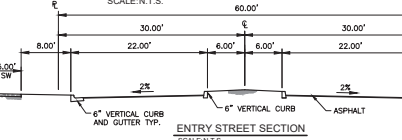
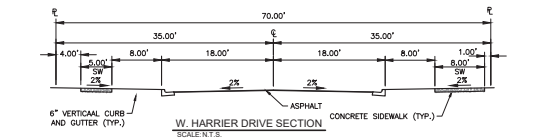
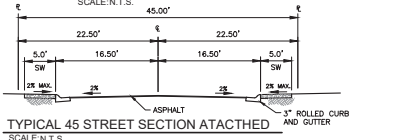
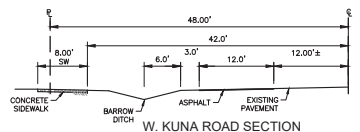
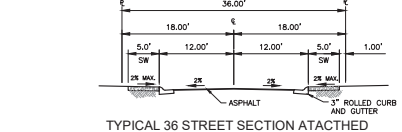
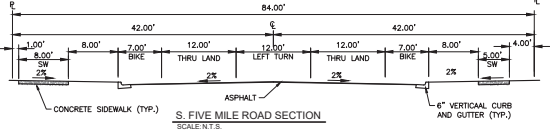
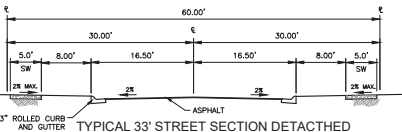


NO.	DESCRIPTION	DATE

**VALOR WEST SUBDIVISION**  
**KUNA, IDAHO**  
 EXISTING AND PROPOSED CONDITIONS

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 PER PROJECT #: 10-28-009  
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 INCH SCALE ACCORDINGLY  
 LAST UPDATED: 6-13-2022

SHEET NUMBER:  
**PP-07**



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J-U-B ENGINEERS, INC.  
 2760 W. Excursion Lane  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com



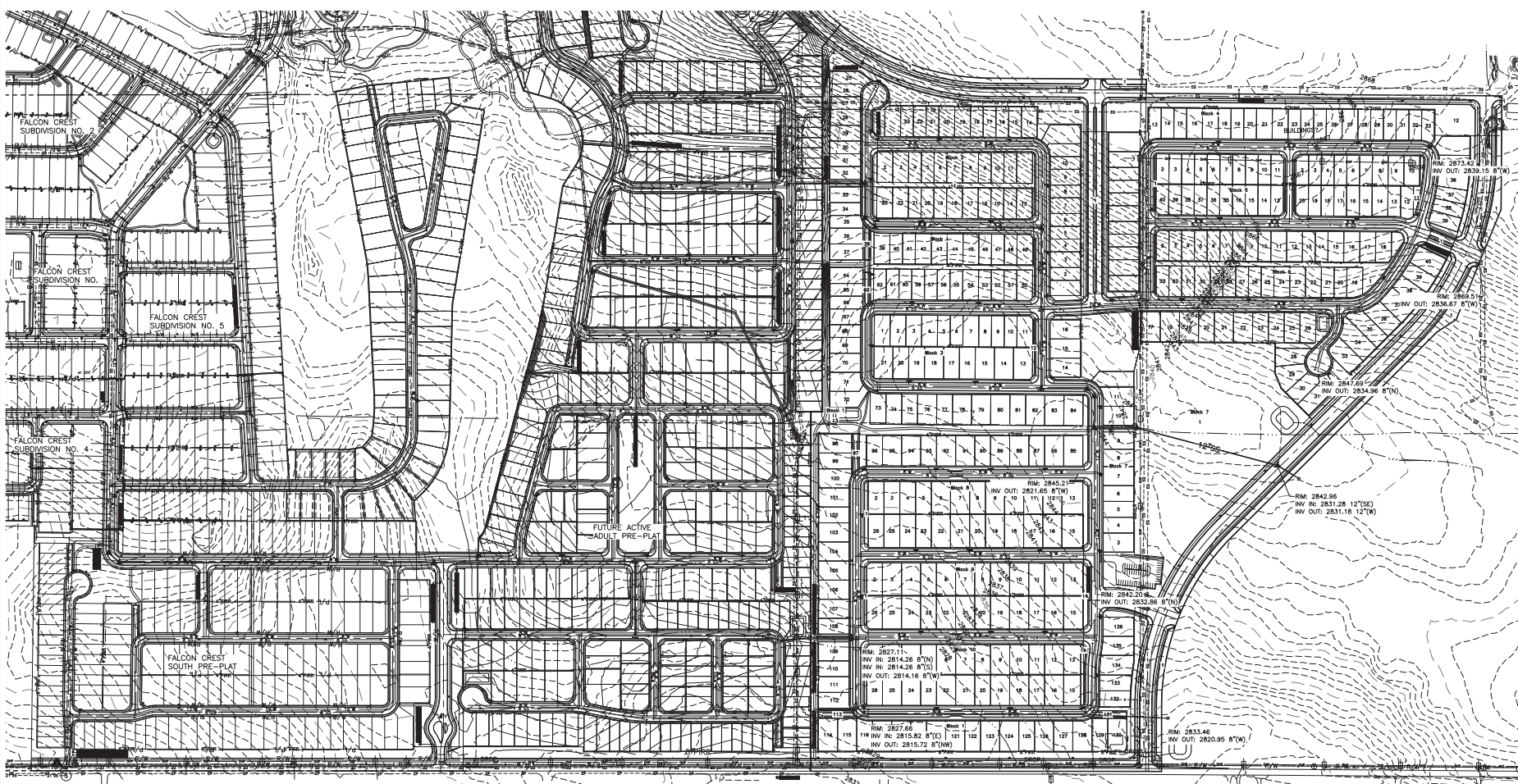
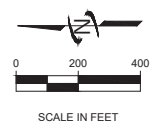
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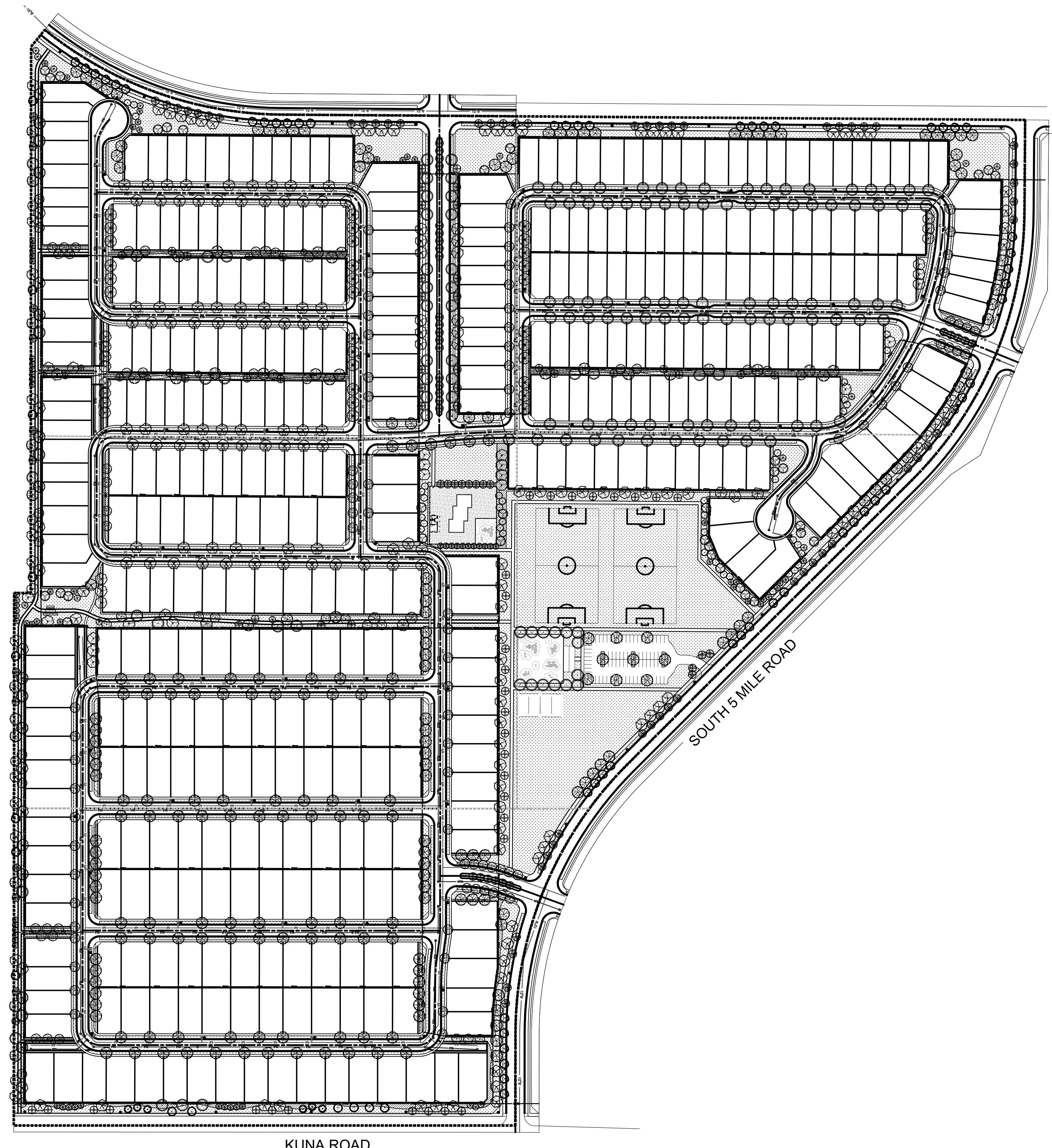
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VALOR WEST SUBDIVISION  
 KUNA, IDAHO  
 UTILITY PLAN

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 DESIGN BY: [Redacted]  
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 SHEET NUMBER:  
**PP-08**



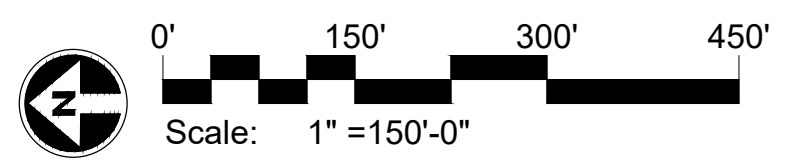
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 SHEET NUMBER:  
**PP-08**



KUNA ROAD

SOUTH 5 MILE ROAD

OVERALL LANDSCAPE PLAN



PRE-PLAT LANDSCAPE PLANS FOR  
**VALOR EAST 1**  
 KUNA, IDAHO  
 2021

DEVELOPER

M3 COMPANIES  
 1087 W. River Street  
 Suite 310  
 Boise, Idaho 83702  
 (208) 939-6263 Fax: 208-939-6752

CIVIL ENGINEERS

J-U-B ENGINEERS, INC.  
 250 S. Beechwood Ave. Suite 201  
 Boise, ID 83709-0944  
 (208) 376-7330 Fax: 208-323-9336

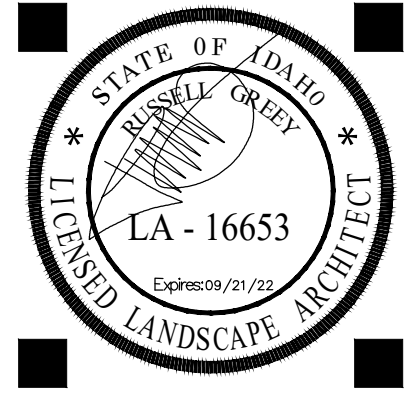
LANDSCAPE ARCHITECT

Greedy | Pickett  
 Landscape Architecture | Community Design  
 7144 E. Stetson Drive, Suite 205  
 Scottsdale, Arizona 85251  
 (480) 609-0009 Fax: (480) 609-0068

SHEET INDEX

Cover Sheet	L0.0
General Notes / Material Schedule	L0.1
Overall Landscape Sheet Layout	L3.0
Planting Plans	L3.1-L3.4
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Planting Specifications	L8.1

GREEDY PICKETT  
 landscape architecture community design  
 7144 E. Stetson Drive, Suite 205  
 Scottsdale, Arizona 85251  
 480.609.0009p 480.609.00068f



**VALOR EAST 1**  
 Pre Plat Landscape Plans  
 KUNA, IDAHO

revisions:  
 project #:  
 MTC085  
 scale:  
 As Shown  
 issued for:  
 REVIEW  
 drawn by:  
 TEAM  
 date:  
 12.14.2021  
 drawing:  
 Overall Landscape Plan

sheet #  
**L0.0**  
 01 of 10  
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**GRADING GENERAL NOTES:**

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
  - FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
  - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
    - TURF, AND ANNUAL AREAS (6" DEPTH).
    - PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

**HARDSCAPE GENERAL NOTES:**

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY MASON STANFIELD AND JUB ENGINEERS, INC. FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY CIVIL ENGINEER. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT, OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE (VARIES), 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" (VARIES) ON CENTER AND EXPANSION JOINTS AT 20'-0" (VARIES) ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

**PLANTING GENERAL NOTES:**

- THE CONTRACTOR SHALL REVIEW PLANTING PLANS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 3 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 3 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS/SEEPAGE BEDS/IDAHO POWER APPURTENANCES/ FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND GROUND COVER SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION, IF APPLICABLE.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION AND 90 DAY MAINTENANCE AFTER SUBSTANTIAL COMPLETION PRIOR TO TURNOVER TO HOME OWNER'S ASSOCIATION (HOA).
- PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

**MATERIAL SCHEDULE:**

DESCRIPTION	SUPPLIER	MODEL / SIZE	COLOR/FINISH	COMMENTS
<b>CONCRETE SIDEWALK</b>				PER JOB ENGINEERING PLANS
	CONTRACTOR		UNCOLORED, MEDIUM BROOM FINISH	
<b>LIMIT OF TURF</b>				SEE DETAIL 1.6/L7.1
-CUT EDGE	CONTRACTOR			
<b>PLANTING AREA</b>				
-MULCH	CONTRACTOR	MULCH	PREMIUM BLEND	
<b>INERT</b>				
-RIVER ROCK	CONTRACTOR	4"-6" SIZE RIVER ROCK	COLOR: BLACK	
<b>TURF AREA</b>				
-SOD	CONTRACTOR	FESCUE SOD		

**GENERAL NOTES:**

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY: MASON STANFIELD AND JUB ENGINEERS, INC. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
  - UTILITY DIG LINE SERVICE OF IDAHO 1-800-342-1585
  - UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
  - OVERHEAD UTILITIES
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES. DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

**GREY PICKETT**  
*landscape architecture* | community design  
 714 e steison drive, suite 205  
 scottsdale, arizona 85251  
 480.609.0009p 480.609.00068f



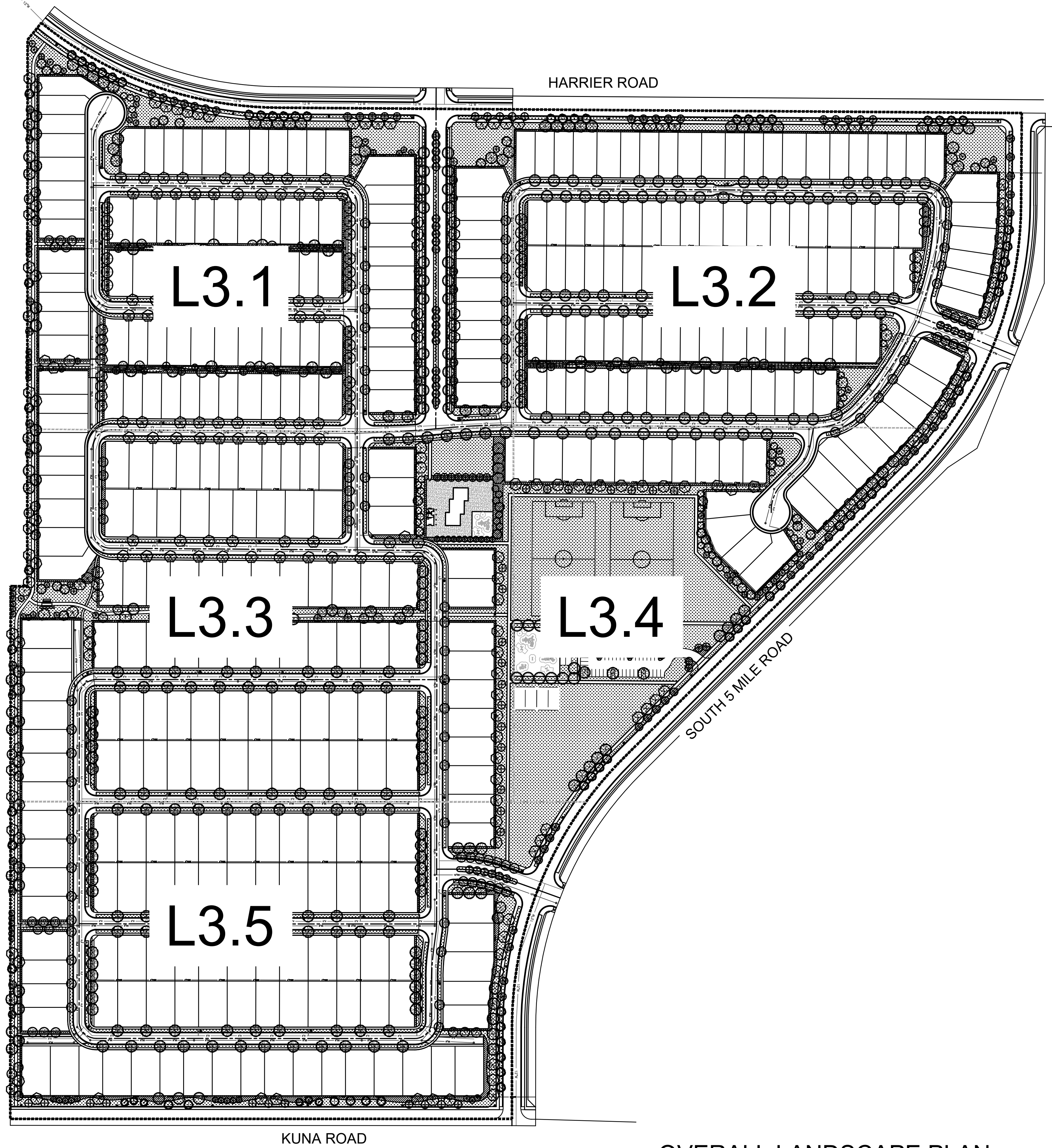
**VALOR EAST 1**  
 Pre Plat Landscape Plans  
 KUNA, IDAHO

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 General Notes

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**PLANT MATERIALS LEGEND**

Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2' B&B	65	Mult
	<i>Cornus florida</i> 'Cloud 9' Flowering Dogwood	2' B&B	21	Mult
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2' B&B	6	Standard
	<i>Pyrus calleryana</i> 'Chanticleer' Chanticleer Pear	2' B&B	179	Standard
<b>Class II Trees</b>				
	<i>Acer truncatum</i> x Norwegian sunset Norwegian Sunset Maple	2' B&B	262	Standard
	<i>Acer truncatum</i> 'Pacific Sunset' Pacific Sunset Maple	2' B&B	152	Standard
	<i>Betula nigra</i> 'Heritage' Heritage Birch	2' Cal.	29	Standard
	<i>Ginkgo biloba</i> 'Autumn Gold' Autumn Gold	2' B&B	176	Standard
	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster' Shademaster Honey Locust	2' B&B	38	Standard
	<i>Tilia americana</i> 'Little Leaf' Little leaf Linden	2' B&B	136	Standard
<b>Conifer Trees - Evergreen Trees</b>				
	<i>Cedrus deodora</i> Karl Ficks Karl Ficks Pine	6-8' HT. B&B	38	
	<i>Pinus flexilis</i> 'Vanderwolf's' Vanderwolf's Pine	6-8' HT. B&B	77	
	<i>Pinus sylvestris</i> Scotch Pine	6-8' HT. B&B	33	

Sym.	Plant Name	Size	Qty.	Remarks
<b>Shrubs</b>				
	<i>Berberis thunbergii</i> 'Gentry' Royal Burgundy Barberry	5 gal.		
	<i>Buddleja davidii</i> 'Black Knight' Black Knight Butterfly Bush	5 gal.		
	<i>Buddleja x putterlickii</i> 'Miss Molly' Miss Molly Butterfly Bush	5 gal.		
	<i>Caragana x elaeagnensis</i> 'Dark Knight' Dark Knight Bluebeard	5 gal.		
	<i>Cornus alba</i> 'Baillibois' Ivory Halo Dogwood	5 gal.		
	<i>Cornus sericea</i> 'Kelsey' Kelsey's Dwarf Red-Osier Dogwood	5 gal.		
	<i>Eonymus fortunei</i> 'Blandy' Blandy Euonymus	5 gal.		
	<i>Eonymus fortunei</i> 'Emerald 'n Gold' Emerald & Gold Euonymus	5 gal.		
	<i>Eonymus japonicus</i> 'Aureo-marginatus' Golden Euonymus	5 gal.		
	<i>Eonymus japonicus</i> microphyllus Boxleaf Euonymus	5 gal.		
	<i>Eonymus kiuschiensis</i> 'Manhattan' Manhattan Euonymus	5 gal.		
	<i>Forsythia x intermedia</i> 'Spring Glory' Spring Glory Forsythia	5 gal.		
	<i>Juniperus x pfitzeriana</i> 'Miss Julie' Miss Julie Juniper	5 gal.		
	<i>Perovskia atriplicifolia</i> Russian Sage	5 gal.		
	<i>Phlox x fraseri</i> Phlox	5 gal.		
	<i>Physocarpus opulifolius</i> Summer Wine Ninebark	5 gal.		
	<i>Prunus x cistena</i> Cistena Plum	5 gal.		
	<i>Rosa x 'Noble'</i> Noble Wild Rose	5 gal.		
	<i>Rosa x 'Noble'</i> Noble Wild Rose	5 gal.		
	<i>Rosa x 'Noelma'</i> Flower Carpet In Red Rose	5 gal.		
	<i>Rosa x 'Noelma'</i> Flower Carpet Yellow Rose	5 gal.		
	<i>Spiraea x humboldtiana</i> 'Goldflame' Gold Flame Spirea	5 gal.		
	<i>Viburnum x barlowii</i> Burkwood Viburnum	5 gal.		
	<i>Viburnum opulus</i> 'Roseum' Common Snowball Viburnum	5 gal.		

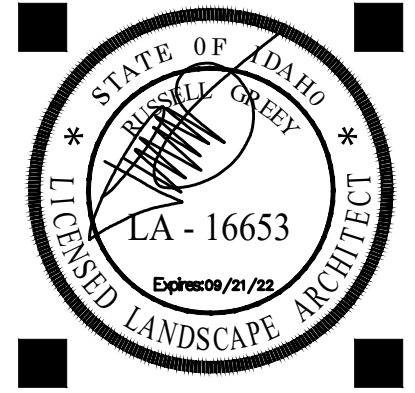
Sym.	Plant Name	Size	Qty.	Remarks
<b>Groundcovers</b>				
	<i>Arctostaphylos uva-ursi</i> Kernland	3 gal.		
	<i>Juniperus horizontalis</i> 'Wiltzii' Blue Rug Juniper	3 gal.		
	<i>Cerastium tomentosum</i> Snow in Summer	3 gal.		
	<i>Taxus cuspidata</i> 'Masoko' Emerald Spreader Japanese Yew	3 gal.		
	<i>Teucrium chamaedrys</i> Germander	3 gal.		

Sym.	Plant Name	Size	Qty.	Remarks
<b>Grasses</b>				
	<i>Helictotrichon sempervirens</i> Blue Cat grass	5 gal.		
	<i>Miscanthus sinensis</i> 'Gracillimus' Maiden Grass	5 gal.		

Sym.	Plant Name	Size	Qty.	Remarks
<b>Perennials</b>				
	<i>Coreopsis</i> 'Zagreb' Zagreb Coreopsis	3 gal.		
	<i>Hemerocallis</i> 'Happy Returns' Daylily Happy Returns	3 gal.		
	<i>Lavandula angustifolia</i> 'Munstead' Lavender Munstead	3 gal.		
	<i>Rudbeckia fulgida</i> var. <i>sillimanii</i> 'Goldstrum' Goldstrum Black-eyed Susan	3 gal.		
	<i>Sedum spectabile</i> 'Autumn Joy' Autumn Joy Stonecrop	3 gal.		
	<i>Veronica spicata</i> 'Red Fox' Red Fox Veronica	3 gal.		

Sym.	Description
	LAWN: FESCUE SOD
<b>INERTS</b>	
	LIMIT OF TURF
	BARK MULCH
	PREMIUM BLEND

GREY PICKETT  
 landscape architecture community design  
 7144 e steinon drive, suite 205  
 scottsdale, arizona 85251  
 480.609.0099 480.609.0068

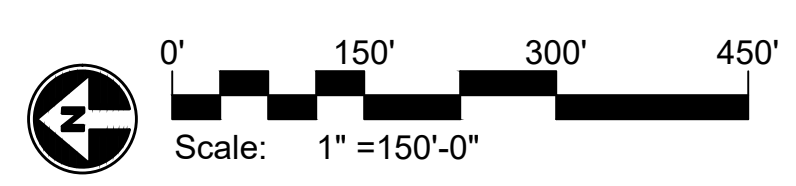


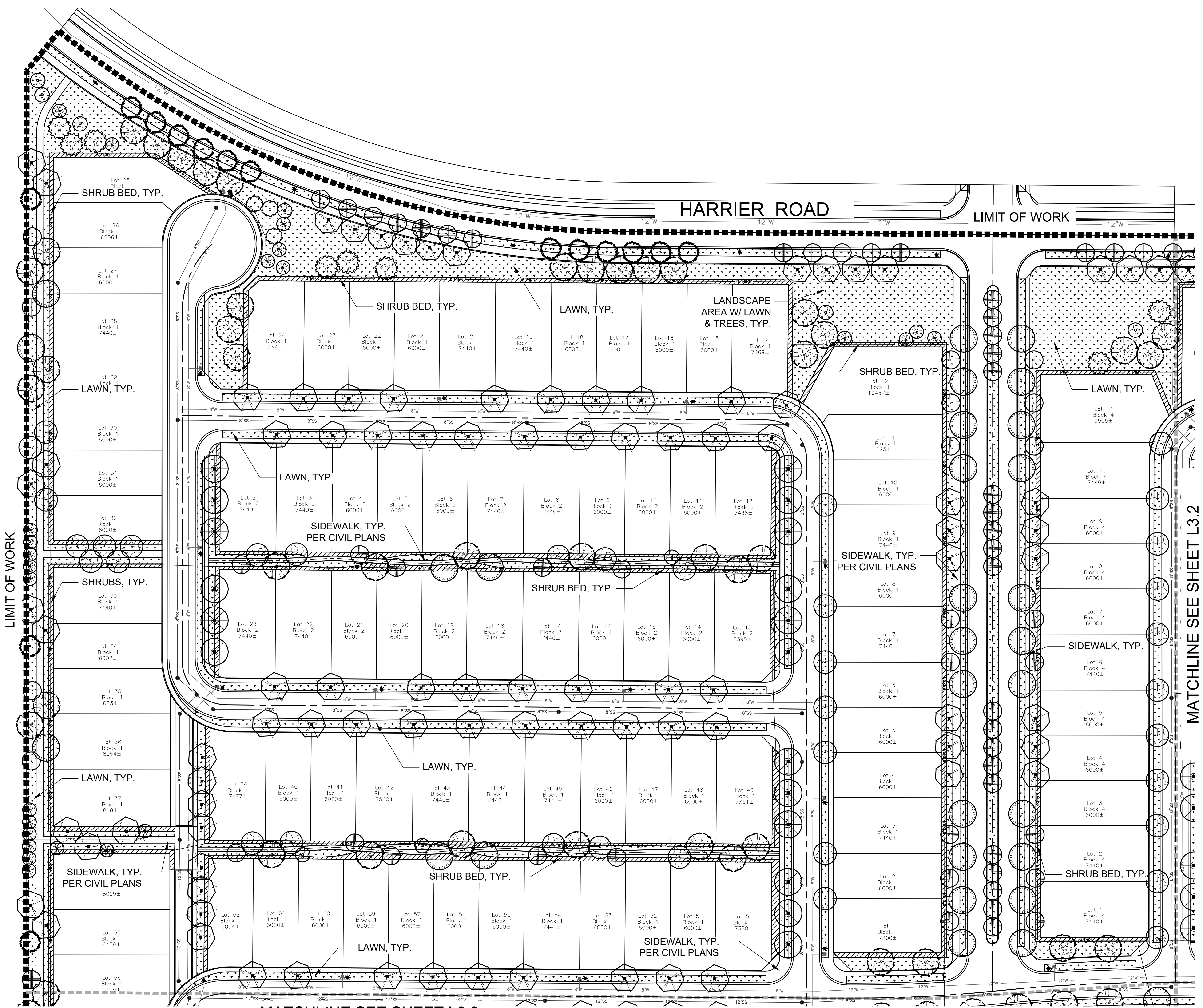
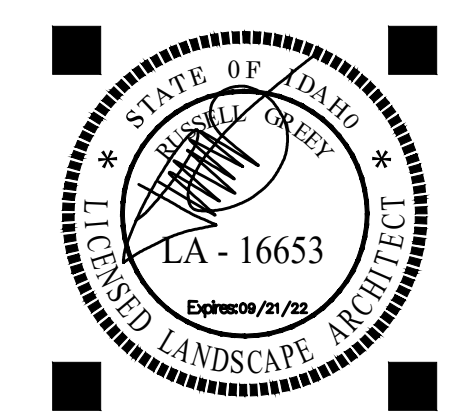
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 Pre Plat Landscape Plans  
 KUNA, IDAHO

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 REVIEW  
 drawn by:  
 TEAM  
 date:  
 12.14.2021  
 drawing:  
 Overall Landscape Plan

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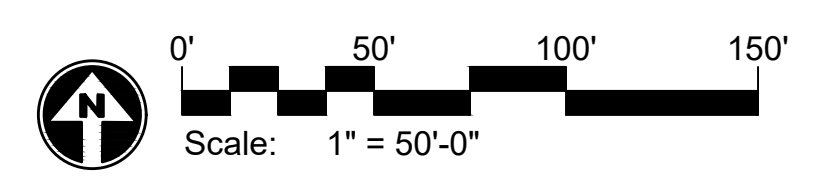
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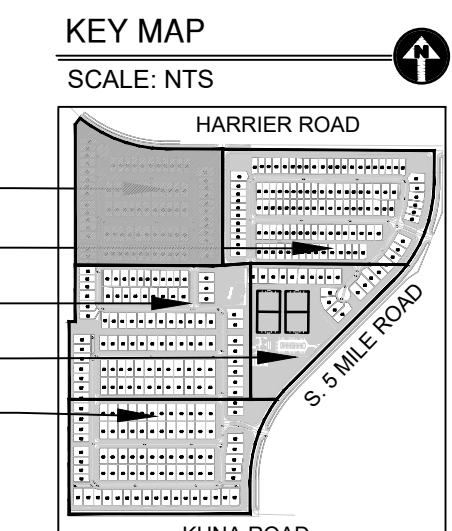


MATCHLINE SEE SHEET L3.3

PLANTING PLAN - L3.1



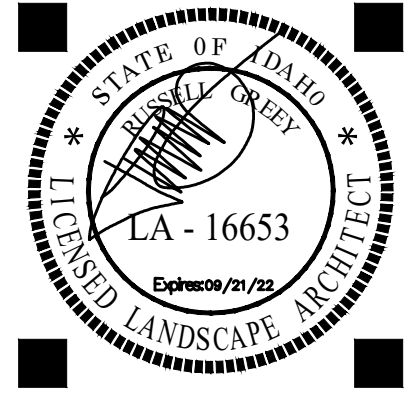
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- L3.2
- L3.3
- L3.4
- L3.5



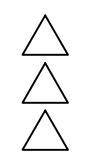
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 date: 12.14.2021  
 drawing: Planting Plan  
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**L3.1**  
 04 of 10

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 date: 12.14.2021  
 drawing: Planting Plan

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**L3.2**  
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HARRIER ROAD

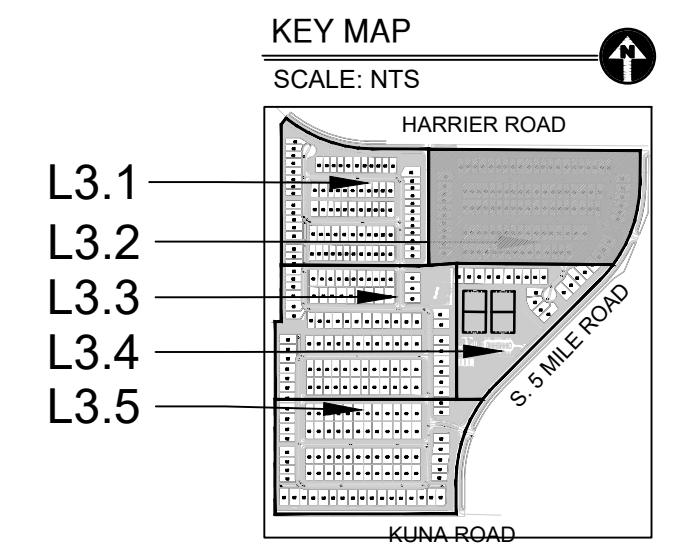
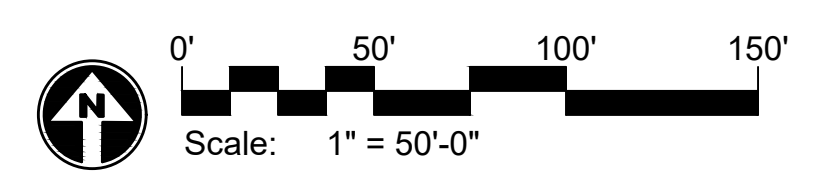
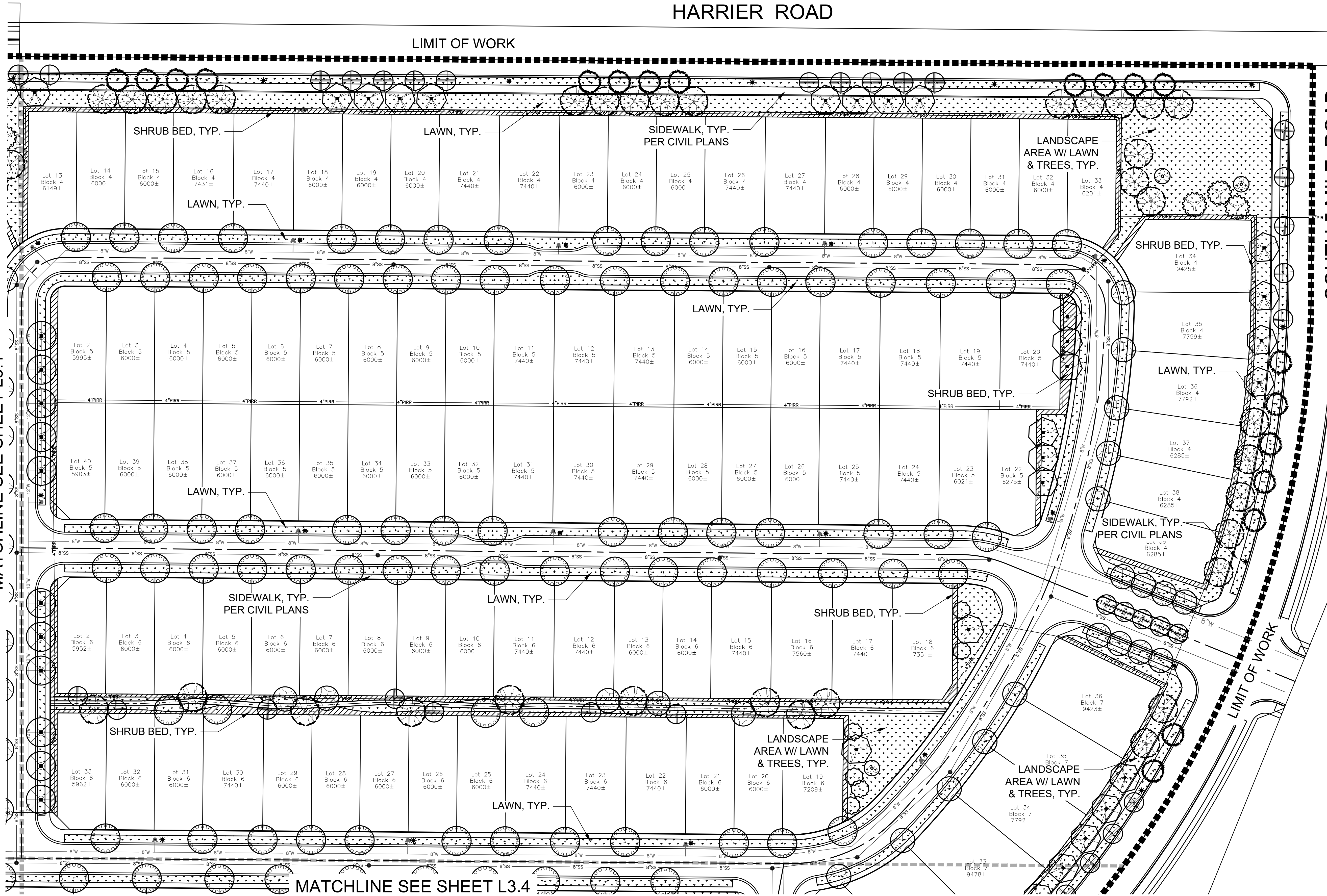
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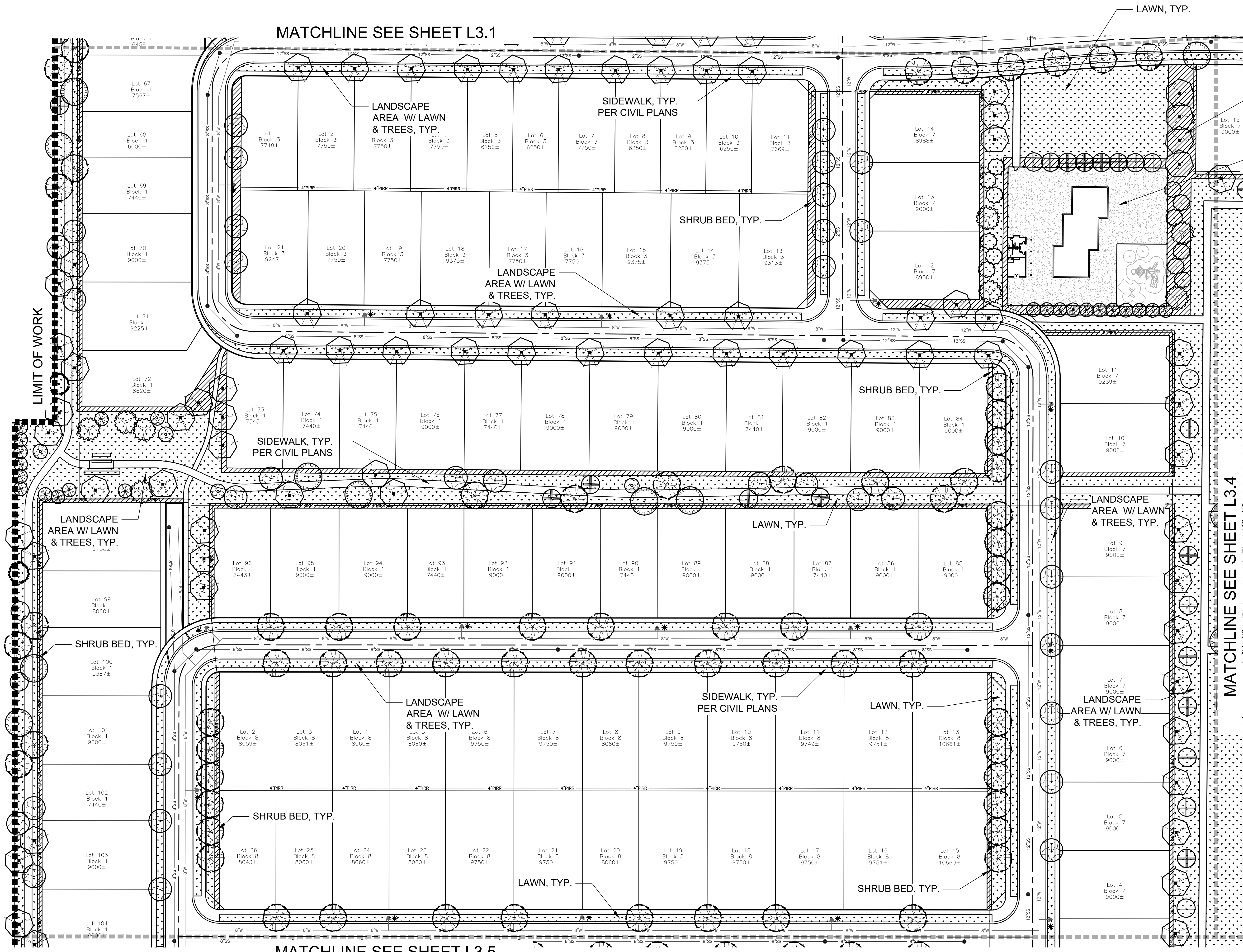
SOUTH 5 MILE ROAD

MATCHLINE SEE SHEET L3.1

MATCHLINE SEE SHEET L3.4

PLANTING PLAN - L3.2





LAWN, TYP.

SHRUB BED, TYP.

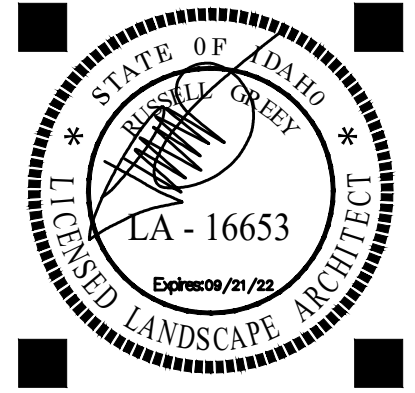
PRIVATE AMENITY AREA

- POOL
- RESTROOMS
- KIDS PLAY AREA
- SEATING

LIMIT OF WORK

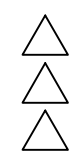
MATCHLINE SEE SHEET L3.4

GREY PICKETT  
landscape architecture community design  
7144 e stinson drive, suite 205  
scottsdale, arizona 85251  
480.609.0009p 480.609.0006f



VALOR  
EAST 1  
Pre Plat Landscape Plans  
KUNA, IDAHO

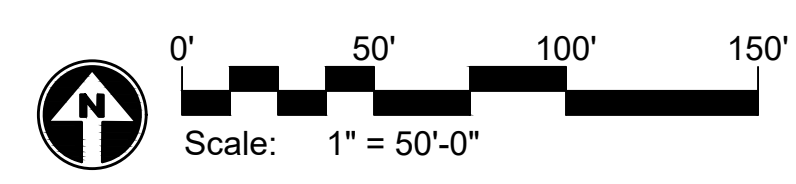
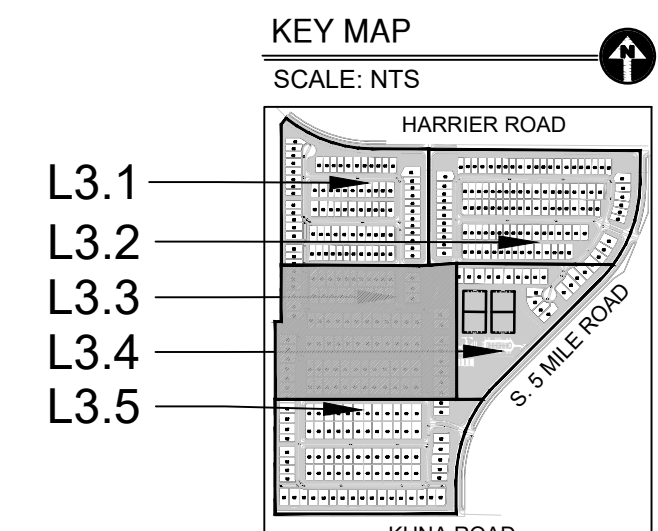
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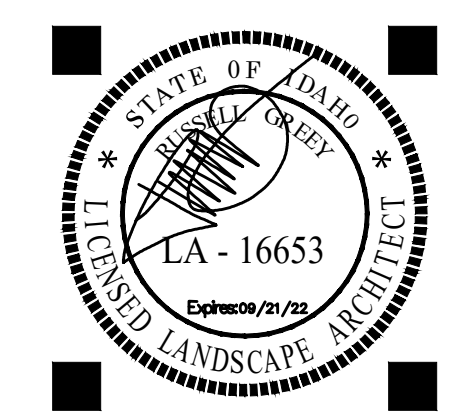
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drawing: Planting Plan

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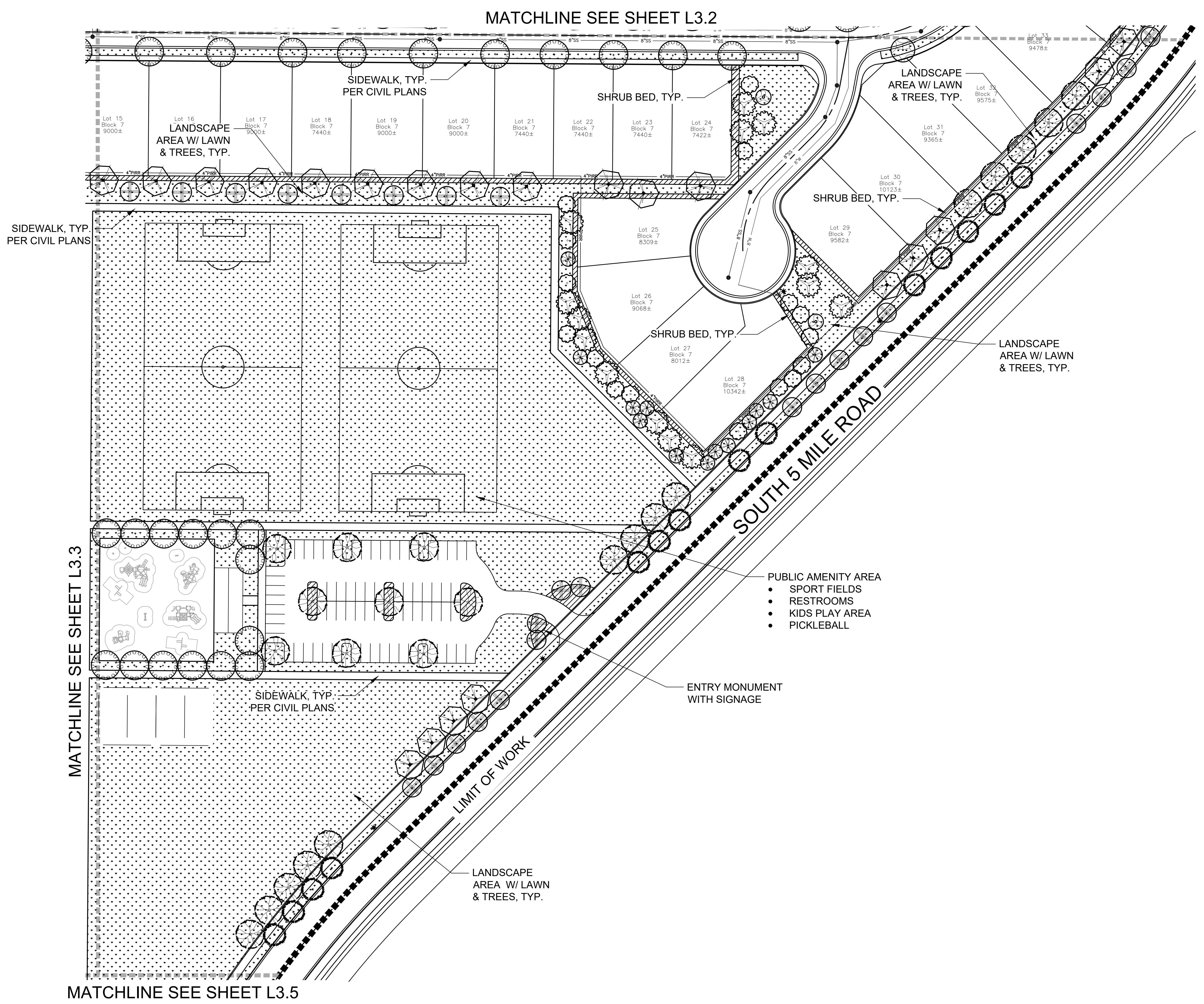
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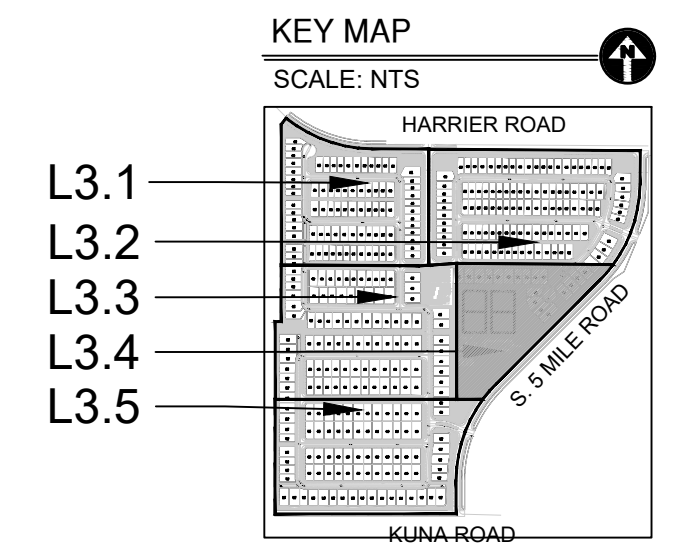
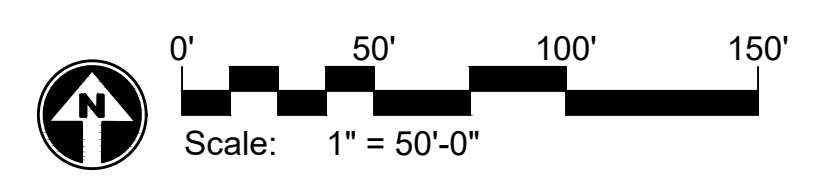
PLANTING PLAN - L3.3



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 drawing: Planting Plan  
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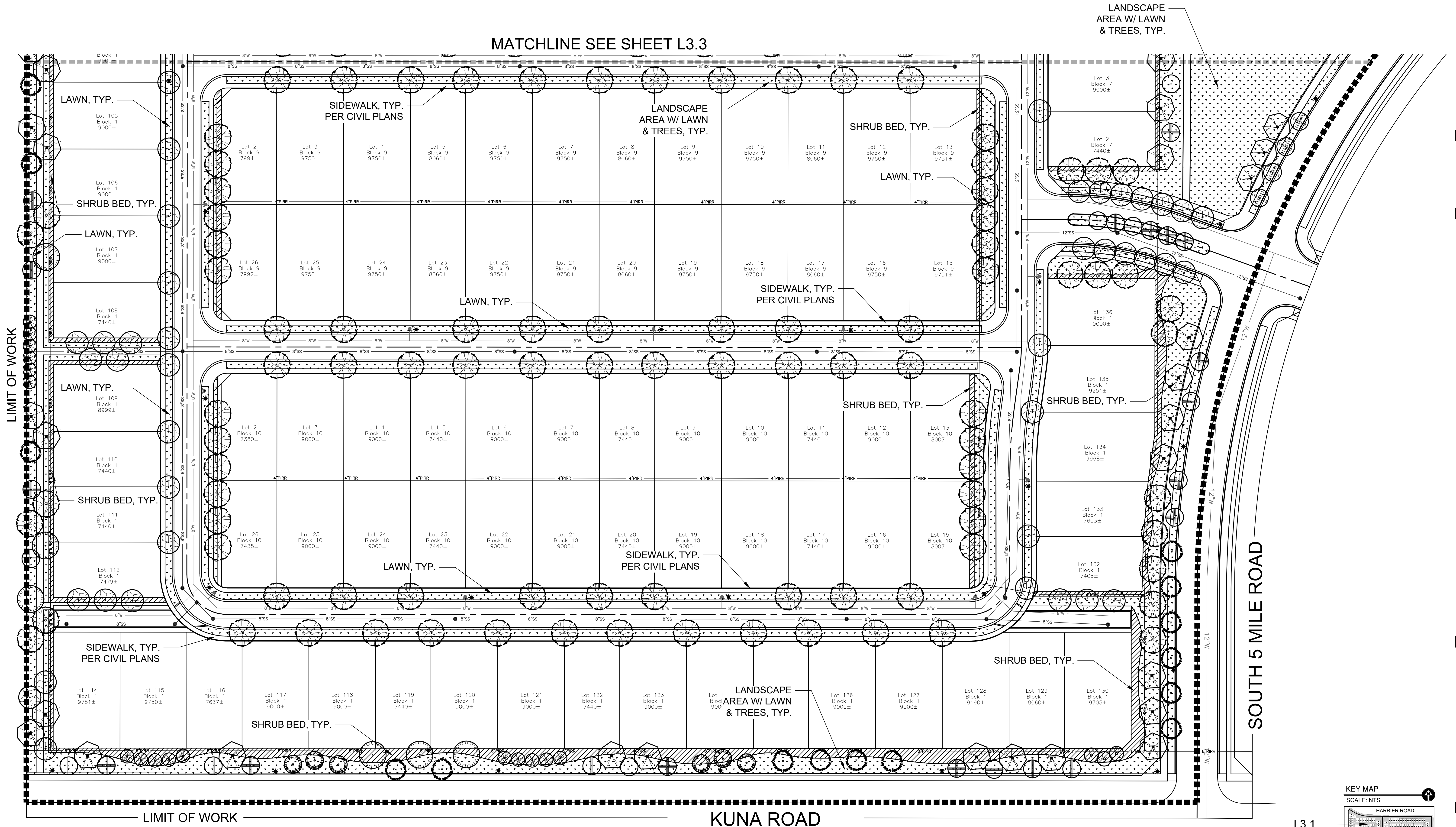


**PLANTING PLAN - L3.4**

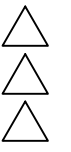




MATCHLINE SEE SHEET L3.3



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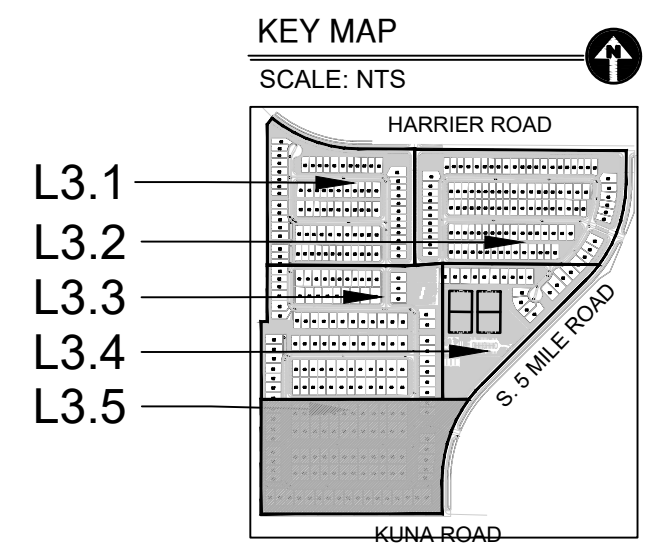
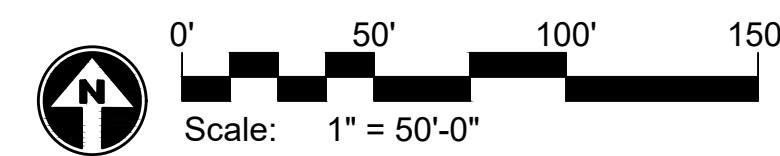


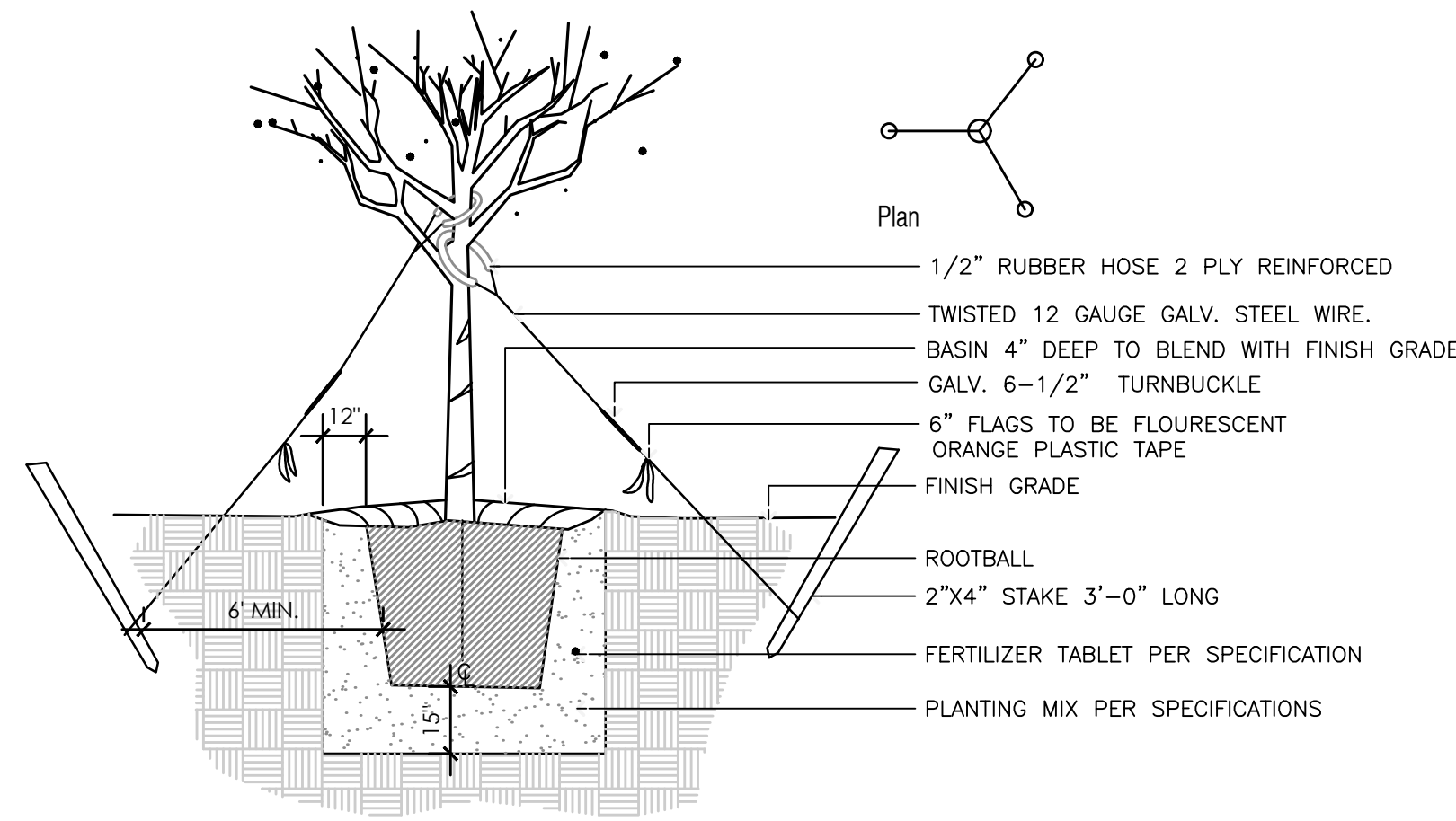
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Planting Plan

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L3.5  
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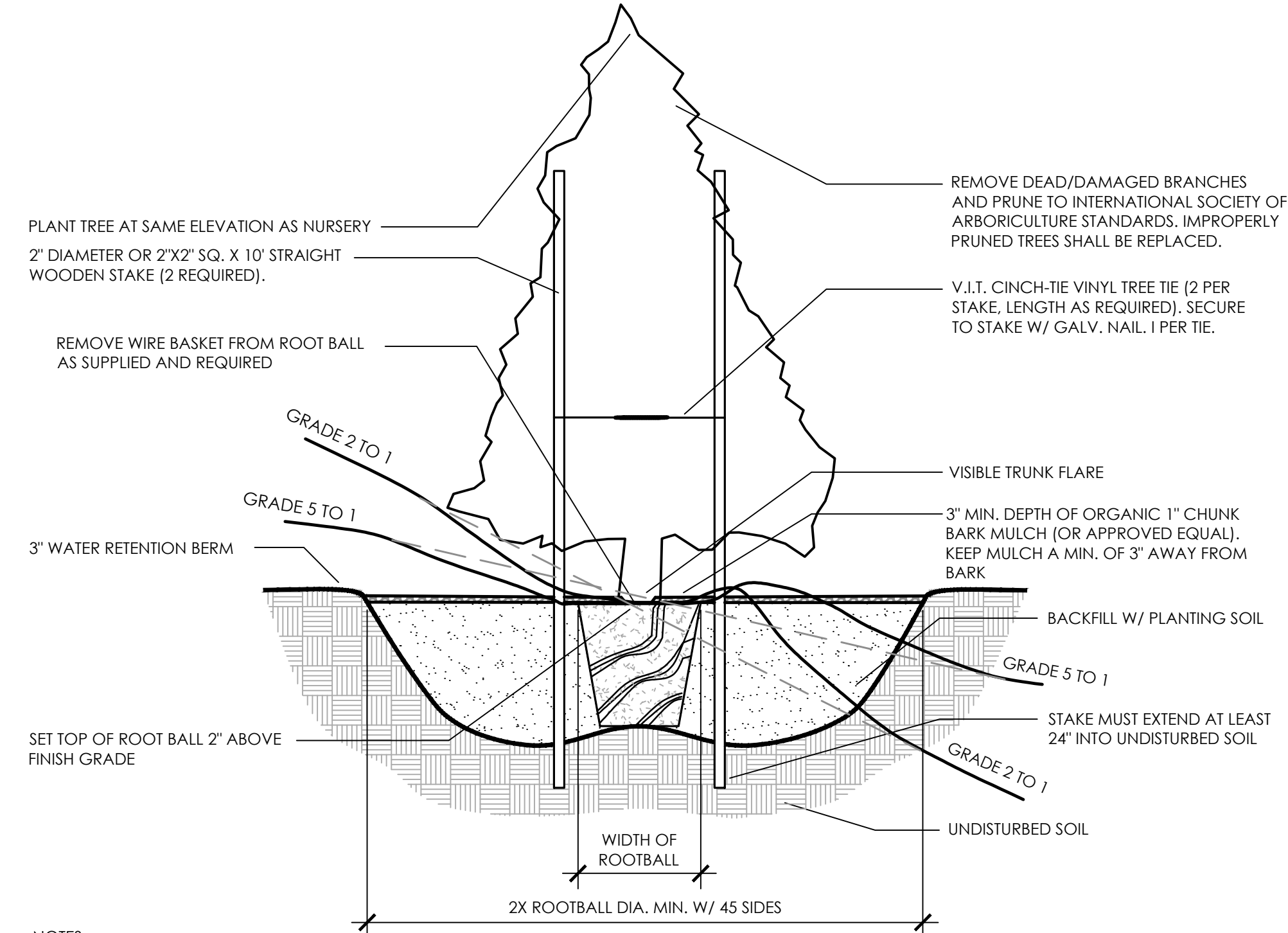
PLANTING PLAN - L3.5





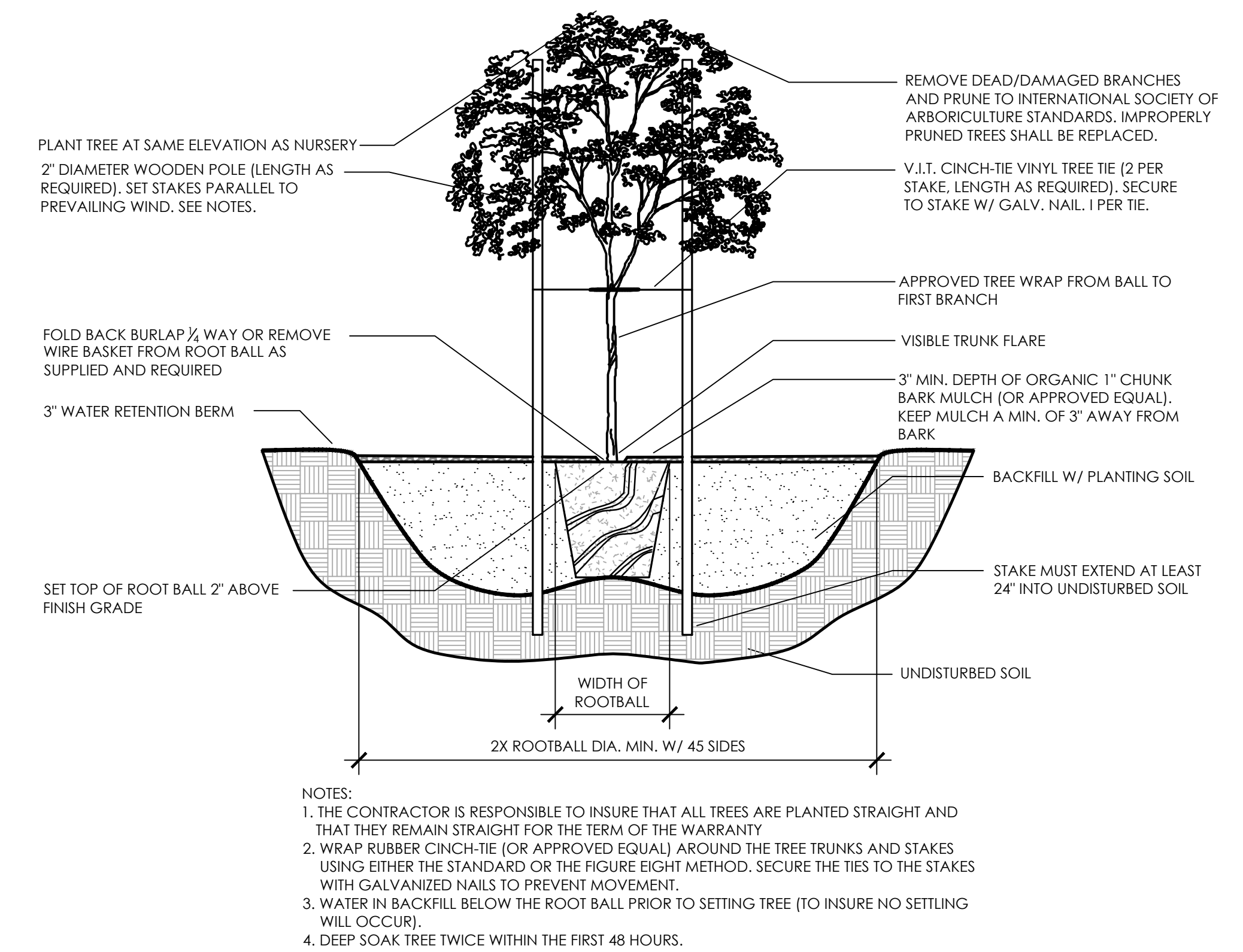
### 1.3 Tree Guying Detail

Scale: N.T.S.



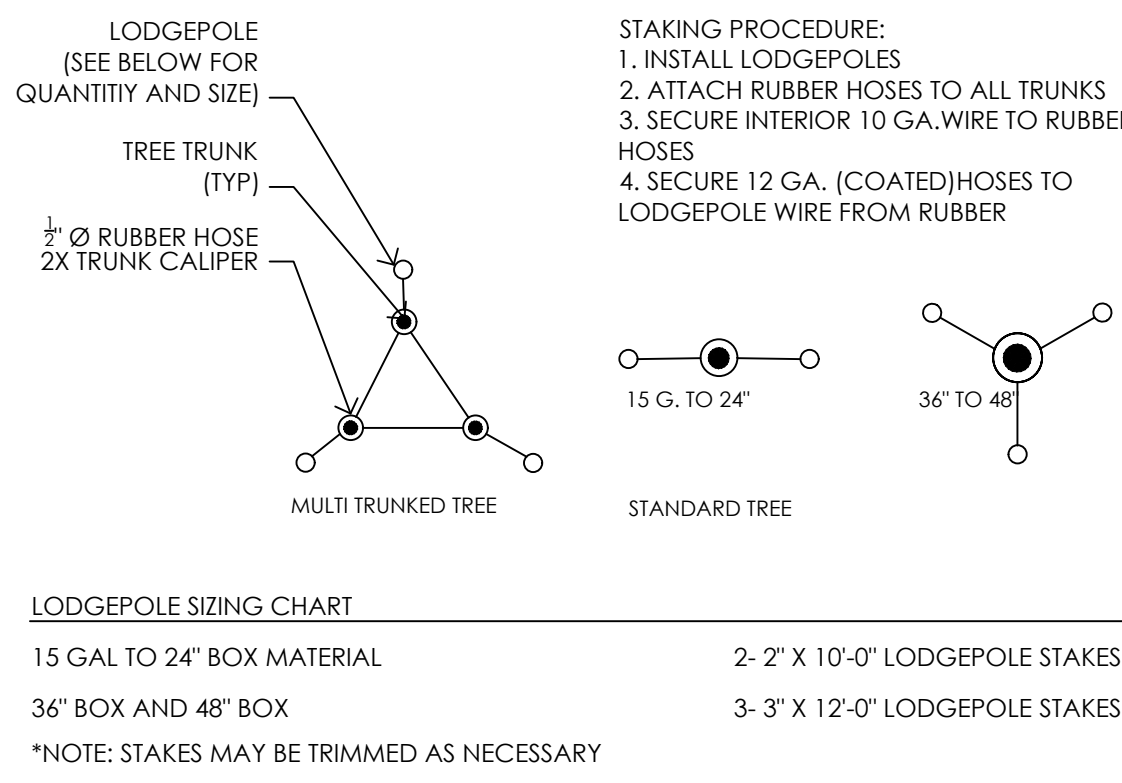
### 1.2 Evergreen Tree Planting Detail

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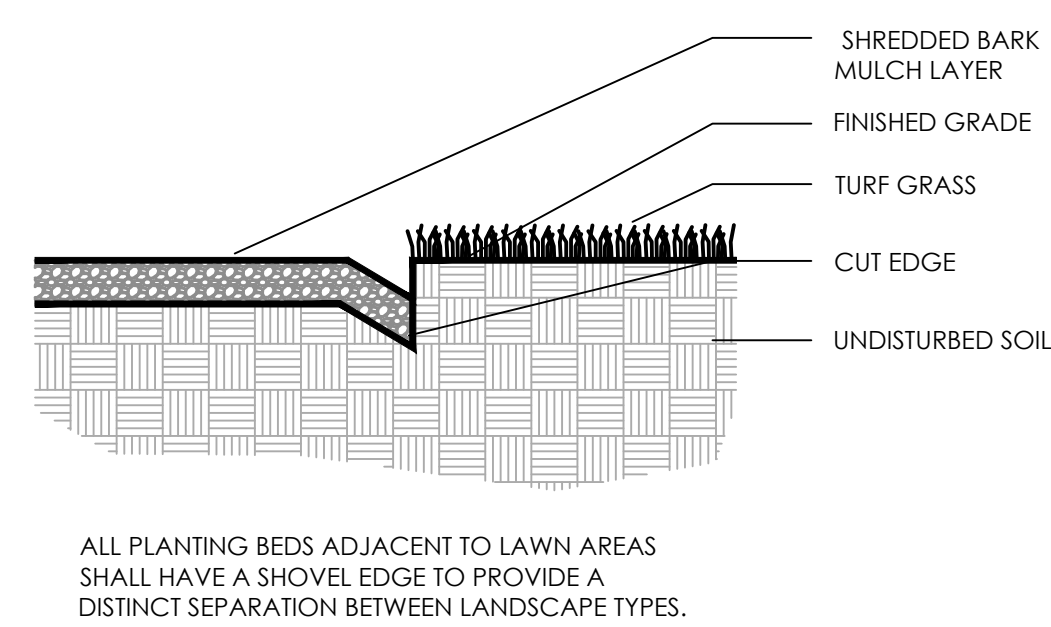
### 1.1 Deciduous Tree Planting Detail

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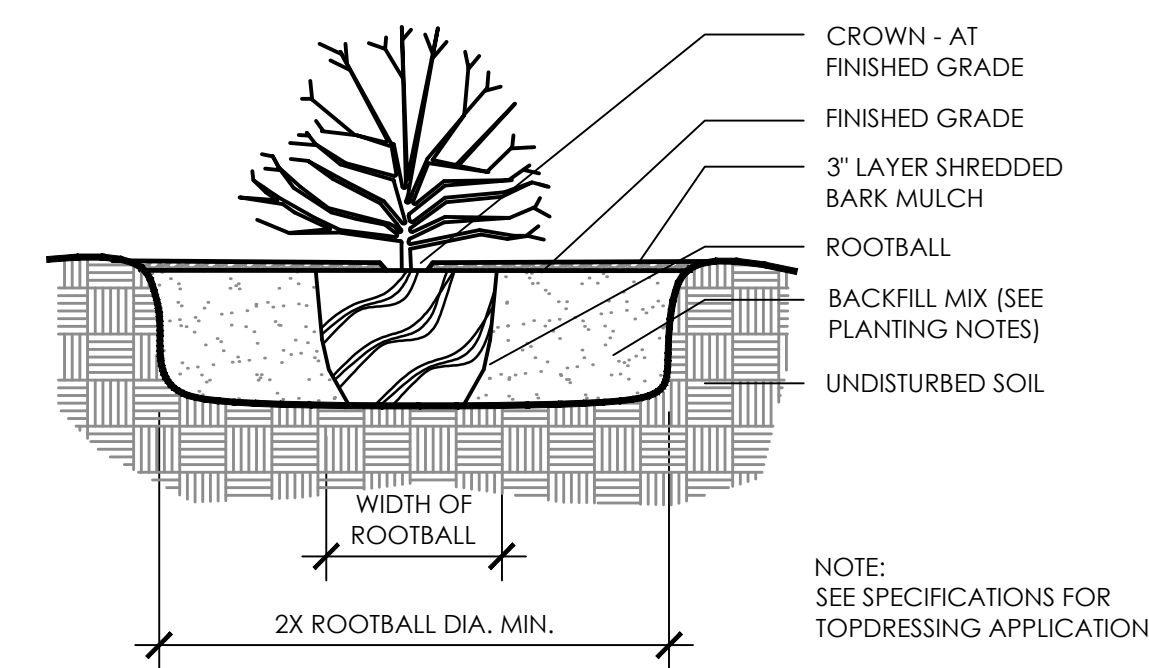
### 1.7 Tree Staking Diagram

Scale: N.T.S.



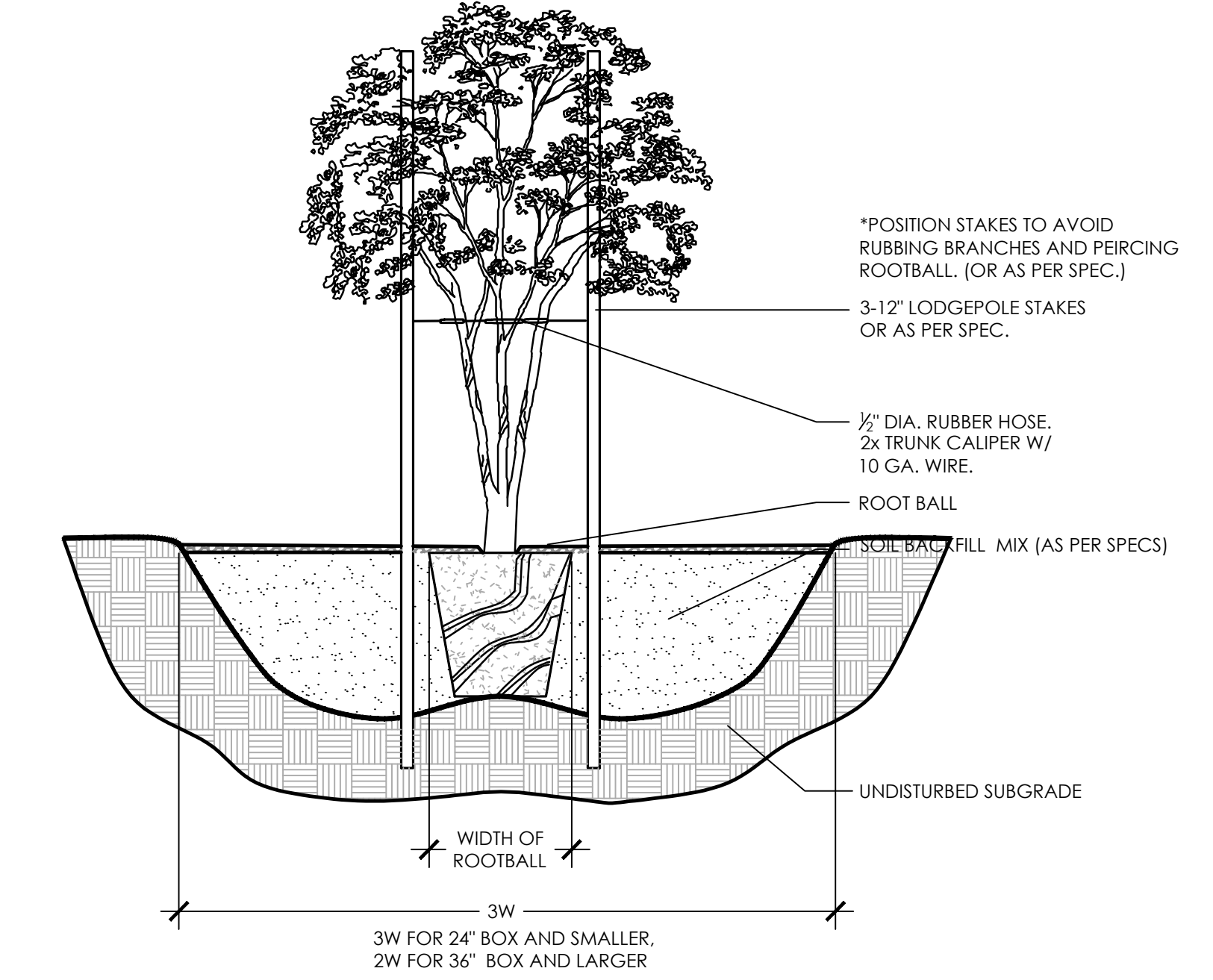
### 1.6 Cut Edge Detail

Scale: N.T.S.



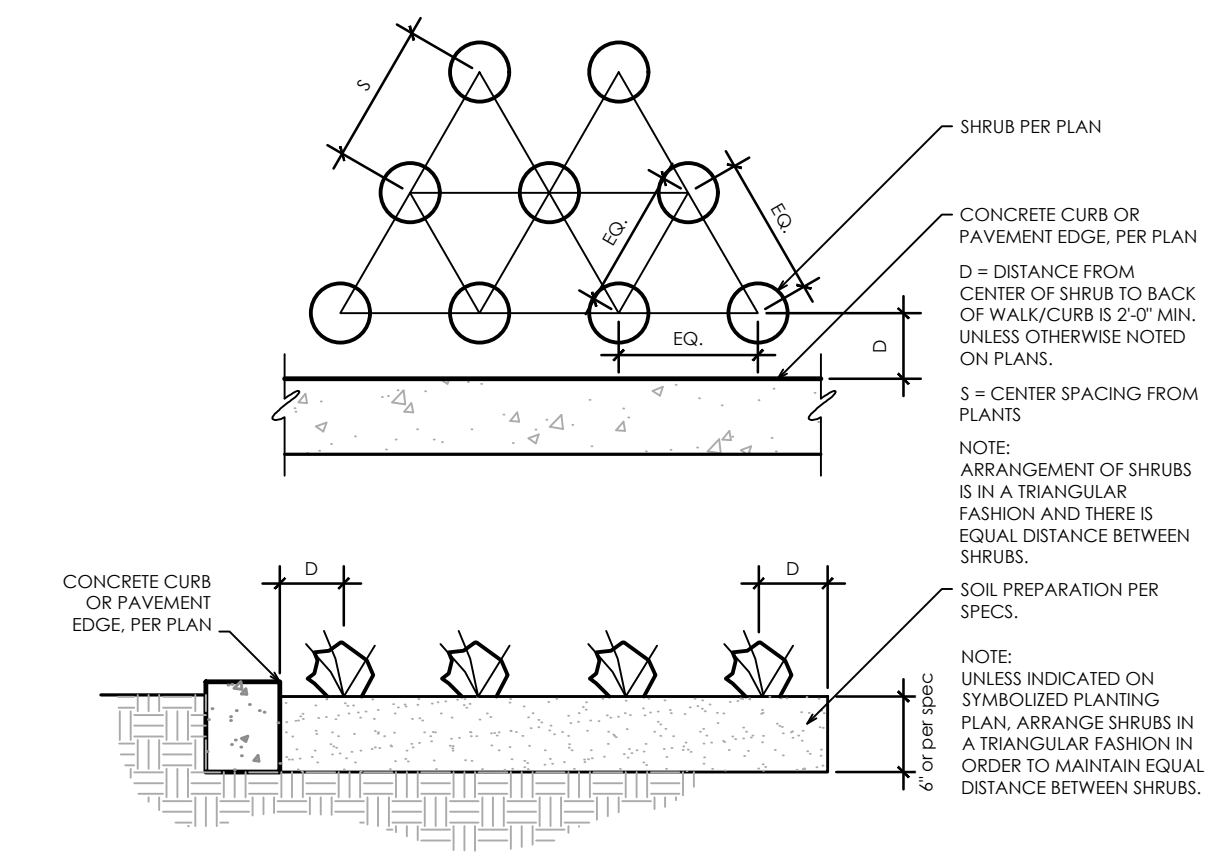
### 1.5 Shrub Planting Detail

Scale: N.T.S.



### 1.4 Tree Staking Detail

Scale: N.T.S.



### 1.8 PLANT SPACING DETAIL

Scale: 1/4" = 1'-0"



# SECTION - 02900 LANDSCAPE

## PART 1 - GENERAL

### 1.01 WORK INCLUDED

\*Landscape finish grading.

\* Soil preparation

\*Tree supports

\*Planting

\*Watering

\*Maintenance

Definitions:

Owner's representative - an authorized agent determined by owner to act on their behalf, in some cases the Landscape Architect may be the owner representative as outlined in these specs.

Plants - all shrubs other than trees and turf.

Plant Material - all trees, shrubs, ground cover, grasses, and other plants.

### 1.02 RELATED WORK

Contractor : Minimum 5 years experience in supply and installation of landscape materials. A Foreman with a minimum of 5 years experience in related work shall be on site at all times.

### 1.03 SOURCE QUALITY CONTROL

Provide certificates of inspection for all materials as required by law or regulation.

Package standard materials with manufacturers certified analysis. Provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Chemists for all other material.

Provide trees and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, undamaged, vigorous stock grown under climatic conditions similar to conditions at project site and free of disease, insects, eggs, larvae and defects such as sun-scald, knots, injuries, abrasions or disfigurements. Provide trees and shrubs of the sizes indicated. Trees and shrubs of sizes larger than those indicated may be used provided roots, root ball, staking and planting pits are increased proportionately.

### 1.04 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

### 1.05 SAMPLES

Submit the following material samples to Owner's Representative a minimum of 48 hours prior to start of work.

- Topsoil for backfill mix (trees and shrubs).
- Wood Shavings/Mulch.
- Tree supports.
- Reserved.
- Boulders.

The Owner's Representative reserves the right to take and analyze samples of materials for conformity to Specification at any time. Furnish samples upon request by Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the contractors additional expense.

Submit samples of decomposed granite for approval of gradation and color. Sample shall be representative of variations within size and color to be provided.

### 1.06 PRODUCT DATA

Submit to Owner's Representative a minimum of 48 hours prior to start of work manufacturers comprehensive product description, including specifications and installation instructions.

### 1.07 CERTIFICATES AND TEST REPORTS

Provide and pay for all materials testing. Testing agency shall be acceptable to the Landscape Architect. Submit to Owner's Representative a minimum of 48 hours prior to start of work 2 copies of certificates of inspection as required by governmental authorities, and manufacturers' vendors certified analysis for soil amendments, fertilizer materials, and chemicals. Submit other data substantiation that materials comply with specified requirements. Certificates are required to determine the quality and quantity of all specified soil amendments.

Materials certification to be submitted include, but are not limited to: Topsoil source and nutrient analysis, mulch, fertilizers/soil amendments/chemicals, Test representative material samples proposed for use. Provide the following data:

- Topsoil and planting backfill.
- Soil PH.
- Particle size, percentage soil texture.
- Percentage organic material.
- Percolation rate.
- Nutrient level analysis.
- All macro, secondary and micro nutrient salinity.
- ESP.
- Free lime.

Recommendations on type and quantity of amendments required to bring levels into acceptable ranges as detailed in Part 2 - Products of Materials of these specifications.

Separate recommendations to be submitted for each crop. Crop to be identified as:

- Irrigated trees and shrubs.
- Turf.

### 1.08 MAINTENANCE DATA

Submit to Owner's Representative 2 copies of typewritten instructions, prior to expiration of the initial maintenance period, recommending procedures to be followed by the Owner for the maintenance of landscape work for one full year.

### 1.09 PRODUCT DELIVERY, STORAGE AND HANDLING

Deliver packaged material in containers showing weight, analysis and identification of manufacturer. Protect materials from deterioration at all times.

Provide protective covers to plant life and trees during delivery. Do not prune trees prior to delivery. Do not bend-lie trees or shrubs in such a manner as to cause damage or destroy shape. Deliver materials after preparation for planting have been completed. Plant immediately. If planting is delayed for more than 6 hours after delivery, set plant material in shade, protect from weather and mechanical damage and keep roots moist.

Do not remove container grown stock including ground cover, from containers until planting time.

### 1.10 SITE CONDITIONS

Determine location of underground utilities. Execute work as required to prevent damage.

Maintain grade stakes set by others until directed otherwise.

Protect all existing plant life not scheduled for removal. If any plant material that is to remain is damaged, the Contractor, at his expense, will pay for a replacement plant of the same size and species (to be approved by Owner's Representative).

Protect existing utilities, paving and other facilities from damage during landscaping operation.

Coordinate with other contractors.

### 1.11 WARRANTY

Submit warranty to Owner's Representative. All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.

Trees:

Warrant that trees will be alive and in good health for a period of 1 year after acceptance except for defects resulting from neglect by Owner, abuse or damage by others.

Owner must follow Contractors maintenance schedule and provide current maintenance log to Owner's Representative.

Remove and replace dead, unhealthy or girdled trees, that lose original form and size during warranty period with material equal to that specified. Replace any material which does not meet requirements within fifteen days of notification. All replacement trees shall be subject to an additional one year maintenance period.

Shrubs and Other Plantings:

Guarantee all other planting will be alive and in satisfactory condition for a period of 1 year from date of acceptance or will be replaced at no additional cost to the Owner. All plant material shall be maintained in a healthy, sturdy condition during the warranty period by the Contractor.

All replacement plants, including shrubs, groundcovers, grasses, vines and perennials shall be subject to an additional 1 year maintenance period.

## PART 2 - PRODUCTS AND MATERIALS

### 2.01 FILL MATERIALS

Provide dry, loose material for fill, backfill, planting backfill and topsoil for planter beds. Frozen or muddy soils are not acceptable. Salts not to exceed 1500 ppm, and material shall be free of debris, noxious weeds, ingredients or objects detrimental to healthy plant growth. Topsoil: Screened, fertile, friable, from well drained arable land, free of nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth; contents as follows:

- Silt: 20-45 %
- Clay: 15-20 %
- Sand: 30-60 %
- Organic Material (natural or otherwise): 2 % minimum
- pH: 7.0-8.3
- Soluble salts: 1,500 ppm.
- Nutrients: enough to bring levels up to acceptable plant growth.

Percolation rate shall be between 3 to 4 inches per hour.

Existing top soil may be used provided it meets these requirements.

### 2.02 COMMERCIAL GRADE FERTILIZERS

Agri-Sul. Dispersul - use only for sulfur  
Agriculture grade gypsum

### 2.03 SOIL AMENDMENTS

Wood shavings: nitrogen stabilized fir or pine shavings containing 0.75% total nitrogen and 0.1 to 0.15% total iron, and under 60 ppm total manganese; composted, leached and aged for a minimum of 10 to 12 months; pH factor, 4.0 to 4.5. No soil amendments are required for salvaged plant material unless otherwise specified.

### 2.04 TREE SUPPORTS

Tree Stakes: 2" diameter or 2X2" square x 10' straight wooden stake (2 required) for 15 gallon or larger tree. No tree stakes area required for salvaged plant material.

Tree Ties: Provide a minimum of two per tree; V.I.T. Cinch- tie vinyl tree tie (2 per stake, length as required). Secure to stake with galvanized nail, 1 per tree.

Anchors (Deadmen): 2 inch x 4 inch x 3 feet long; construction grade redwood.

Signals (Flags): For guy wires, 1/2 inch diameter, white or orange plastic tubing 5 feet long over each guy wire.

### 2.05 HERBICIDES

Pre-emergent and contact Herbicides:

Fertilize all trees and shrubs with "Agrifarm" planting tablets, 21 gram or approved equal. Quantify per manufacturer's recommendation.

### 2.06 PLANTING MATERIAL

Plant Material: Healthy, shapely and well rooted. Roots shall show no evidence of having been restricted or deformed at any time. All plants shall be representative of their normal species and variety. They shall have normally developed branch systems. Plants shall be free from disfiguring knots, sun scald injuries and abrasions of bark. Plants not meeting these requirements shall be considered defective and shall be replaced immediately. All plants shall be true to name and shall be tagged, one of each variety. All plant material shall be grown in nurseries inspected by the State Department of Agriculture unless otherwise approved by the Owner's Representative.

Provide "Specimen" plants with a special height, shape or character. Tag at the source of supply prior to notifying Landscape Architect for inspection. The Landscape Architect shall inspect selections of source of supply for suitability and adaptability to selected location. When specimen plants cannot be purchased locally, provide sufficient photographs of proposed material for approval.

Plants may be inspected and approved at place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

### 2.07 TURF SOD

As noted on plans.

### 2.08 MULCH

All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1") bark chips. Submit sample for approval.

### 2.09 SEED MIXTURE

All lawn areas shall be seeded with 100% Turf Type Tall Fescue. Immediately after placement of sod, water to saturate sod and top 4" of topsoil, install and seed rate per manufacturer's recommendations.

### 2.10 TREE ROOT BARRIER

Tree root barriers shall be placed adjacent to all trees located in the landscape planter strip and planter islands per the City of Eagle and ACHD standard details. Install per City of Eagle standard detail and manufacturer's recommendations.

## PART 3 - EXECUTION

### 3.01 GENERAL

Install in accordance with the methods, techniques and specifications of each representative manufacturer. If a conflict occurs between manufacturers and these specifications, consult with Owner's Representative for a decision.

Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

### 3.02 BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

Inspect the integrity of all damp-proofing and water-proofing membranes which occur over, on or against any construction to be fully or partially concealed by earthwork prior to the placement of any imported soil, backfill, gravel fill or sub-base.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw. Stake all trees per details.

Correct defects prior to proceeding with the work.

### 3.03 TOPSOIL

All seeded lawn areas shall have 6" of topsoil and all planting beds shall have 12" of topsoil. Topsoil shall be a loose, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 5.5 to 7.0. Topsoil from site shall be used if meeting these standards. Place 3/4" Nu-Earth compost over all landscaped areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs in areas to be sodded and 3" in planting bed areas.

Import additional topsoil only as required to bring planting areas up to finish grade. Spread and cultivate soil so that no settling takes place at any time.

### 3.04 LANDSCAPE FINE GRADING

Allow for the addition of soil amendments, conditioners and any specified top dressing when determining and executing finish grade.

Set finish grade 1-1/2 inches below adjacent paving, curb and headers for shrubs and ground cover beds and areas or as required for installation of mulch or turf sod.

At all planting areas, make entire area smooth and even to finish grade. Cultivate all areas so that there are no bumps or hollows, and the area drains as indicated. Grade and maintain all flow lines, designated or not, to allow free flow of surface water. Cultivate entire area to a depth of 6 inches minimum and remove all rock in excess of 1-1/2 inches diameter, all building rubble, building construction material, waste and any other material that will impair satisfactory growth.

### 3.05 MULCH

### 3.06 HERBICIDE APPLICATION

Apply pre-emergent herbicides in accordance with manufacturer's instructions.

Apply contact herbicides in accordance with manufacturer's recommendations. Prior to application, moisten areas for fourteen days to encourage weed germination and growth. Apply before weeds attain a height of 6 inches. Remove taller weeds manually.

Areas to be landscaped shall be maintained in a weed-free condition at all times during construction and maintenance period.

Do not apply pre-emergent herbicides at locations of revegetation seeding. The contractor shall manually remove invasive weeds within these areas.

### 3.07 TREE SUPPORT

Staked Trees: Stake trees as shown on the drawings within 48-hours of planting.

Tree supports shall be installed to prevent lodging, yet allow for trunk movement. Hoses that encircle trunks shall be large enough to allow for normal growth of the trunk during the first year without girdling.

### 3.08 TREES, SHRUBS, AND VINES

Layout locations with stakes or gypsum. Coordinate with Owner's Representative to assure appropriate location, prior to installation.

Test drainage of plant beds and pits by filling with water. Notify Owner's Representative of areas where water is retained more than 24 hours.

Where rock, underground construction or other detrimental conditions are encountered at plant pits, Owner's Representative may select alternate location.

Do not expose roots to air except during transplanting. Set up of plants at same level when planted as in the container. Cut plant containers on 2 sides without injuring root ball and carefully remove plant. Do not cut container with spade. Damaged plants will be rejected.

Dig pits with perpendicular sides to a minimum of 2 to 3 times the width (see details) of the root ball for containerized trees and shrubs. Dig pits only as deep as the root ball to prevent settling of the tree or shrub.

Place rootball of vines as close to structure or support system as possible. If rootball can't be placed closer than 12" notify Owner's Representative of situation for inspection and remedy.

Tie vines to trellis supports if applicable with green plant tape and remove any staking supplied with plant material.

Planting Mixture: One part wood shavings Two parts excavated soil amended to meet standards in Part 2.

Mix thoroughly outside the hole before start of backfilling.

### 3.09 BACKFILLING

Backfill plant pits and form shallow basin around the plant to hold enough water to saturate the root ball and backfill (only form basins if specified on detail). Water plants immediately after planting and allow backfill to settle in plant pit. Do not raise basin rim above surrounding grade.

Puddle planting mixture when pit is 2/3 full of plant mix. Continue back filling to within 1 inch of surrounding grade.

Finish grade to 2 inches below headers or concrete work.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw.

Treat all planting areas with a pre-emergent.

### 3.10 GROUND COVER

At time of transplanting, soil in flats shall be sufficient so as not to fall apart when lifting plants. Plant each plant with its proportionate amount of the flat soil in a manner that ensure a minimum disturbance to the root structure.

Plant flat material sufficiently deep to cover all roots. Firmly tamp the earth around each plant to force out large air pockets.

### 3.11 TURF SOD

Soil Preparation: Provide soil with an organic matter content of 25-percent to 30-percent. Cultivate entire area to a depth of 6" minimum and remove all rock in excess of 1 1/2"; all building rubble, building construction material waste and any other material that will impair satisfactory growth. This top 6" must meet the topsoil requirements noted in Section 2.01.

Soil Amendments: Prior to rototilling, apply gypsum at a rate of 100 lbs per 1,000 sq. ft. phosphate at a rate of 2 lbs per 1,000 sq. ft., and soil sulfur at 5 lbs per 1,000 sq. ft. Rototill into soil.

Install sod along the straightest edge of turf area. Stagger joints in a brick-like pattern. Avoid gaps and overlapping. Place sod diagonally across, to avoid sliding. Water sod at least every 30 min. during installation. Finish by watering lightly and roll in two directions w/sod roller.

### 3.12 WATERING

Water all plants immediately after planting with hose in planting hole until the roots are completely saturated from the bottom of the hole to the top of the ground to avoid drying out until the entire planted area is thoroughly watered and the soil soaked to the full depth of each plant hole. Water stream shall not cause damage to planting hole or plant. Keep exposed roots wet by means of moist sawdust, peat moss or bulmat at all times during planting operation. Repeat watering as often as necessary to keep the ground moist but not soaked, well below the root system of the plants.

### 3.13 CLEAN UP

Keep all areas clean and orderly during and after execution of work. Burning of trash is not permitted.

### 3.14 ADJUSTMENT

Prune each tree and shrub to preserve the natural character of the plant per American Standards for Nursery Stock, as published by the American Association of Nurserymen. Prune only as directed by Owner's Representative and Landscape Architect to remove deadwood, suckers, or broken or badly bruised branches. Replace all plants damaged by excessive pruning, planting operations or construction damage.

### 3.15 MAINTENANCE PERIOD

When the Owner's Representative and Landscape Architect determine the work to be substantially complete in accordance with the Conditions of the Contract, Contractor will be advised, in writing, that the maintenance period is to begin.

Landscape contractor shall be responsible for maintenance of landscaped areas for a period of 90 days. Maintenance includes watering, firming, weeding and cultivating of beds.

Landscape contractor, in order to protect his guarantee, shall give typewritten to Owner, a complete maintenance instruction booklet on the care and feeding of the landscape.

Contractor shall request, in writing, a Final Inspection with Landscape Architect at the completion of the maintenance period. If the Owner's Representative determines the work is satisfactory, the maintenance period will end on the date of the Final Inspection. If the maintenance is unsatisfactory, the maintenance period will be extended, at the Contractor's expense, until such time as all corrections are made and the work is inspected and approved by the Owner's Representative and Landscape Architect. Retention will not be released until Final Inspection is made and approval issued by the Owner's Representative.

### 3.16 FIELD QUALITY CONTROL

Notify Owner's Representative of the requirement for inspection of at least 48 hours in advance. Inspections are required, but not limited to, the following:

- Inspection and acceptance of plant material prior to shipping.
- At completion of rough grade and boulder placement
- At completion of landscape finish grading and soil preparation, prior to planting.
- At installation of irrigation system, prior to backfilling trenches and planting.
- During installation of specimen trees, or other specimen plant material.
- After staking locations for plant holes, but prior to planting; for approval.
- During the planting process.
- During the placement and aiming of all light fixtures.
- At Substantial Completion of the Work.
- During warranty period to observe maintenance procedures.
- At final Completion of the Work.

## SECTION - 02930 SEEDING

### PART 4 - APPLICATION

#### 4.01 MATERIALS

Materials shall reflect evidence of proper storage and handling. Any material with indications of improper storage or handling (water, heat, chemical damage and the like), will be removed from the site and replaced by the contractor. All material shall be fresh and delivered in unopened containers. Seed shall be of the latest seasons crop and conform to state and federal seed laws.

#### 4.02 ACCESSORY MATERIALS

Fertilizer: Uniform in composition, granular, free flowing and suitable for application with approved equipment - guaranteed analysis, 16-20-0, ammonium phosphate, or equal at a rate of 300 lbs per acre.

70% Virgin Wood Cellulose Fiber, 30% Max. recycled cellulose fiber:

Specially prepared wood cellulose fiber processed to contain no growth or germination inhibiting factors - maximum moisture content, air dry weight, 12% plus or minus 3% at the time of manufacture; pH range, 4.5 to 6.5.

Ash content 0.8% - 0.3% max.

Charcoal: Gro-Safe agricultural grade powdered activated charcoal at a rate of 100 lbs. per acre.

Tackifier: Organic psyllium muciloid hydrophilic water soluble dry. Derived from *Plantago ovata/insularis powder* at 70% min. purity, containing no agents toxic to seed germination. Addition of fertilizer to the slurry mix shall not change the properties of the tackifier. When applied, tackifier shall form a transparent crust permeable by water and air.

Water: Free of substances harmful to seedling growth - water source to be approved by Owner's Representative prior to use.

## PART 5 - EXECUTION

### 5.01 PREPARATION

Limit preparation to areas that will be immediately seeded. Do not disturb natural areas or newly planted trees or shrubs in seed areas. Where equipment can operate, loosen topsoil to a depth of 4 inches by ripping using scarifier teeth. Rip along the contour to prevent runoff and erosion. Use hand tools where equipment can not operate. Remove and dispose of all stones 4" or greater, sticks, roots, rubbish or other deleterious material. Repair erosion damage, grade and slope as directed prior to seeding.

Spread 300 lbs./acre fertilizer as specified.

Rough harrow to break up any large dirt clods.

Fine harrow to create suitable seed bed.

### 5.02 APPLICATION

Apply seed immediately upon completion of tillage operation.

Seeding work should commence as soon as possible after site has been prepared. It is desirable to seed into a loose, friable surface which has not been allowed to crust or erode. Any undesirable weak growth or competing vegetation should be removed prior to seeding operations.

Hydrosed all material evenly in one (1) application of a uniform slurry of water, hydrofibr (mulch), seed, tackifier, fertilizer, soil conditioner, and other specified materials. Material shall be sprayed on all designated areas with overlapping on the crests of tops of berms and cuts.

Seed indicated areas within contract limits and areas adjoining contract limits disturbed due to the seeding preparation process.

Use a hydroseeder with a gear type pump with continuous paddle agitation during application. Do not put seed into water until just before the start of seeding.

Apply seed, mulch, fertilizer and tackifier in a one step process: Slurry mix of water, seed, 300 lbs./acre of fertilizer, 80 lbs./acre tackifier for slopes less than 3:1, 100 lbs./acre for slopes greater than 3:1 and 2000 lbs./acre of wood fiber for slopes greater than 3:1, 1800 lbs./acre for slopes less than 3:1.

### 5.03 ESTABLISHMENT

Provide protective devices as required to protect seeded areas from traffic for 30 days.

Repair and reseed areas damaged by erosion or poor germination.

### 5.04 INSPECTION

Seeding operations and areas are subject to inspection at any time during installation for compliance with specified materials and installation requirements. Any method of installation or use of materials not in conformance with the Contract Documents will be reinstalled, repaired or removed, as directed by the Owner's Representative, at no additional cost to the Owner.

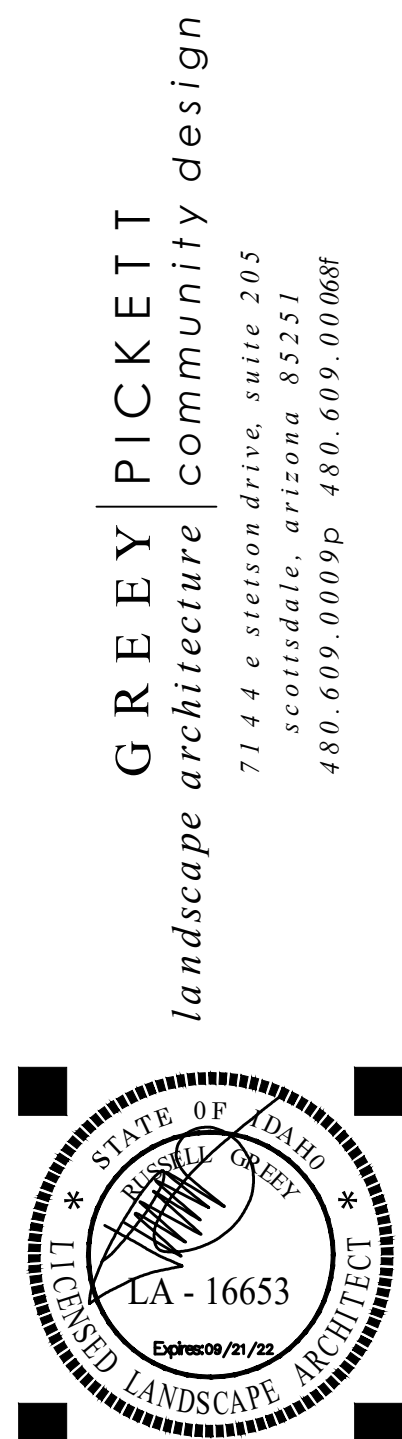
Formal inspections will be conducted by the Owner's Representative at the following work intervals:

Soil scarification upon completion.  
Seed containers at time of delivery.  
At time of seed and slurry mixing.  
During application of seed.  
During application of mulch.  
Weekly for seed and weed germination.  
Final inspection and approval - at the end of landscape establishment.

### 5.05 ACCEPTANCE

Upon notice of completion of the work from the landscape contractor, at the end of the Landscape Establishment period, the Owner's Representative will make an inspection. If all work provided for in the Contract Documents is found to be complete and the planted seeds yield a minimum stand as determined by the Owner's Representative based upon the specified germination rates and species used, and the seeded areas are free of weeds, disease and insects, this inspection will constitute the Final Inspection. The Owner's Representative will notify the Contractor in writing of this Acceptance.

If the inspection reveals any unsatisfactory work, the Contractor will reseed as necessary until the work is accepted by the Owner's Representative.



VALOR EAST I  
Pre Plat Landscape Plans  
KUNA, IDAHO



revisions:

project #:  
MTC085  
scale:  
N.A.  
issued for:  
REVIEW  
drawn by:  
TEAM  
date:  
12.14.2021  
drawing:

Planting Specifications

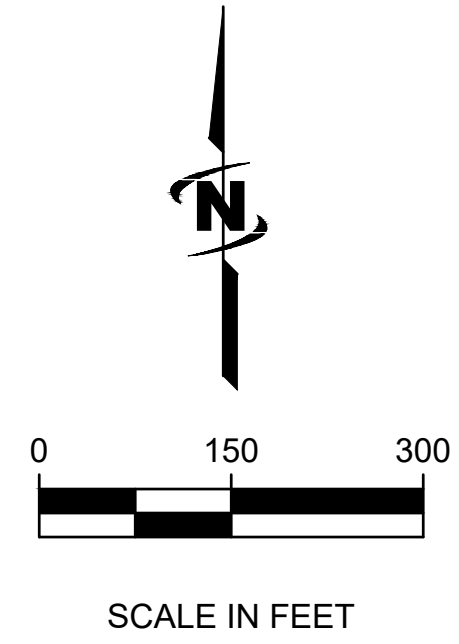
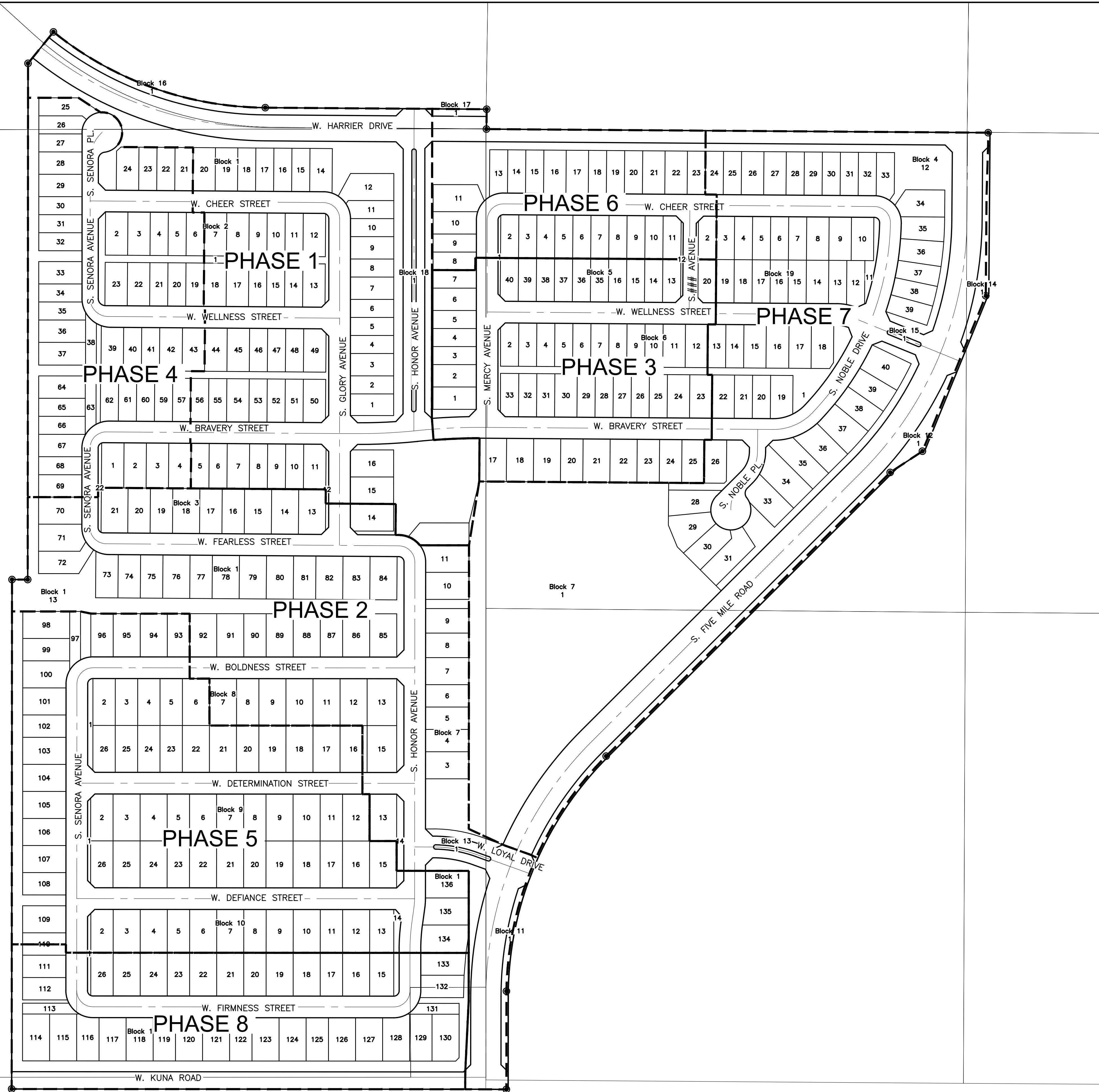
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10 of 10



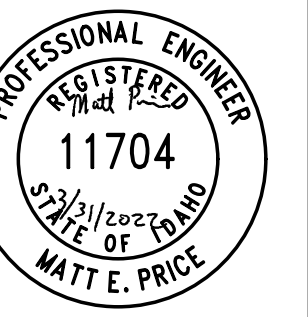
- A** Reveille at VALOR
- B** Trilogy at VALOR
- C** Trilogy VALOR Club
- D** Future Trilogy at VALOR
- E** Falcon Crest Golf Club & Future VALOR Club
- F** Future VALOR Club Mixed Use Development
- G** Golf Villages (Future Single Family Residential)
- H** Golf Villages (Future Residential)
- I** VALOR Community Park
- J** Future 10 Acre City Park (Location TBD)
- K** Future VALOR Residential
- L** Future Commercial/Mixed Use
- A2** Builder Models
- B2** Trilogy Models

Plot Date: 1/20/22 8:57 AM Plotted By: Ewrenth Earmest  
 Date Created: 1/20/22 JUB\COM\CENTRAL\Clients\IDMP\PROJECTS\10-27-089\_FCPREPLAT\DESIGN PRE-PLAT EAST\CAD\SHEET\FCP EAST PRE-PLAT.DWG



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com



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NO.	REVISION	DESCRIPTION	BY	APPR.	DATE

VALOR WEST SUBDIVISION  
 KUNA, IDAHO  
 PHASING PLAN

FILE: FCP EAST PRE-PLAT  
 JUB PROJ. #: 10-22-022  
 DRAWN BY: ----  
 DESIGN BY: ----  
 CHECKED BY: ----

ONE INCH  
 AT FULL SIZE, IF NOT ONE  
 INCH, SCALE ACCORDINGLY  
 LAST UPDATED: 6/13/2022

SHEET NUMBER:  
**PP-09**

**5.14 Provision of Benefits and Services to Neighborhood Assessment Areas.**

(a) Designated by Declarant. Declarant, in a Notice of Applicability Recorded pursuant to *Section 12.03*, Supplemental Declaration, or in any other written Recorded notice, may assign Lots to one or more Neighborhood Assessment Areas (by name or other identifying designation) as it deems appropriate, which Neighborhood Assessment Areas may be then existing or newly created, and may require that the Association provide benefits or services to such Lots in addition to those which the Association generally provides to the Tract. Declarant may amend any Notice of Applicability or any written Recorded notice to re-designate Neighborhood Assessment Area boundaries. All costs associated with the provision of services or benefits to a Neighborhood Assessment Area will be assessed against the Lots within the Neighborhood Assessment Area as a Neighborhood Assessment Area Assessment.

(b) Petitioned by Owners. In addition to Neighborhood Assessment Areas which Declarant may designate, any group of Owners may petition the Board to designate their Lots as a Neighborhood Assessment Area for the purpose of receiving from the Association: (i) special benefits or services which are not provided to all Lots; or (ii) a higher level of service than the Association otherwise provides. Upon receipt of a petition signed by Owners of a Majority of the Lots within the proposed Neighborhood Assessment Area, the Board will investigate the terms upon which the requested benefits or services might be provided and notify the Owners in the proposed Neighborhood Assessment Area of such terms and associated expenses, which may include a reasonable administrative charge in such amount as the Board deems appropriate (provided, any such administrative charge will apply at a uniform rate per Lot among all Neighborhood Assessment Areas receiving the same service). If approved by the Board, the Declarant during the Development Period, and the Owners of at least sixty-seven percent (67%) of the total number of votes held by all Lots within the proposed Neighborhood Assessment Area, the Association will provide the requested benefits or services on the terms set forth in the proposal or in a manner otherwise acceptable to the Board. The cost and administrative charges associated with such benefits or services will be assessed against the Lots within such Neighborhood Assessment Area as a Neighborhood Assessment Area Assessment.

**5.15 Maintenance of Areas of Association Responsibility.**

(a) Maintenance Responsibilities. The Association or, if applicable, its duly delegated agent or representative, shall be responsible for managing, maintaining, repairing and replacing the Areas of Association Responsibility, including but not limited to the following:

- (i) all portions of the Common Area, including landscaping and any Improvements constructed thereon; and
- (ii) landscaping (A) within the front yard of each Lot, and (B) within portions of the side yard and rear yard of Lots where such side and rear yards abut a street (the landscaping in (A) and (B) being collectively referred to in this Section as the "Association Maintained Lot Landscaping"), which shall include replacing, trimming, weeding, fertilizing and otherwise caring for all plant materials, inert ground cover, irrigation lines and facilities, all with such frequency and in such manner as may be determined by the Board from time to time in its discretion; provided, that (C) the Association shall not be required to perform any maintenance of flowers, plants or other landscaping planted or installed by an Owner or Resident, and no such flowers, plants or other landscaping shall be planted or installed by an Owner or Resident in an area where Association Maintained Lot Landscaping is located without the prior written consent of the Board, and (D) all water and electric costs necessary for the irrigation of the Association Maintained Lot Landscaping on a Lot shall be paid for by the applicable Owner, and such Owner shall not be entitled to reimbursement therefor from the Association, the Declarant or any other third party. The locations of the Association Maintained Lot Landscaping shall be determined by the Valor Reviewer and may be described in the Residential Owner Design Guidelines. If an Owner elects to construct a fence or wall to enclose any side yard or rear yard in an area designated as Association Maintained Lot Landscaping and such fence or wall is approved by the Valor Reviewer, the area so enclosed shall cease to be an Association Maintained Lot Landscaping and such Owner shall thereafter be responsible for maintaining the landscaping within the enclosed area of the Lot.

(b) Standards. The Board shall be the sole judge as to the appropriate level of maintenance, repair and replacement of all Areas of Association Responsibility, including the frequency and timing of the irrigation of all plant materials, but all Areas of Association Responsibility and the Improvements located thereon shall be maintained in good condition and repair at all times. No Owner, Resident, Occupant or other Person shall (i) construct or install any Improvements