



Mayor Tammy de Weerd

City Council Members:

Luke Cavener
Ty Palmer
Treg Bernt

Joe Borton
Genesis Milam
Anne Little Roberts

TRANSMITTAL TO AGENCIES FOR COMMENTS ON DEVELOPMENT PROJECTS WITH THE CITY OF MERIDIAN

To ensure that your comments and recommendation will be considered by the Meridian Planning and Zoning Commission/City Council, Please submit your comments and recommendations to cityclerk@meridiancity.org, Attention: C.Jay Coles, City Clerk by **December 14, 2018**

Transmittal Date: November 6, 2018

Hearing Date: December 20, 2018

Project Name & File Number: Villasport CUP, MDA H-2018-0121

Applicant: Sadie Creek Commons, LLC

Property Location: SW Corner of E. Ustick Rd. and N. Eagle Rd

Application Request:

Request: Conditional Use Permit to operate an indoor and outdoor arts, entertainment or recreation facility earlier than 6 a.m. The subject property is located on 11.39 acres of land in the C-G zoning district.

Request: To Modify an Existing Development Agreement to change the previously approved concept plan with a new concept plan.

City Council / Planning and Zoning Commission	Valley Transit
Mayor	Idaho DEQ
Sanitary Services	West Ada School District
Building Department & Community Development	Meridian Post Office
Fire Department	Ada County Highway District
Police Department	Ada County Development Services
City Attorney	Central District Health
City Public Works	Compass
City Planner	Nampa Meridian Irrigation District
Parks Departments	Settlers Irrigation District
Economic Development	Idaho Power, Intermountain Gas, Century Link
Historic Preservation Commission	Idaho Transportation Department
New York Irrigation District	South or RR/SW Meridian
Boise Project Board of Control	NW Pipeline
Boise-Kuna Irrigation District	Ada County Associate Land Records
Downtown Projects	Meridian Development Corporation

City Clerk's Office ▪ 33 E. Broadway Avenue, Meridian, ID 83642 ▪ P: 208-888-4433

E : cityclerk@meridiancity.org ▪ www.meridiancity.org

Hearing Date: December 20, 2018

File No.: H-2018-0121

Project Name: Villasport - CUP, MDA

Request: (CUP) Request for a conditional use permit to operate an indoor and outdoor arts, entertainment or recreation facility earlier than 6 am. The subject property is located on 11.39 acres of land in the C-G zoning district.

Request: (MDA) Request to modify an existing development agreement to change the previously approved concept plan with a new concept plan, by Sadie Creek Commons, LLC.

Location: The site is located on the southwest corner of E. Ustick Road and N. Eagle Road in the NE ¼ of Section 5, Township 3N., Range 1E.



STAFF USE ONLY:

Project name: Villagport
File number(s): H-2018-0121
Assigned Planner: Josh Beach
Related files:

Type of Review Requested (check all that apply)

- Accessory Use (check only 1)
Daycare
Home Occupation
Home Occupation/Instruction for 7 or more
Administrative Design Review
Alternative Compliance
Annexation and Zoning
Certificate of Zoning Compliance
City Council Review
Comprehensive Plan Map Amendment
Comprehensive Plan Text Amendment
Conditional Use Permit
Conditional Use Modification (check only 1)
Director
Commission
Development Agreement Modification
Final Plat
Final Plat Modification
Landscape Plan Modification
Preliminary Plat
Private Street
Property Boundary Adjustment
Rezone
Short Plat
Time Extension (check only 1)
Director
Commission
UDC Text Amendment
Vacation (check only 1)
Director
Commission
Variance
Other

Applicant Information

Applicant name: Sadie Creek Commons, LLC Phone: 702.851.3999
Applicant address: 10789 W. Twain Ave #200 Email: randy@landbaroninv.com
City: Las Vegas State: NV Zip: 89135

Applicant's interest in property: Own Rent Optioned Other

Owner name: Same as above Phone:

Owner address: Email:

City: State: Zip:

Agent/Contact name (e.g., architect, engineer, developer, representative):

Firm name: The Land Group, Inc. / Tamara Thompson Phone: 208.939.4041

Agent address: 462 E. Shore Drive, Ste 100 Email: tamara@thelandgroupinc.com

City: Eagle State: ID Zip: 83616

Primary contact is: Applicant Owner Agent/Contact

Subject Property Information

Location/street address: 3055 N. Eagle Road Township, range, section: 3N 1E 05

Assessor's parcel number(s): S1105110100, S1105110067 Total acreage: 11.39 Zoning district: C-G

Project/subdivision name: VillaSport

General description of proposed project/request: Development Agreement modification and a CUP to allow or approval of an athletic club and spa on the property.

Proposed zoning district(s): C-G (no change)

Acres of each zone proposed: 11.39

Type of use proposed (check all that apply):

Residential Office Commercial Employment Industrial Other _____

Who will own & maintain the pressurized irrigation system in this development? Irrigation district

Which irrigation district does this property lie within? Nampa Meridian Irrigation District (NMID)

Primary irrigation source: NMID Secondary: Domestic water

Square footage of landscaped areas to be irrigated (if primary or secondary point of connection is City water): _____

Residential Project Summary (if applicable)

Number of residential units: n/a Number of building lots: _____

Number of common lots: _____ Number of other lots: _____

Proposed number of dwelling units (for multi-family developments only):

1 bedroom: _____ 2-3 bedrooms: _____ 4 or more bedrooms: _____

Minimum square footage of structure (excl. garage): _____ Maximum building height: _____

Minimum property size (s.f.): _____ Average property size (s.f.): _____

Gross density (Per UDC 11-1A-1): _____ Net density (Per UDC 11-1A-1): _____

Acreage of qualified open space: _____ Percentage of qualified open space: _____

Type and calculations of qualified open space provided in acres (Per UDC 11-3G-3B): _____

Amenities provided with this development (if applicable): _____

Type of dwelling(s) proposed: Single-family Detached Single-family Attached Townhouse

Duplex Multi-family Vertically Integrated Other _____

Non-residential Project Summary (if applicable)

Number of building lots: 2 Common lots: 0 Other lots: _____

Gross floor area proposed: 104,300 SF Existing (if applicable): n/a

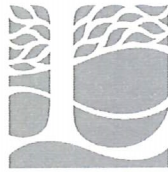
Hours of operation (days and hours): M-F 5am to 10pm; SS 6am - 10pm Building height: 49'

Total number of parking spaces provided: 567 Number of compact spaces provided: _____

Authorization

Print applicant name: Tamara Thompson

Applicant signature: *Tamara Thompson* Date: October 10, 2018



THE LAND GROUP, INC.

October 16, 2018

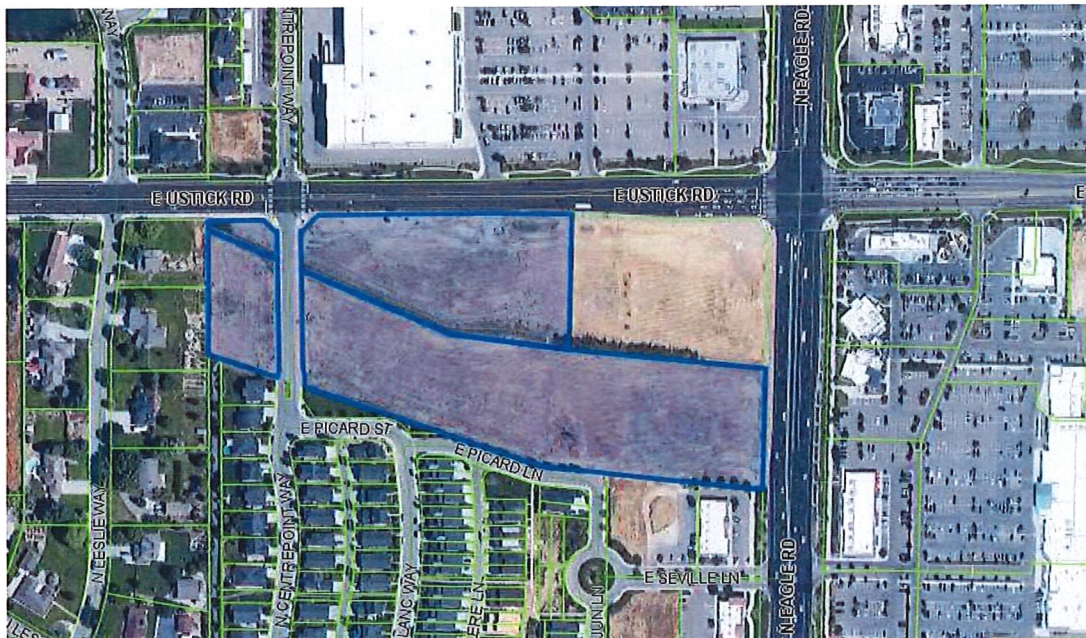
Bill Parsons
Planning Supervisor
City of Meridian – Community Development Dept
33 E. Broadway Ave, Suite 102
Meridian, ID 83642

Re: Development Agreement Modification & Conditional Use Permit – SWC Eagle & Ustick Roads

Dear Mr. Parsons:

Enclosed is a Development Agreement Modification and Conditional Use Permit application for 11.39-acres at the southwest corner of Eagle and Ustick Roads. (Please note the application does not include the 3.29-acre corner parcel.) We are pleased to present applications to the City of Meridian to modify the existing development agreement to allow for a VillaSport Athletic Club and Spa on the property.

VillaSport is a resort-style athletic club and spa offering a unique combination of luxury amenities and the finest state-of-the-art equipment and programs for the entire family. VillaSport is a family-owned business with five locations: Beaverton, OR; Colorado Springs, CO; The Woodlands, TX and Cypress, TX (both in the Houston region); and San Jose, CA; as well as locations under development in Katy, Texas (Houston region) and Roseville, California. In addition to Meridian, Idaho, future locations include Redwood City, Livermore, and Mountain View, California.



This application includes parcels:

Parcel	Address	Acreage	Zoning designation
S1105110067	E. Ustick Road	3.52	C-G
S1105110100	3055 N. Eagle Road	7.87	C-G

Total: 11.39

Property History:

A portion of the property was annexed and zoned C-G in 2004 (AZ-03-018). A development agreement was required with the annexation (DA #104107406). In 2005, the remaining portion of the property received annexation approval (AZ-05-052) with development agreement (DA #108008770). A preliminary plat (PP-05-053) and conditional use permit (CUP-05-049) was also approved for a 15.33-acre mixed use commercial development as required by the original development agreement. However, the preliminary plat and CUP approvals have expired.

Since the original approval, the Bienville Square, to the south, has been constructed. Ustick Road has been widened with access approaches constructed to the property. Utilities are existing at the property boundary.

Development Agreement Modification:

The project consists of 11.39-acres, zoned C-G.

The proposed development consists of two parcels (again, the 3.29-acre corner parcel is not included) with one commercial building on each parcel. A Property Boundary Adjustment has been submitted to reconfigure the two parcels. Platting of the property is not planned.

This application proposes to remove the two parcels from the existing development agreement and include a new conceptual site plan and conceptual building elevations in a new development agreement. Prior to submitting for building permit, Administrative Design Review and Certificate of Zoning Compliance approval is required.

The photographs and conceptual elevations included represent the design aesthetic. The maximum building height is 48'. The concept site plan includes a maximum building area of 114,300 SF. This includes roughly 99,000 SF for the athletic club and spa and 15,300 SF for the retail building.

Access to the development is via N. Centerpoint Way, Ustick Road, and cross access via N Cajun Ln and E. Seville Lane. All drive aisles within the development will be private. An updated traffic study was submitted to ACHD on July 19, 2018 and comments were addressed on September 19, 2018.

Focusing on families, VillaSport offers a concierge approach to member service with a full calendar of fitness, sports, social, and educational programs and events for all ages. VillaSport amenities include:

- The facility includes men's, women's and dedicated family locker rooms and optional private locker rentals with daily laundry service. Each locker room offers a comfortable lounge area with large-screen TVs, complimentary lotion, shampoo, conditioner, body wash, sundries and plush towels.
- Indoor and outdoor aquatics facilities for fun, fitness or competition including swim lessons, swim teams and other aquatics programs. The resort environment includes zero-depth entry recreation pools with play structures, two 26' tall waterslides, 25-yard lap pools, indoor/outdoor whirlpools for relaxing and socializing. A poolside café offers poolside lounge chair service and ordering window options.
- The adult-only pool area offers a 25-yard lap pool, whirlpool, outdoor fire pit, private casabellas, and a bar.
- The NBA-regulation basketball court is custom-built with cushioned wood and high-tech sports flooring. VillaSport offers basketball leagues, clinics and pickup games for all ages including basketball, soccer, volleyball and pickleball.
- The men's and women's whirlpool lounges include saunas and steam rooms
- The Fitness area is equipped with more than 120 state-of-the-art cardio machines and multiples lines of free weights, functional and circuit equipment. There are flexibility and mobility areas, individual and group training options and more than 180 group exercise classes per week. Group exercise class examples include LES MILLS, Zumba, group cycle, Pilates, barre, yoga, aqua exercise and family classes.
- VillaKids offers approximately 12,000 SF of indoor and outdoor spaces for children six (6) weeks to 12 years of age. There are separate studios for art and dance, a quiet room for infants, toddler area, indoor play tower, indoor multi-purpose sports court and an outdoor play area. Each child membership includes daily parents-on-premises complimentary temporary child care based on a monthly-themed curriculum. VillaKids also offers children's programs such as summer and holiday day camps and Parent's Night Out.
- VillaSpa is a place to relax, rejuvenate and restore your body and soul. Open to both members and the public, VillaSpa offers an array of full-service treatments including, for example, massages, body treatments, facials, waxing, spray tanning, manicures and pedicures for individuals and couples. Special events such as Ladies Night Out and Manicures with Mommy are offered.
- VillaCafe, conveniently located near the front lobby serving coffee, smoothies, alcoholic beverages, snacks and meals, is open to both members and the public.



VillaSport also hosts community and membership events some of which have included:

- a. Open House for Schools (open to the public) – an annual forum for local private and public schools to provide info to prospective students and their parents
- b. Pinewood Derby (members only)
- c. Daddy/Daughter dance (members only)
- d. Great Egg Hunt (members only)
- e. Breakfast with Santa (members only)
- f. Birthday parties (members only)

The VillaSport building area includes:

<u>1st Floor</u>
Basketball Courts
Indoor Pools
Spa*
Offices
Food & Beverage (including pool bar)*
VillaKids (childcare)
Group Exercise Studios
Locker Rooms (family, men, women)
Laundry/Receiving
Storage/Mechanical
Circulation Areas

* Spa and indoor café are open to the public

<u>2nd Floor/mezzanine</u>
Health/Fitness
Group Exercise Studios
Restrooms/Storage
Offices
Circulation areas

Although a new Development Agreement is proposed, a few of the previous provisions or intents will remain. The drainage ditch will be rerouted and piped through the property. Prior to construction west of Centerpoint Way, a block wall and landscaping on the west property line shall be constructed (the tiling of the drainage ditch is excluded due to timing constraints.)

Conditional Use Permit:

- The VillaSport pool area includes both family areas and adult only areas. A poolside café offering a full-service bar is proposed.
- The hours of operation are proposed to be extended to 7 days a week from 4am – 1am. Outside activities shall be 5am to 11pm. Outdoor live music, which will be within 100' of a residential district, shall cease at 9pm.
- The outdoor pool area will have an outdoor speaker system.
- The following uses are included: nail salon, massages, child care, alcohol license, indoor and outdoor recreation.
- We are requesting an alternative compliance to the 100' separation from an outdoor space and the residential district. The site is unique in that although the residential district is within 100' of the proposed outdoor recreation space, the houses within such residential district are actually on the other side of a street so the residences are approximately 100' from the proposed outdoor space. Additionally, the existing landscape buffer is mature and dense. We will also provide a dense landscape buffer and fencing on our side of the southern property line.

The development is planned to be constructed in two phases. The VillaSport use will be the first phase with the Eagle Road pad second. The VillaSport construction phase would also require the temporary use of approximately 3,600 SF of sales and administrative office trailers for about six (6) to nine (9) months prior to the opening of this athletic club and spa.

Thank you in advance for your consideration and support. We look forward to working with City staff to plan a quality project of which we can all be proud.

Sincerely,



Tamara Thompson
Director of Client Services



8151 W. Rifleman Street
Boise, ID 83704

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO Pgs=6 LISA BATT
PIONEER TITLE COMPANY OF ADA COUNTY
2018-077282
08/15/2018 02:03 PM
\$15.00

ELECTRONICALLY RECORDED-DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT

File No. 594651 SRM/GL
B Three, LLC C/O Randy Black
702-499-4442

WARRANTY DEED

For Value Received B Three LLC, a Nevada limited liability company as to a 64.07% undivided interest, George Balaban, a single man as to a 5.99% undivided interest and Larry Carter and Annette Carter as Trustees of the Larry and Annett Carter Trust as to a 29.94% undivided interest

hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto
Sadie Creek Commons, LLC a Nevada Limited Liability Company

hereinafter referred to as Grantee, whose current address is 10789 W. Twain Ave. #200
The following described premises, to-wit: LAS VEGAS, NV 89135

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: August 15, 2018

George Balaban

Larry Carter, Trustee

Annette Carter, Trustee

B Three, LLC

By:

Its:



Pioneer Title Co.
GOING BEYOND

8151 W. Rifleman Street
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT
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For Value Received B Three LLC, a Nevada limited liability company as to a 64.07% undivided interest, George Balaban, a single man as to a 5.99% undivided interest and Larry Carter and Annette Carter as Trustees of the Larry and Annett Carter Trust as to a 29.94% undivided interest

hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto
Sadie Creek Commons, LLC a Nevada Limited Liability Company

hereinafter referred to as Grantee, whose current address is 10789 W. Twain Ave #200
LAS VEGAS NV 89135


The following described premises, to-wit:


See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable. and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: August 10th, 2018

George Balaban


Larry Carter, Trustee


Annette Carter, Trustee

B Three, LLC

By:

Its:

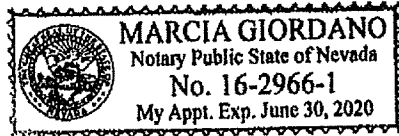
State of Nevada, County of Clark

This record was acknowledged before me on August 10, 2018 by George Balaban

Margie

Signature of notary public

Commission Expires: June 30, 2020



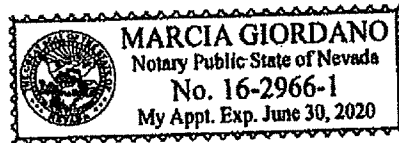
State of Nevada, County of Clark

This record was acknowledged before me on August 14, by Larry Carter and Annette Carter, as Trustees of The Larry and Annette Carter Trust.

Margie

Signature of notary public

Commission Expires: June 30, 2020.



State of Nevada, County of Clark

This record was acknowledged before me on 8.14.18 by Robert Black, Tr. as Manager of B Three, LLC.

Margie

Signature of notary public

Commission Expires: June 30 2020

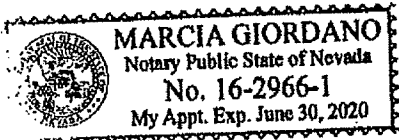


EXHIBIT A

PARCEL S1105110067:

PARCEL "A" OF ROS 6418:

A parcel of land lying in the Northeast quarter Northeast quarter of Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, said parcel being more particularly described as follows:

Commencing at a found brass cap marking the Northeast corner of said Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, said brass cap bears North 89°39'20" East, 2656.46 feet from a set 5/8" iron pin marking the North quarter corner of said Section 5, said brass cap also bears North 00°00'00" West, 2611.41 feet (formerly 2611.50 feet) from a found brass cap marking the East quarter corner of said Section 5;
Thence South 89°39'20" West 495.33 feet along the North boundary of the said Northeast quarter Northeast quarter of Section 5 and along the centerline of Ustick Road to a point;
Thence South 01°05'59" West 25.00 feet to a found 5/8" iron pin lying on the Southerly right of way of said Ustick Road and marking the REAL POINT OF BEGINNING;
Thence continuing South 01°05'59" West 319.26 feet to a set 5/8" iron pin;
Thence North 81°54'00" West 278.88 feet to a set 5/8" iron pin;
Thence North 66°12'00" West 600.96 feet to a set 5/8" iron pin lying on the Easterly boundary of Carol's Subdivision No. 2, as recorded in Book 39 of Plats at pages 3248 and 3249, records of Ada County, Idaho;
Thence North 00°15'11" West 32.39 feet along the said Easterly boundary of Carol's Subdivision No. 2 to a found 5/8" iron pin marking the Northeast corner of said Carol's Subdivision No. 2, said pin also lying on the said Southerly right of way of Ustick Road;
Thence North 89°39'20" East 832.24 feet (formerly 832.27 feet) along the said Southerly right of way of Ustick Road to the REAL POINT OF BEGINNING.

EXCEPT that portion conveyed to Ada County Highway District by deed recorded under Instrument No. 105044544, described as follows:

A strip of land along the Northern line of that parcel of land as described in Quit Claim Deed Instrument No. 104019258, Ada County records, situated in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, said strip of land being more particularly described as follows:

Commencing at the Northeast corner of said Section 5, thence along the North line of said Section North 89°44'39" West 495.32 feet; thence leaving said North line South 00°41'54" West 25.00 feet to the Northeast corner of that parcel of land as described in said Quit Claim Deed, being the REAL POINT OF BEGINNING; thence along the East line of said Quit Claim Deed Parcel

South 01°41'54" West 16.45 feet; thence leaving said East line

North 88°47'15" West 206.38 feet; thence

North 89°44'39" West 625.39 feet to the West line of said Quit Claim Deed Parcel; thence along said West line

North 00°20'50" East 13.00 feet to a point on the South Right-of-Way line of East Ustick Road; thence along said South Right-of-Way line being parallel with and 25.00 feet South of the North line of said Section 5

South 89°44'39" East 832.13 feet to the REAL POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM that property deeded to Ada County Highway District by Warranty Deed recorded December 28, 2006 as Instrument No. 106200711, described as follows:

A parcel of land situated in the Northeast Quarter of Section 5, Township 3 North, Range 1 East, Boise Meridian, City of Meridian, Ada County, Idaho, said parcel being more particularly described as follows:

Commencing at the Northeast corner of said Section 5, thence along the North line of said section being the centerline of East Ustick Road

North 89°44'39" West 1077.28 feet to a point; thence leaving said North line

South 00°15'21" West 38.00 feet to the South Right-Of-Way line of said East Ustick Road to the REAL POINT OF BEGINNING; thence
South 45°23'02" West 53.86 feet to a point; thence
North 89°44'39" West 59.00 feet to a point; thence
North 45°22'34" West 54.34 feet to a point on said South Right-Of-Way line; thence along said South Right-Of-Way line South 89°44'39" East 136.01 feet to the REAL POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM the following property described as an exclusive Easement granted to Ada County Highway District and others and excluded from the assessment of the remaining fee. Said document recorded January 10, 2008 as Instrument No. 108003152 described as follows:

A parcel of land being a portion of Section 5, Township 3 North, Range 1 East, Boise Meridian, Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing at the Northeast corner of Section 5, T.3N., R.1E., B.M., thence
S89°39'20"W 1083.59 along the North line of said Section 5 to a point; thence
S00°20'40"E 38.00 feet to a point on the South right of way of Ustick Road, the REAL POINT OF BEGINNING of this description; thence
S44°24'04" W 49.28 feet to a point; thence
S00°51'12"E 314.29 feet to a point; thence
S19°25'47"E 13.11 feet to a point; thence
S00°22'09"W 28.38 feet to a point on the North boundary of proposed Bienville Square Subdivision; thence
N71°28'10"W 66.03 feet along said North boundary line to a point; thence
N14°27'44" E 17.85 feet to a point; thence
N00°51'12"W 316.43 feet to a point; thence
N45°35'56"W 49.72 feet to a point on said Ustick Road Right of Way; thence
N89°39'20"E 124.00 feet to the REAL POINT OF BEGINNING of this description.

FURTHER EXCEPTING THEREFROM that property conveyed to Ada County Highway District by Warranty Deed as Instrument No. 113068849, described as follows:

Parcel 15
Right-of-Way Requirement

A parcel of land situated in Government Lot 1 in Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho and being a portion of that Warranty Deed filed as Instrument Number 105081347 and as shown as Parcel "A" on Record of Survey No. 6418, filed as Instrument Number 109016722 in the records of Ada County, Idaho, more particularly described as follows:

Commencing at a found brass cap marking the Northeast corner of said Section 5 at the intersection of Ustick Road and Eagle Road from which a found 5/8" iron pin marking the Northwest corner of said Govt. Lot 1 (N1/4 corner) bears N 89°44'29" W, 2656.56 feet, thence N 89°44'29" W, 1328.34' feet (formerly S 89°39'20" W, 1328.23') along the North boundary of the NE1/4 of said Section 5 to a found 5/8" rebar marking the East 1/16 corner, thence S 0°20'53"W, 38.00 feet (formerly S 0°15'11" E) along the West boundary of said Govt. Lot 1 to a point on the West boundary of said Parcel "A" and the Southwesterly corner for that right-of-way described in Warranty Deed filed as Instrument Number 105044544 in the records of Ada County, said point also being the POINT OF BEGINNING.

Thence S 89°44'29" E, 115.11 feet (formerly S 89°44'39"E) along the Southerly Right-of-Way parallel With and measuring 38.00 feet from said North boundary of said Govt. Lot 1 and centerline of Ustick Road to a point on the Westerly right-of-way for that parcel described in Warranty Deed filed as Instrument Number 106200711 in the records of Ada County;

Thence along said Westerly right-of-way S 45°22'24"E, 14.30 feet (S 45°22'34"E per WD#106200711) to a point;

Thence leaving said Westerly right-of-way N 89°44'29" W, 125.34 feet parallel with and measuring 48.00 feet from said North boundary of said Govt. Lot 1 and centerline of Ustick Road to the West boundary of said Parcel "A";

Thence N 0°20'53"E, 10.00 feet (N 0°15'11" W per Parcel "A") along said West boundary to the Point of Beginning.

PARCEL S1105110100:
PARCEL "C" OF ROS 6418:

A parcel of land lying in the Northeast quarter Northeast quarter of Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, said parcel being more particularly described as follows:

Commencing at a found brass cap marking the Northeast corner of said Section 5, Township 3 North, Range 1 East, Boise Meridian, Ada County, Idaho, said brass cap bears North $89^{\circ}39'20''$ East 2656.46 feet from a set 5/8" iron pin marking the North quarter corner of said Section 5, said brass cap also bears North $00^{\circ}00'00''$ West 2611.41 feet (formerly 2611.50 feet) from a found brass cap marking the East quarter corner of said Section 5;

Thence South $00^{\circ}00'00''$ East 400.00 feet along the East boundary of the said Northeast quarter Northeast quarter of Section 5 to a point;

Thence North $84^{\circ}06'00''$ West 51.29 feet to a set 5/8" iron pin lying on the Westerly right of way of State Highway 55 (Eagle Road), said pin also marking the REAL POINT OF BEGINNING;

Thence South $01^{\circ}14'39''$ West 276.81 feet along the said Westerly right of way of State Highway 55 (Eagle Road) to a set 5/8" iron pin;

Thence North $83^{\circ}54'00''$ West 510.21 feet to a set 5/8" iron pin;

Thence North $71^{\circ}28'10''$ West 803.90 feet to a set 5/8" iron pin lying on the Easterly boundary of Carol's Subdivision No. 2, as recorded in Book 39 of Plats at pages 3248 and 3249, records of Ada County, Idaho;

Thence North $00^{\circ}15'11''$ West 296.40 feet along the said Easterly boundary of Carol's Subdivision No. 2 to a set 5/8" iron pin;

Thence South $66^{\circ}12'00''$ East 600.96 feet to a set 5/8" iron pin;

Thence South $81^{\circ}54'00''$ East 303.60 feet to a set 5/8" iron pin;

Thence South $84^{\circ}06'00''$ East 428.70 feet to the POINT OF BEGINNING.

EXCEPTING THEREFROM the following property described as an exclusive Easement granted to Ada County Highway District and others and excluded from the assessment of the remaining fee. Said document recorded January 10, 2008 as Instrument No. 108003152 described as follows:

A parcel of land being a portion of Section 5, Township 3 North, Range 1 East, Boise Meridian, Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing at the Northeast corner of Section 5, T.3N., R.1E., B.M., thence
S $89^{\circ}39'20''$ W 1083.59 along the North line of said Section 5 to a point; thence
S $00^{\circ}20'40''$ E 38.00 feet to a point on the South right of way of Ustick Road, the REAL POINT OF BEGINNING of this description; thence
S $44^{\circ}24'04''$ W 49.28 feet to a point; thence
S $00^{\circ}51'12''$ E 314.29 feet to a point; thence
S $19^{\circ}25'47''$ E 13.11 feet to a point; thence
S $00^{\circ}22'09''$ W 28.38 feet to a point on the North boundary of proposed Bienville Square Subdivision; thence
N $71^{\circ}28'10''$ W 66.03 feet along said North boundary line to a point; thence
N $14^{\circ}27'44''$ E 17.85 feet to a point; thence
N $00^{\circ}51'12''$ W 316.43 feet to a point; thence
N $45^{\circ}35'56''$ W 49.72 feet to a point on said Ustick Road Right of Way; thence
N $89^{\circ}39'20''$ E 124.00 feet to the REAL POINT OF BEGINNING of this description.

AFFIDAVIT OF LEGAL INTEREST

STATE OF ~~IDAHO~~ ^{Nevada} *mg*

COUNTY OF ~~ADA~~ ^{Clark} *mg*

I, RANDY BLACK, JR., 10789 W. TWAIN AVE., 2ND FLOOR
(name) (address)
LAS VEGAS, NEVADA
(city) (state)

being first duly sworn upon, oath, depose and say:

- 1. That I am the record owner of the property described on the attached, and I grant my permission to:

The Land Group, Inc., 462 E. Shore Drive, Ste 100, Eagle, ID 83616
(name) (address)

to submit the accompanying application(s) pertaining to that property.

- 2. I agree to indemnify, defend and hold the City of Meridian and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- 3. I hereby grant permission to City of Meridian staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 10th day of OCTOBER, 2018

[Signature]
(Signature)

MANAGER OF SABLE CREEK COMMONS, LLC

SUBSCRIBED AND SWORN to before me the day and year first above written.

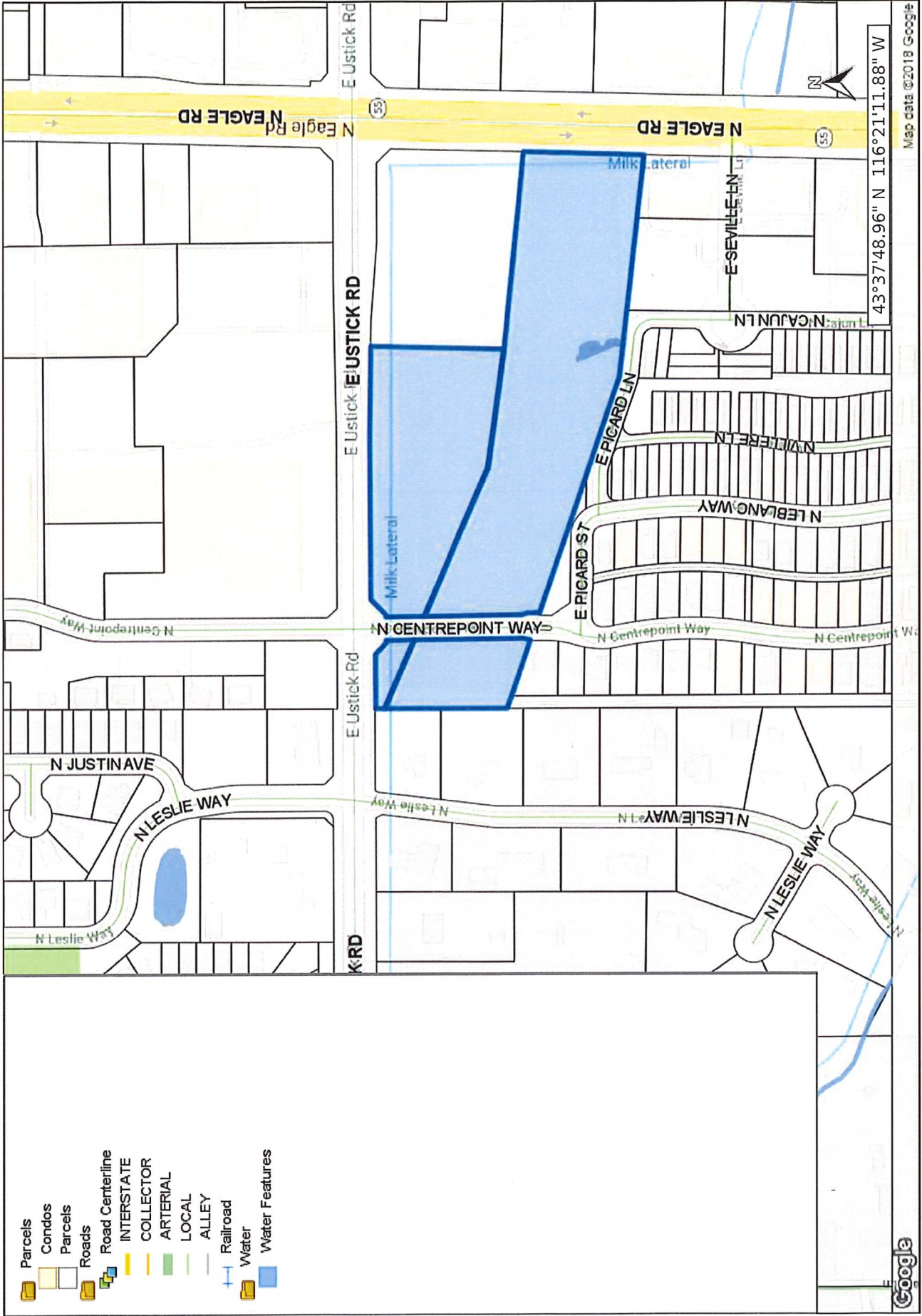


Marcia Giordano
(Notary Public for ~~Idaho~~) ^{Nevada} *mg*

Residing at: Las Vegas, Nevada

My Commission Expires: June 30, 2020

Vicinity Map





THE LAND GROUP, INC.

NEIGHBORHOOD MEETING ATTENDANCE RECORD
Project: SWC Ustick & Eagle
Meeting Date, Time & Location: July 18, 2018, 6:00 PM, Meridian City Hall

Print Name	Address	Email/Phone
Tamara Thompson	426 E. Shore Drive, Ste 100 Eagle, ID 83616	tamara@thelandgroupinc.com 208.939.4041
<i>Nam Bran</i>		
<i>Wendy McHenry</i>	<i>2747 W. Wind Drive Boise</i>	
<i>Jason O'Very</i>	<i>5537 N. Bigelow Ave Meridian, ID 83646</i>	<i>208-695-8787</i>
<i>Michael Fassler</i>	<i>150 Pelican Way San Rafael, CA 94901</i>	<i>mike_fassler@150pelican.com (415) 448-8500</i>
<i>Ramey Syufy</i>	<i>965 Magnolia Avenue Larkspur CA</i>	<i>RAMEY_SYUFY@VILLASPORT.COM 415-233-0484</i>
<i>Yuming Huang</i>		

CITY OF MERIDIAN

PRE-APPLICATION MEETING NOTES

Project/Subdivision Name: Villasport _____ Date: 06/28/2018 _____
 Applicant(s)/Contact(s): Tamara Thompson _____
 City Staff: Josh, Bill, Denny _____
 Location: SWC of Ustick and Eagle _____ Size of Property: 11.4 acres _____
 Comprehensive Plan FLUM Designation: MU-RG _____
 Design Guidelines Development Context: Urban Urban/Suburban Suburban Rural
 Existing Use: Vacant _____ Existing Zoning: C-G _____
 Proposed Use: Outdoor Recreation _____ Proposed Zoning: C-G _____
 Surrounding Uses: Commercial and residential _____
 Street Buffer(s) and/or Land Use Buffer(s): 25 against residential, and 35 against Eagle and Ustick _____
 Open Space/Amenities/Pathways: _____
 Access/Stub Streets/Street System: _____
 Sewer & Water Service: _____
 Waterways/ Floodplain/Topography/Hazards: _____
 History: _____
 Additional Meeting Notes: _____

- 35 foot landscape buffers are required along Ustick and Eagle
- Provide a new legal description to enter into a new DA
- 100 feet is required between any outdoor space and any residential district
- 11-3A-13 requires that outdoor speakers are a minimum of 100 feet from any residential district or a CUP is required
- A block wall will likely be required up against the west boundary
- A CUP is required to be open earlier than 6 am
- The Milk Lateral will be required to be tiled
- The applicant shall comply with the specific use standards for outdoor and indoor recreation 11-4-3-2

Note: A Traffic Impact Study (TIS) will be required by ACHD for large commercial projects and any residential development with over 100 units. To avoid unnecessary delays & expedite the hearing process, applicants are encouraged to submit the TIS to ACHD prior to submitting their application to the City. Not having ACHD comments and/or conditions on large projects may delay hearing(s) at the City. Please contact Mindy Wallace at 387-6178 or Christy Little at 387-6144 at ACHD for information in regard to a TIS, conditions, impact fees and process.

Other Agencies/Departments to Contact:

- | | | |
|---|---|--|
| <input type="checkbox"/> Ada County Highway Dist. (ACHD) | <input type="checkbox"/> Nampa Meridian Irrigation Dist. (NMID) | <input type="checkbox"/> Public Works Department |
| <input type="checkbox"/> Idaho Transportation Dept. (ITD) | <input type="checkbox"/> Settler's Irrigation District | <input type="checkbox"/> Building Department |
| <input type="checkbox"/> Republic Services | <input type="checkbox"/> Police Department | <input type="checkbox"/> Parks Department |
| <input type="checkbox"/> Central District Health Department | <input type="checkbox"/> Fire Department | <input type="checkbox"/> Other: _____ |

Application(s) Required:

- | | | |
|--|---|---|
| <input type="checkbox"/> Administrative Design Review | <input type="checkbox"/> Conditional Use Permit Modification/Transfer | <input type="checkbox"/> Rezone |
| <input type="checkbox"/> Alternative Compliance | <input type="checkbox"/> Development Agreement Modification | <input type="checkbox"/> Short Plat |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Final Plat | <input type="checkbox"/> Time Extension – Council |
| <input type="checkbox"/> City Council Review | <input type="checkbox"/> Final Plat Modification | <input type="checkbox"/> UDC Text Amendment |
| <input type="checkbox"/> Comprehensive Plan Amendment – Map | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Vacation |
| <input type="checkbox"/> Comprehensive Plan Amendment – Text | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Private Street | <input type="checkbox"/> Other |

Notes: 1) Applicants are required to hold a neighborhood meeting in accord with UDC 11-5A-5C prior to submittal of an application requiring a public hearing (except for a vacation or short plat); and 2) All applicants for permits requiring a public hearing shall post the site with a public hearing notice in accord with UDC 11-5A-5D.3 (except for UDC text amendments, Comp Plan text amendments, and vacations). The information provided during this meeting is based on current UDC requirements and the Comprehensive Plan. Any subsequent changes to the UDC and/or Comp Plan may affect your submittal and/or application. This pre-application meeting shall be valid for four (4) months.

Bill Parsons

From: Christy Little <Clittle@achdidaho.org>
Sent: Tuesday, October 30, 2018 3:30 PM
To: Bill Parsons
Subject: Villa Sport

Hi Bill – ACHD has reviewed and approved the TIS; and you can transmit the application.
Thanks for checking,
Christy

*Christy Little
Planning Review Supervisor
Development Services
(208)387-6144*



Community Development
Department

Meridian City Hall, Suite 102
33 E. Broadway Avenue
Meridian, Idaho 83642
208.887.2211

Parcel Verification

Date: **10/11/18**

The parcel information below has been researched and verified as correct by the City of Meridian Community Development Department.

Project Name: **VILLASPORT**

Parcel Numbers: **S1105110100 (7.874 Acres)**
S1105110067 (3.515 Acres)

T/R/S: **3N 1E 05**

Property Owners: **B Three LLC (1st parcel listed)**
10789 W. Twain Ave., #200
Las Vegas, 89135

Sadie Creek Commons LLC (2nd parcel listed)
10777 W. Twain Ave., #225
Las Vegas, NV 89135

COMMITMENT OF PROPERTY POSTING

Per Unified Development Code (UDC) 11-5A-5D, the applicant for all applications requiring a public hearing (except for a UDC text amendment, a Comprehensive Plan text amendment and/or vacations) shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice of the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

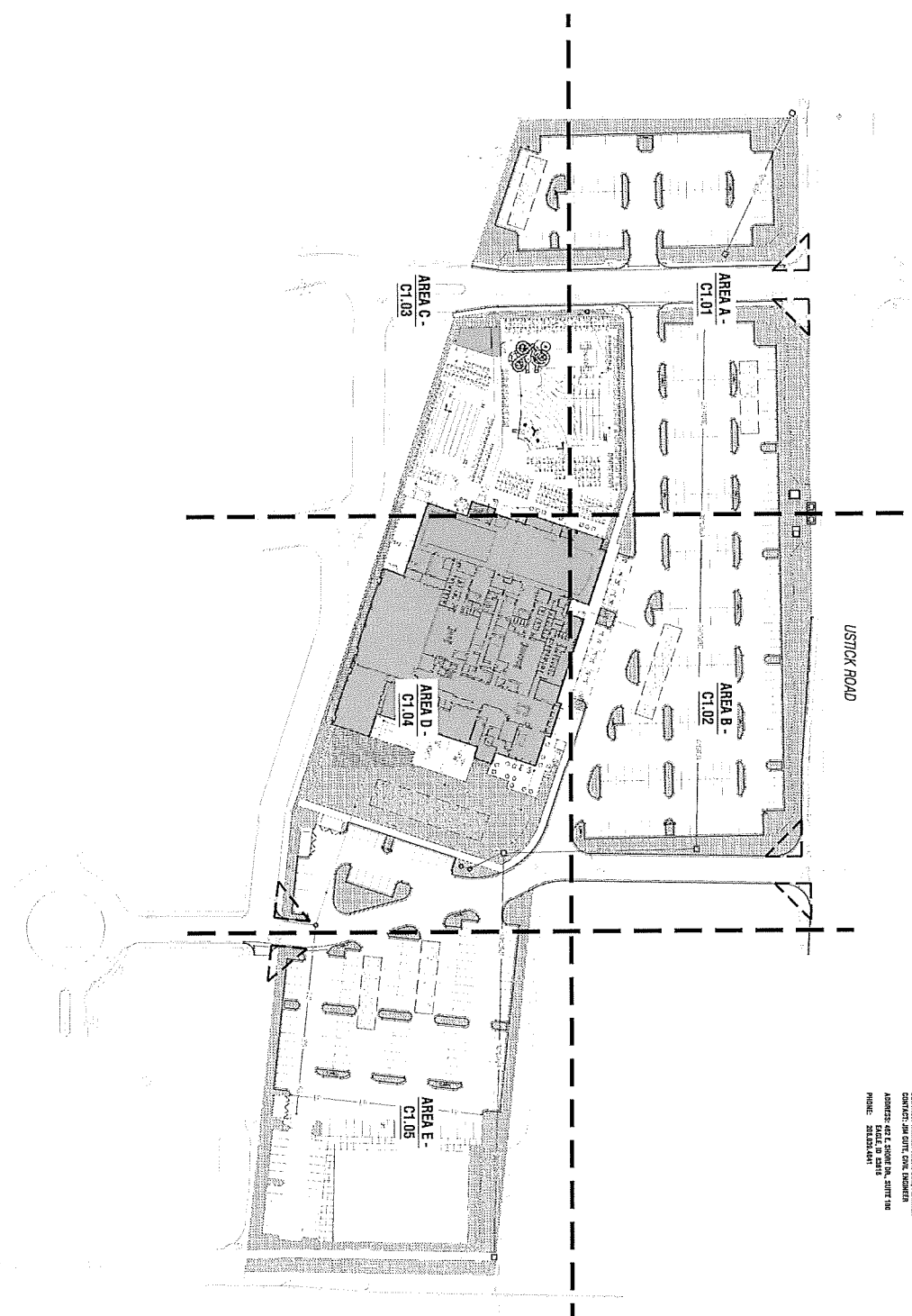
The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in UDC 11-5A-5.

Jamara Simpson

Applicant/agent signature

October 10, 2018
Date



Project Information:
 VILLASPORT SWC USTICK ROAD & EAGLE ROAD
 PROJECT: SWC USTICK ROAD, LLC
 ADDRESS: 7000 N. MAIN AVE #200
 LAS VEGAS, NV 89138
 CLIENT: VILLASPORT SWC, LLC
 CONTRACT: VILLASPORT SWC, LLC
 ADDRESS: 4000 S. GARDEN BLVD. SUITE 100
 MOBILE: 702.834.8441
 PHONE: 702.834.8441

Material Legend:

	LANDSCAPE AREA
	SITE AREA

Keynotes:

1. TREE SYMBOL
2. CONCRETE SIDEWALK PER SPECIFICATIONS
3. CURB & GUTTER PER SPECIFICATIONS
4. PAVEMENT MARKING PER SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS
5. ADA RAMPWAY SIGN
6. SAFETY BARRIER SIGNAGE
7. FENCE PER ARCHITECT
8. FENCE PER ARCHITECT
9. BRICK PAVEMENT
10. TRASH / RECYCLING AND EXHAUSTION SIGNAGE
11. WALKWAY PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
12. FIRE SERVICE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
13. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
14. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
15. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
16. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
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20. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
21. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
22. SIGNAGE PER SPEC AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS

Project Calculations:
 PROPOSED ZONE: 4000 SQ. FT. +/- 113A ACRES
 PROPOSED BUILDING SQ. FT.: 5700 SQ. FT. +/- 131 ACRES
 PARKING CALCULATIONS:
 PARKING SPACES REQUIRED: 114 SPACES
 PARKING SPACES PROVIDED: 148 SPACES
 ACCESSIBLE PARKING SPACES REQUIRED: 11 ACCESSIBLE SPACES
 ACCESSIBLE PARKING SPACES PROVIDED: 14 ACCESSIBLE SPACES
 BICYCLE PARKING SPACES REQUIRED: 22
 BICYCLE PARKING SPACES PROVIDED: 22

Zoning Regulations:

LOCAL DESCRIPTION: SET-B30
 CONVENIENT ZONING: C-6 (NO CHANGE)
 LANDSCAPE BUFFERING
 STREET: 20 FT MINIMUM OR SETBACK NO. 12.5 FT MINIMUM OF EAGLE RD.
 RESIDENTIAL USES: 25 FT MINIMUM
 REAR SETBACK: 5 FT
 REAR SETBACK: 5 FT
 INTERIOR SIDE SETBACK: 5 FT
 MAXIMUM BUILDING HEIGHT: 6.5 FT

**VILLASPORT
 SWC USTICK RD & EAGLE RD**

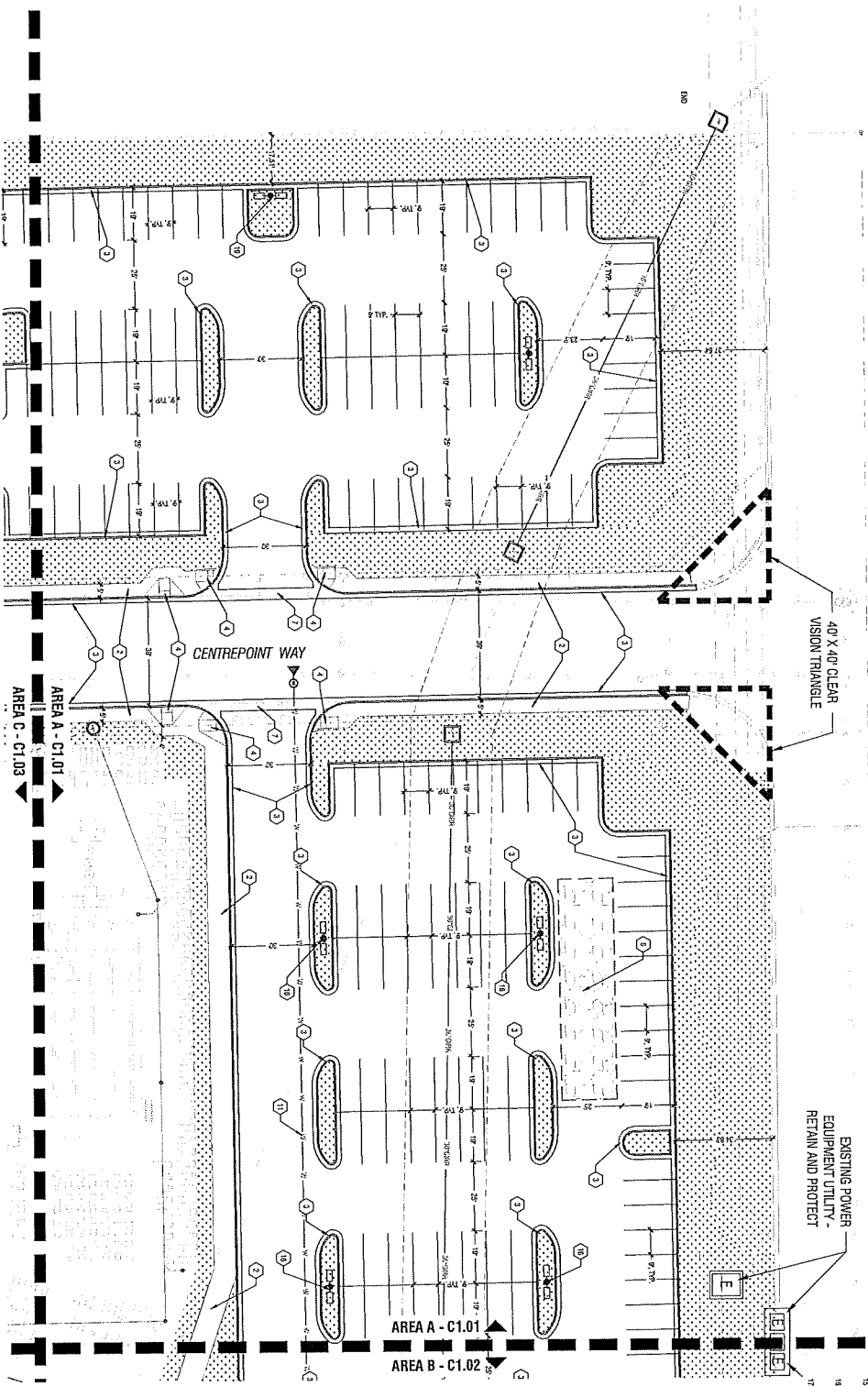
Meridian, Idaho

NOT FOR CONSTRUCTION

Project No: 11778
 Date of Issuance: 11/20/24
 Project Location: Meridian, Idaho
 Scale: 1" = 60'

C1.00
 Site Plan
 Overall





USTICK ROAD

40' X 40' CLEAR VISION TRIANGLE

EXISTING POWER EQUIPMENT UTILITY - RETAIN AND PROTECT

AREA A - C1.01
 AREA C - C1.03

AREA A - C1.01
 AREA B - C1.02

Keynotes:

1. FIRE RESISTANT
2. CONCRETE EXTERIOR FINISH
3. CONCRETE EXTERIOR FINISH
4. CONCRETE EXTERIOR FINISH
5. CONCRETE EXTERIOR FINISH
6. CONCRETE EXTERIOR FINISH
7. CONCRETE EXTERIOR FINISH
8. CONCRETE EXTERIOR FINISH
9. CONCRETE EXTERIOR FINISH
10. CONCRETE EXTERIOR FINISH
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16. CONCRETE EXTERIOR FINISH
17. CONCRETE EXTERIOR FINISH

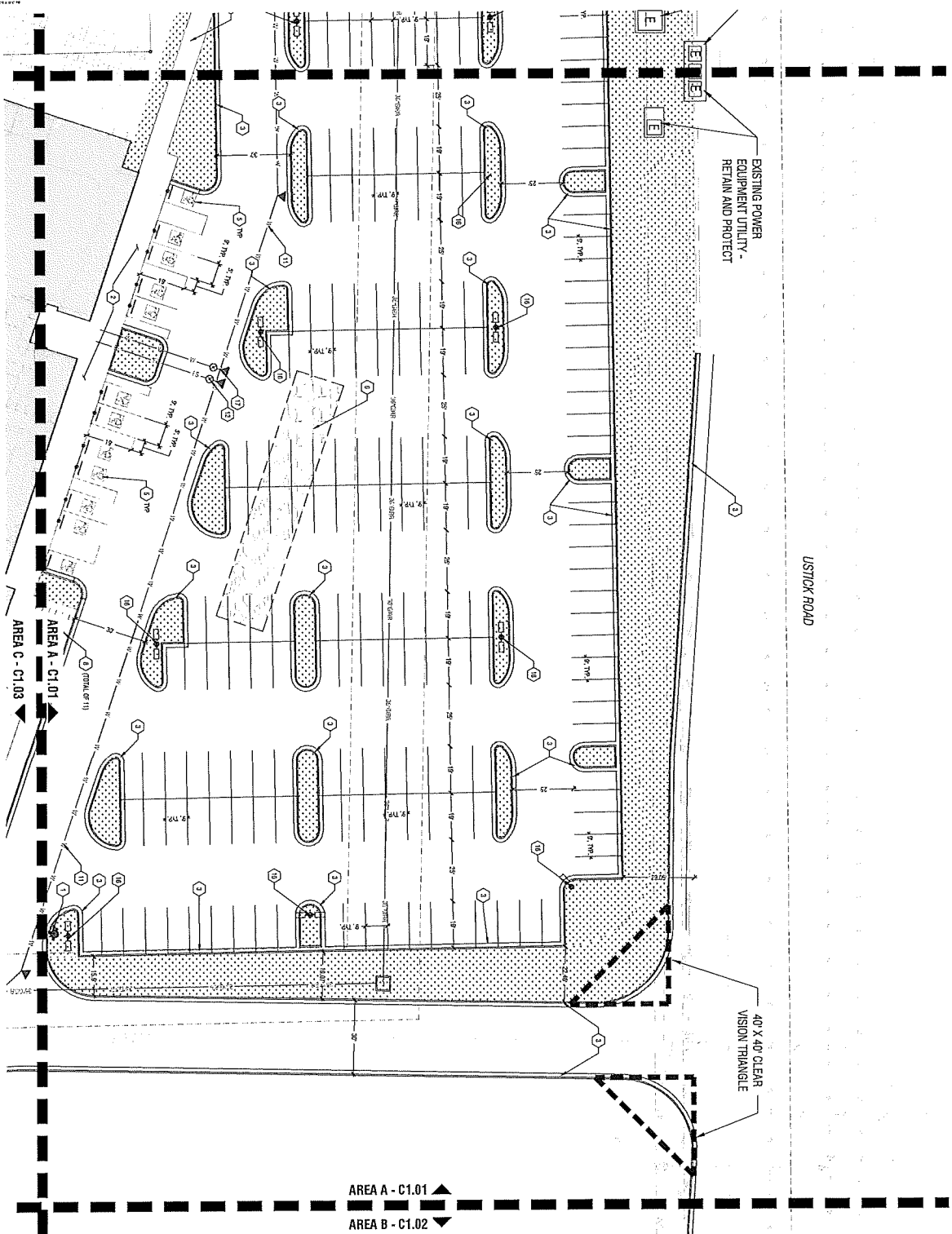
NOT FOR CONSTRUCTION

Project: VILLASPORT
 Date: 10/15/2014
 Drawn: [Name]
 Checked: [Name]
 Title: [Title]

**VILLASPORT
 SWC USTICK RD & EAGLE RD**

Meridan, Idaho





EXISTING POWER
 EQUIPMENT UTILITY -
 RETAIN AND PROTECT

USTICK ROAD

40' X 40' CLEAR
 VISION TRIANGLE

AREA A - C1.01
 AREA B - C1.02

- Keynotes:**
1. FENCE REQUIRED
 2. FENCE HEIGHT SHALL BE AS SPECIFIED
 3. CHAIN LINK FENCE WITH 4" X 4" MESH
 4. FENCE SHALL BE SET BACK FROM ADJACENT PROPERTY
 5. FENCE SHALL BE SET BACK FROM DRIVEWAY
 6. FENCE SHALL BE SET BACK FROM SIDEWALK
 7. FENCE SHALL BE SET BACK FROM CURB
 8. FENCE SHALL BE SET BACK FROM STREET
 9. FENCE SHALL BE SET BACK FROM ALLEY
 10. FENCE SHALL BE SET BACK FROM LOT LINE
 11. FENCE SHALL BE SET BACK FROM LOT LINE
 12. FENCE SHALL BE SET BACK FROM LOT LINE
 13. FENCE SHALL BE SET BACK FROM LOT LINE
 14. FENCE SHALL BE SET BACK FROM LOT LINE
 15. FENCE SHALL BE SET BACK FROM LOT LINE
 16. FENCE SHALL BE SET BACK FROM LOT LINE
 17. FENCE SHALL BE SET BACK FROM LOT LINE

NOT FOR CONSTRUCTION

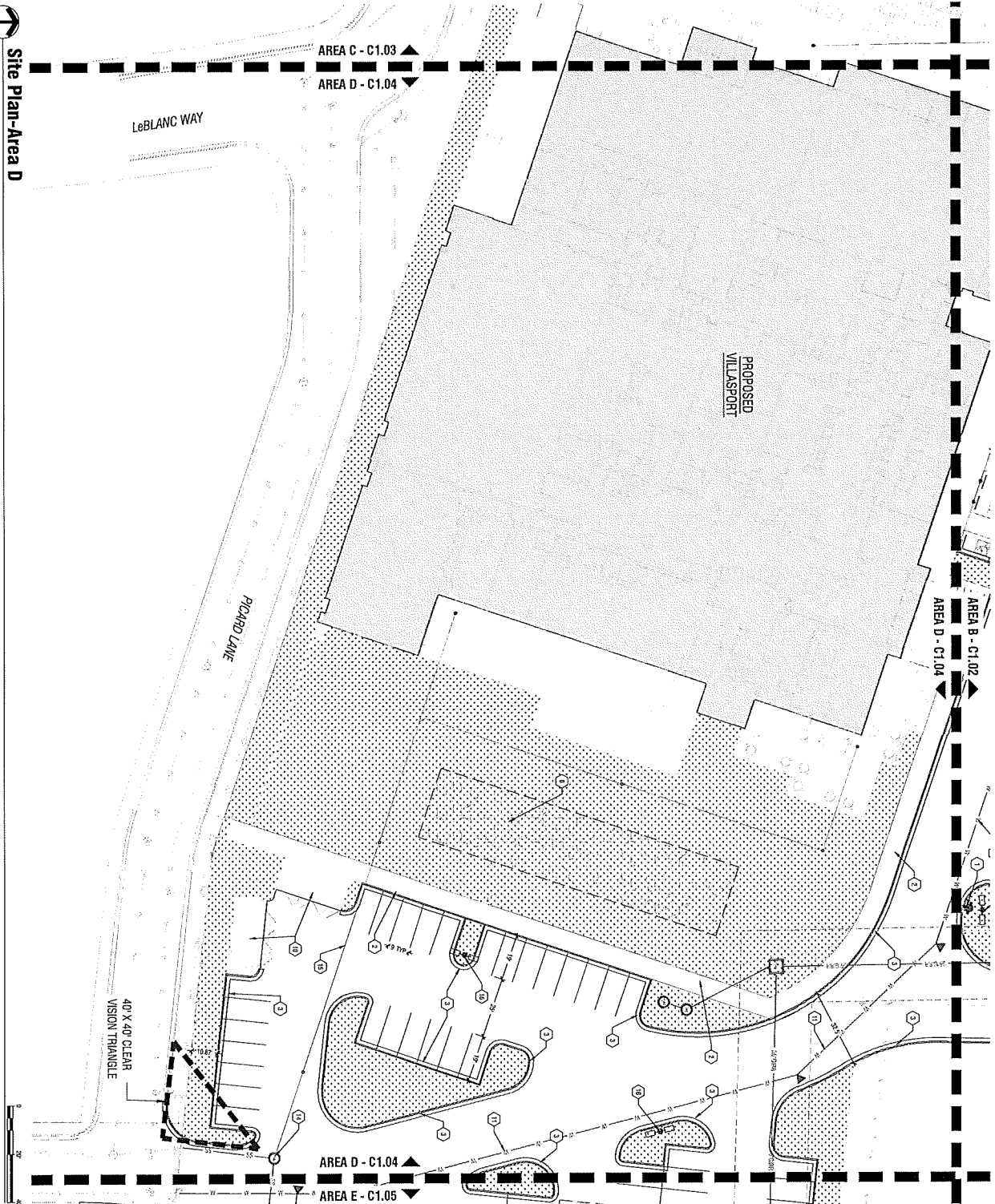
THE LAND GROUP

Meridian, Idaho

**VILLASPORT
 SWC USTICK RD & EAGLE RD**



Site Plan-Area D




Keynotes:

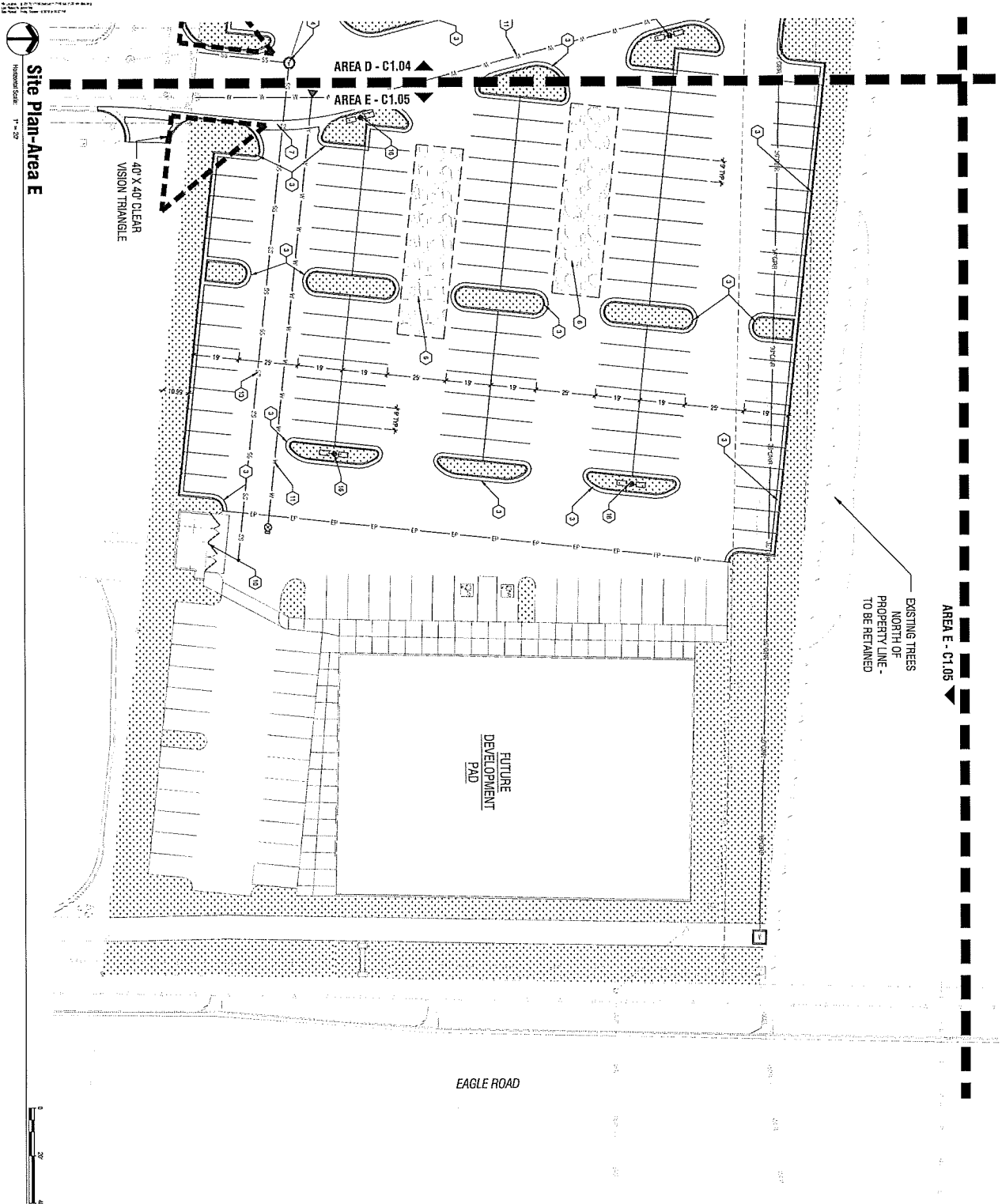
1. FIRE EXTINGUISHER
2. CONCRETE SIDEWALK PER SPECIFIC REQUIREMENTS
3. DRIVE ISLAND PER SPECIFIC REQUIREMENTS
4. ADA COMPLIANT CURB CUT PER SPECIFIC REQUIREMENTS
5. ADA COMPLIANT CHALK
6. SIGNAGE PER SPECIFIC REQUIREMENTS
7. CONCRETE WALKWAY CENTER PER SPECIFIC REQUIREMENTS
8. FINISH PER SPECIFIC REQUIREMENTS
9. SIGNAGE PER SPECIFIC REQUIREMENTS
10. TRASH/RECYCLING AND SEPARATION ENCLOSURE
11. WATER MAIN PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
12. FIRE SERVICE PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
13. SEWER MAIN PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
14. SEWER MANHOLE PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
15. SANITARY SERVICE PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
16. ELECTRICAL PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS
17. WATER SERVICE PER SPECIFIC REQUIREMENTS AND CITY OF MERIDIAN PUBLIC WORKS REQUIREMENTS

VILLASPORT
SWC USTICK RD & EAGLE RD

Meridian, Idaho



NOT FOR CONSTRUCTION
 1/2" = 10'

 Project Name: Villasport
 Project Location: Meridian, Idaho
 Date: 1/15/2024
 Scale: 1/2" = 10'
C1.04
 Site Plan
 Area D



AREA E - C1.05

EXISTING TREES NORTH OF PROPERTY LINE - TO BE RETAINED

FUTURE DEVELOPMENT PAD

EAGLE ROAD

Site Plan - Area E

North Arrow

1" = 20'



- Keynotes:**
1. TREE REMOVAL
 2. CONCRETE SIDEWALK PROPOSED
 3. CONCRETE DRIVEWAY PROPOSED
 4. FUTURE DRIVEWAY PROPOSED
 5. FUTURE DRIVEWAY PROPOSED
 6. FUTURE DRIVEWAY PROPOSED
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 13. FUTURE DRIVEWAY PROPOSED
 14. FUTURE DRIVEWAY PROPOSED
 15. FUTURE DRIVEWAY PROPOSED
 16. FUTURE DRIVEWAY PROPOSED
 17. FUTURE DRIVEWAY PROPOSED

**VILLASPORT
SWC USTICK RD & EAGLE RD**

Meridian, Idaho



NOT FOR CONSTRUCTION

C1.05

Site Plan Area E

Project No. 111111
 Date of Revision 11/11/11
 Project Location 111111
 Scale 1" = 20'

Project Information:
 VILLASPORT SWC USTICK ROAD L1.00
 DEVELOPER: JAMES LEO, LANDSCAPE DESIGNER
 ADDRESS: 402 E. HOBBS DR., SUITE 100
 PHOENIX, AZ 85044-1001

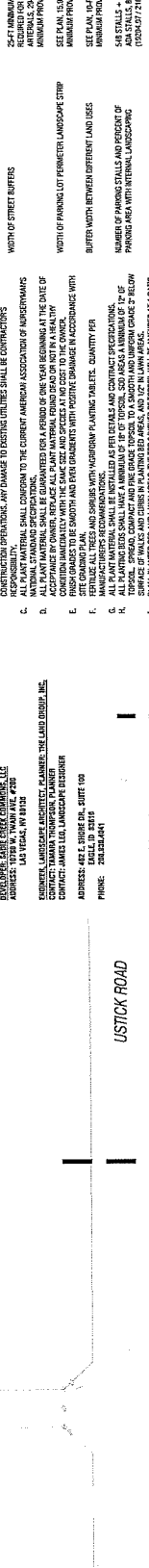
Landscape Notes:
 1. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERMANS NATIONAL STANDARD SPECIFICATIONS.
 2. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
 3. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
 4. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
 5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
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 8. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
 9. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
 10. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.

Landscape Calculations:
 29 TREES, 100 L.F.
 2547 SQUARE FEET PER PERIMETER LANDSCAPE STRIP
 100% OF STREET BARRIERS
 100% OF PERIMETER LANDSCAPE STRIP
 BUFFER WIDTH BETWEEN DIFFERENT LAND USES
 NUMBER OF PARKING SPACES AND PERCENT OF PARKING AREA WITH INTERNAL LANDSCAPING
 TOTAL NUMBER OF TREES AND TREE SPACES PER PERIMETER AND INTERNAL LANDSCAPING
 MITIGATION FOR REMOVAL OF EXISTING TREES
 RELOCATION OF EXISTING TREES
 THIS SHEET

Landscape Requirements:
 LANDSCAPE BUFFER ALONG STREET (L1.00-L1.02)
 ONE (1) TREE PER THIRTY (30) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATION ALONG CURB.
 STREET
 ONE (1) TREE PER THIRTY (30) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATION ALONG CURB.
 PERIMETER
 ONE (1) TREE PER THIRTY (30) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATION ALONG CURB.
 INTERIOR
 ONE (1) TREE PER THIRTY (30) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATION ALONG CURB.
 NORTH PERIMETER
 SOUTH PERIMETER
 WEST PERIMETER
 EAST PERIMETER

Material Legend:
 TYPE 500
 EXISTING TREES TO BE REMOVED
 LANDSCAPE PLANTING SHRUB BED AREA

Tree Mitigation Keynotes:
 EXISTING WEEDY AND WEAK-WOODED TREE - TO BE REMOVED, NO REPLACEMENT REQUIRED.
Landscape Keynotes:
 PROPOSED GREEN WALL - MATCH EXISTING SHOWER WALL STYLE, COLOR, AND FINISH.
 EXISTING WALL TO BE REPLACED ON KEYNOTE L1.00 DETAIL A1.1.50
 FINISH AND COLOR TO MATCH EXISTING WALLS.
 FINISH AND COLOR TO MATCH EXISTING WALLS.



VILLASPORT SWC USTICK RD & EAGLE RD

Manhattan, Idaho

NOT FOR CONSTRUCTION

Landscape Plan Overall

L1.00

1" = 60'

LANDSCAPE SCALE

1" = 60'

LANDSCAPE SCALE

**VILLASPORT
SWC USTICK RD & EAGLE RD**

Meridian, Idaho



PROJECT NO. 1300
DATE: 03/27/23
PROJECT MANAGER: [Name]
Landscape Plan
Area A

L1.01

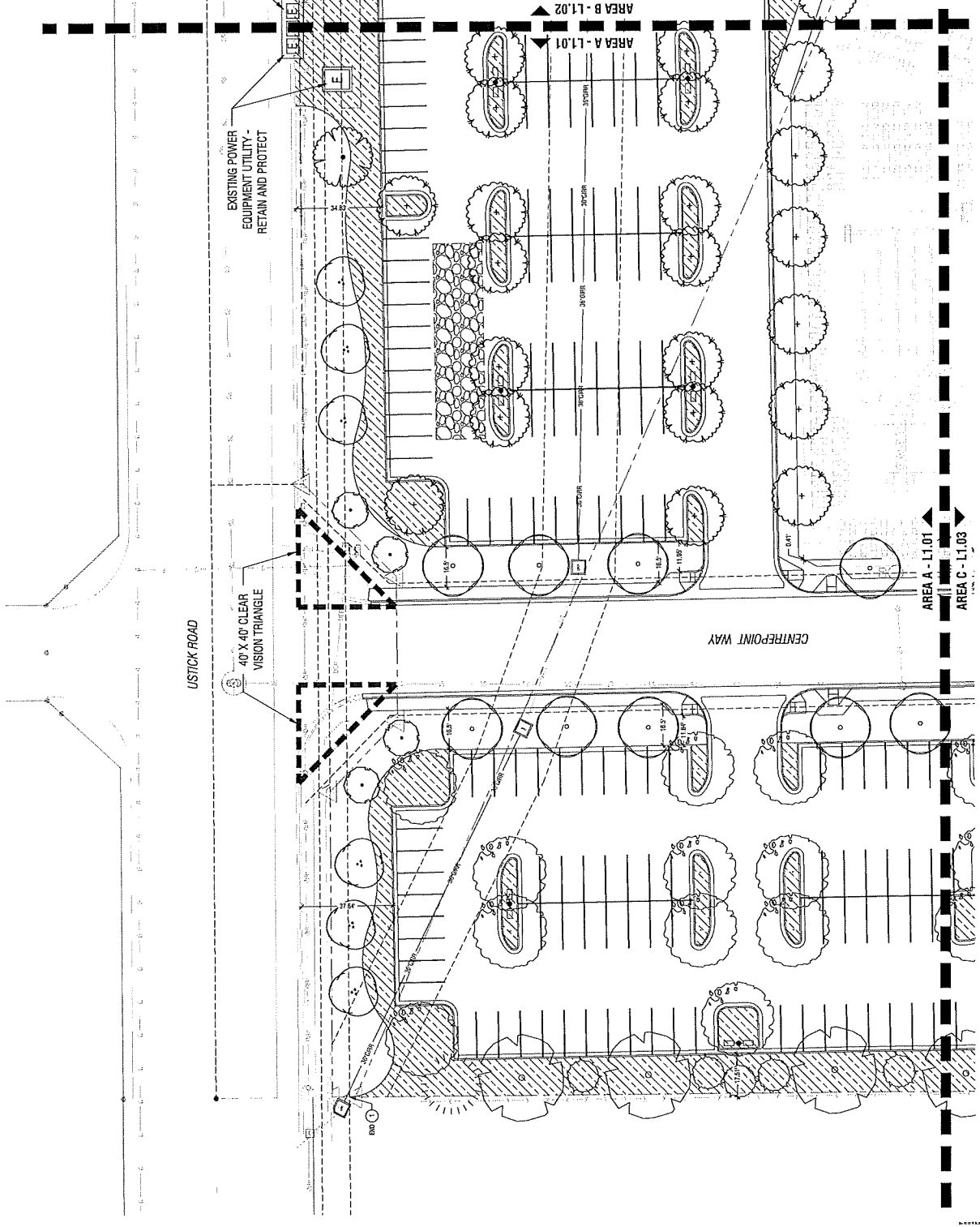
Material Legend:

- Turf Sod
- Landscape Material Shrub
- Existing Tree - To Be Removed

Tree Mitigation Keynotes:
 1. EXISTING TREE TO BE REMOVED
 2. NEW PLANTING

Landscape Keynotes:
 1. EXISTING TREE TO BE REMOVED
 2. NEW PLANTING

PLANT SCHEDULE	CODE	BOTANICAL NAME / COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES	1A	BOYDIA FRAXINIFOLIA / AMELANCHIER	2" CAL.	18" BUB
	1B	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL.	18" BUB
	1C	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	1D	QUERCUS ALBA / WHITE OAK	2" CAL.	18" BUB
	1E	QUERCUS PRINCEPIUM / PRINCEPIUM OAK	2" CAL.	18" BUB
	1F	QUERCUS LAEVIS / LAEVIS OAK	2" CAL.	18" BUB
	1G	QUERCUS BREVIFOLIA / SHORT LEAF OAK	2" CAL.	18" BUB
	1H	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1I	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1J	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1K	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1L	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1M	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1N	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1O	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1P	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1Q	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1R	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1S	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1T	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1U	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1V	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1W	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1X	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1Y	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	1Z	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2A	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2B	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2C	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2D	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2E	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2F	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2G	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2H	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2I	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2J	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2K	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2L	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2M	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2N	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2O	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2P	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2Q	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2R	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2S	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2T	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2U	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2V	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2W	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2X	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2Y	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB
	2Z	QUERCUS LAEVALIS / LAEVALIS OAK	2" CAL.	18" BUB



Landscape Plan-Area A
 Meridian, Idaho 1" = 20'

Material Legend:

- Turf Sod
- Landscaping - Existing
- Red Area



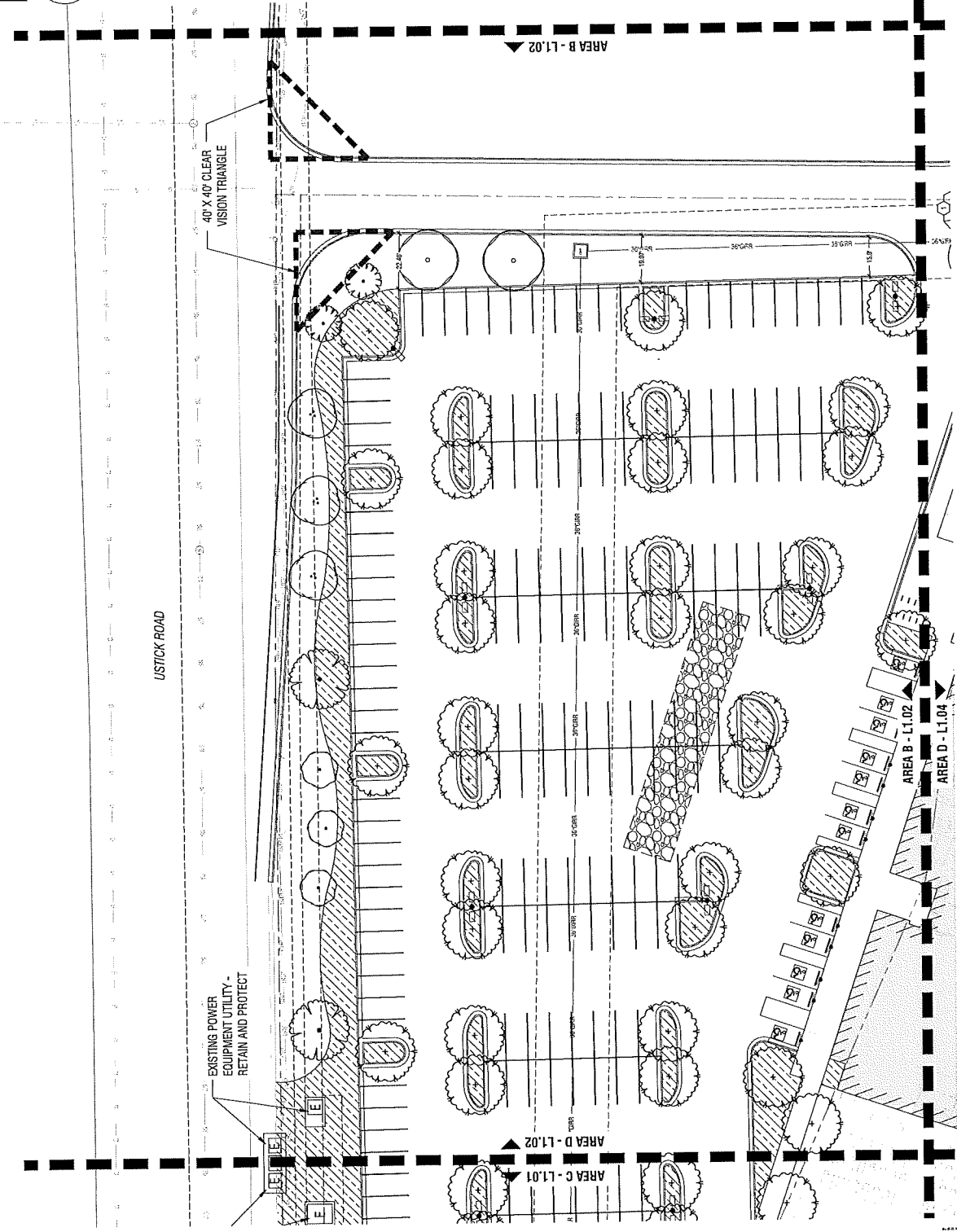
Tree Mitigation Keynotes:

- 1. EXISTING TREES AND UNMARKED TREES - TO BE REMOVED. NO REPLACEMENT REQUIRED.
- 2. EXISTING TREES AND UNMARKED TREES - TO BE RETAINED. NO REPLACEMENT REQUIRED.

Landscape Keynotes:

- 1.1. EXISTING WALL TO BE REPLACED OR REMOVED. SEE DETAIL A4.150 FOR REPAIRS TO EXISTING WALL.
- 1.2. EXISTING WALL TO BE REPLACED OR REMOVED. SEE DETAIL A4.150 FOR REPAIRS TO EXISTING WALL.
- 1.3. RETURN AND PROTECT EXISTING WOOD TREES.

RECURRING TREES CODE	BOTANICAL NAME / COMMON NAME	SIZE	CONTAINER
TA	WINTERGREEN / FREEMAN MAPLE	2" CAL	18" BUB
AC	ACORN PLATANUS / PARROTWOOD	2" CAL	18" BUB
AD	ACORN PLATANUS / PARROTWOOD	2" CAL	18" BUB
FA	FRANKLIN AMERICAN AUTUMN PINK / AUTUMN PINK	2" CAL	18" BUB
CI	CELESTINA TRICHODENDRON / AUTUMN PINK	2" CAL	18" BUB
TI	TOURNEFORTIA / SPYGLASS	2" CAL	18" BUB
FO	FORESCAPE LITTLELEAF	2" CAL	18" BUB
CO	CORONA / COMMON NAME	2" CAL	18" BUB
PA	PANAMA / COMMON NAME	6" HGT.	18" BUB
PR	PRINCE STRONGS / COMMON NAME	6" HGT.	18" BUB
PS	PRINCE STRONGS / COMMON NAME	6" HGT.	18" BUB
PN	PRINCE STRONGS / COMMON NAME	6" HGT.	18" BUB
CP	COMMON NAME	2" CAL	18" BUB
MP	COMMON NAME	2" CAL	18" BUB
MS	COMMON NAME	2" CAL	18" BUB
PC	COMMON NAME	2" CAL	18" BUB



Landscape Plan-Area B

1" = 20'



**VILLASPORT
SWC USTICK RD & EAGLE RD**

Merriman, Maine



Project No. 15072
Date of Revision: 08/2023
Drawing Number: Landscape Plan Area B

L1.02



Material Legend:

- TURF SOD
- LANDSCAPE SHRUB AND TREE
- EXISTING TREE - TO BE REMOVED

Tree Mitigation Keynotes:

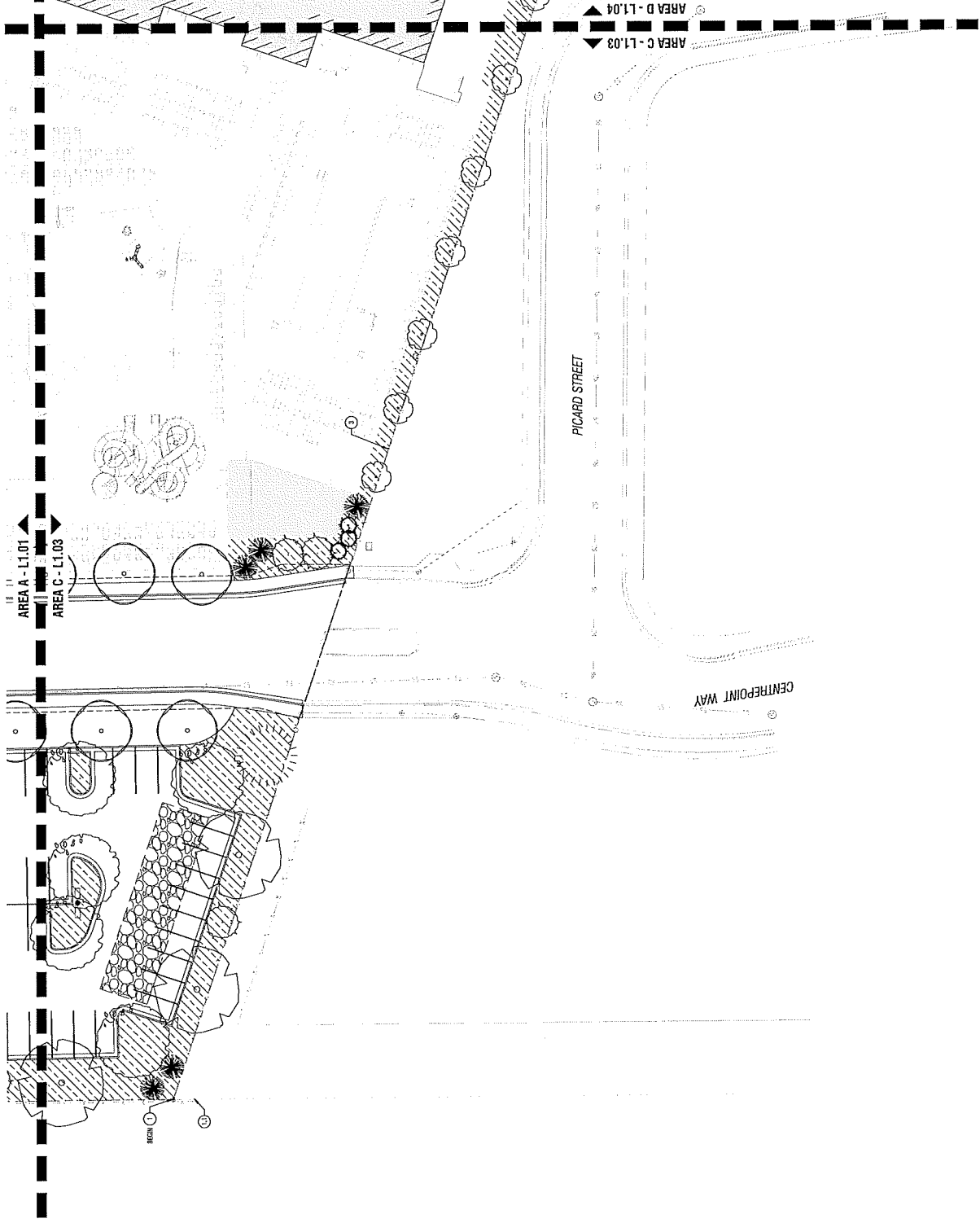
1. EXISTING TREES AND SHRUBS REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON EXISTING L1. SEE DETAIL 411.50 FOR MITIGATION KEYNOTE L1.50-11-01-A.

Landscape Keynotes:

1. EXISTING TREES AND SHRUBS REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON EXISTING L1. SEE DETAIL 411.50 FOR MITIGATION KEYNOTE L1.50-11-01-A.

2. RETURN AND PROTECT EXISTING WOOD FENCE.

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	CONTAINER
	A4	ACER PLATANIFOLIUS / NORWAY SPRUCE	2" CAL.	18" BUB
	A6	ACER PLATANIFOLIUS / NORWAY SPRUCE	2" CAL.	18" BUB
	A8	ACER PLATANIFOLIUS / NORWAY SPRUCE	2" CAL.	18" BUB
	A10	ACER PLATANIFOLIUS / NORWAY SPRUCE	2" CAL.	18" BUB
	A12	ACER PLATANIFOLIUS / NORWAY SPRUCE	2" CAL.	18" BUB
	G1	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G2	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G3	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G4	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G5	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G6	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G7	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G8	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G9	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G10	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G11	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G12	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G13	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G14	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G15	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G16	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G17	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G18	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G19	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G20	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G21	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G22	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G23	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G24	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G25	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G26	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G27	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G28	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G29	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G30	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G31	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G32	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G33	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G34	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G35	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G36	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G37	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G38	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G39	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G40	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G41	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G42	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G43	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G44	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G45	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G46	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G47	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G48	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G49	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G50	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G51	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G52	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G53	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G54	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G55	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G56	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G57	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G58	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G59	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G60	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G61	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G62	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G63	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G64	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G65	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G66	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G67	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G68	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G69	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G70	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G71	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G72	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G73	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G74	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G75	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G76	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G77	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G78	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G79	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G80	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G81	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G82	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G83	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G84	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G85	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G86	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G87	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G88	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G89	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G90	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G91	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G92	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G93	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G94	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G95	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G96	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G97	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G98	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G99	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB
	G100	QUERCUS ROBUR / RED OAK	2" CAL.	18" BUB



**VILLASPORT
SWC USTICK RD & EAGLE RD**

Mendota, Idaho



CONSTRUCTION
 Project No. 13-001
 Date of Issuance 12/2013
 Project Location Villasport
 Landscape Plan Area D

L1.04

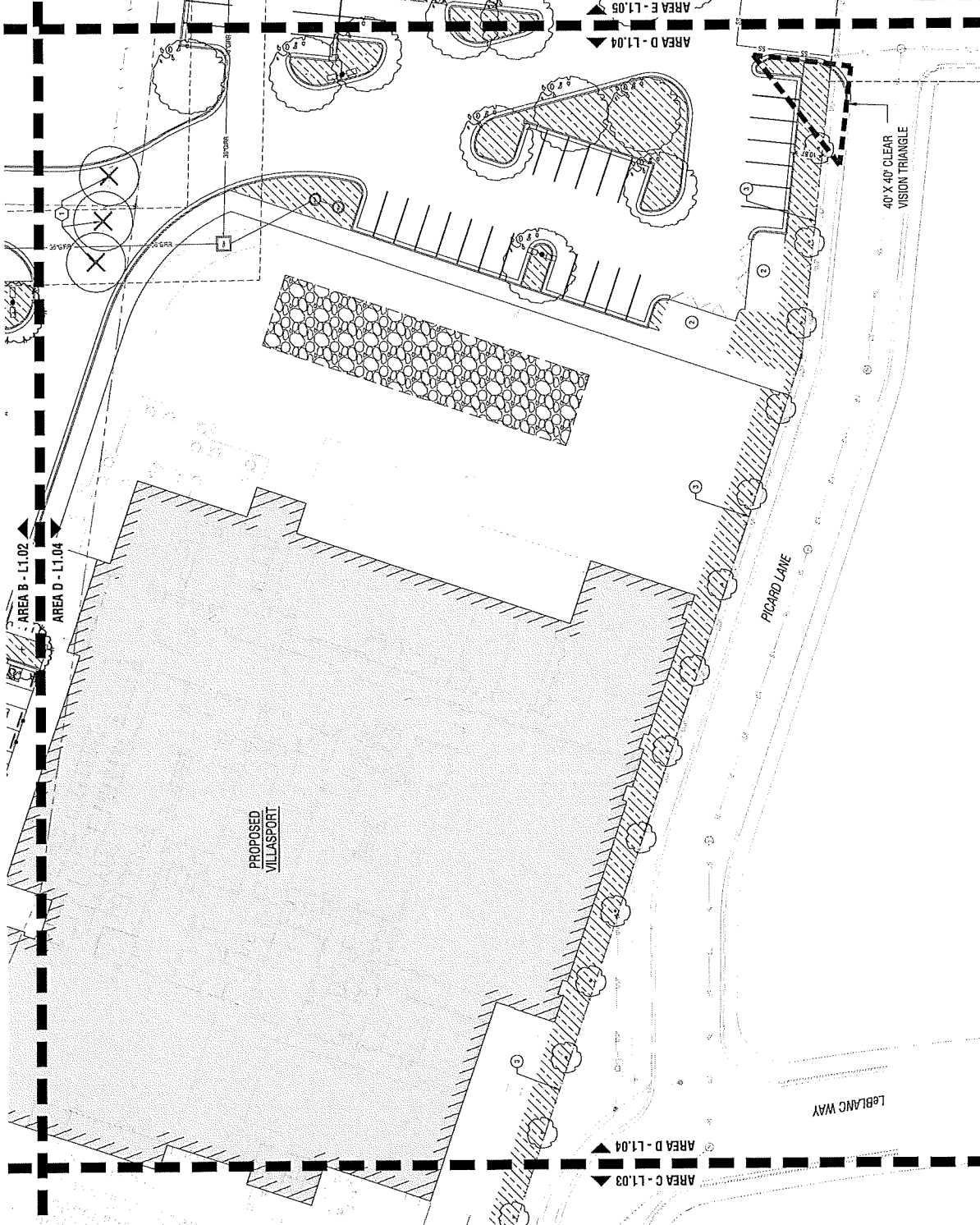
Material Legend:

- TURF SOD
- LANDSCAPE SPREAD BED BANK
- EXISTING TREE - TO BE REMOVED

Tree Mitigation Keynotes:
 REF: ARBORAL CITY TREE (1.50-100-2-2)
 1. EXISTING MATERIALS AND WORKED TREE - TO BE REMOVED, NO REPLACEMENT REQUIRED.

Landscape Keynotes:
 REF: ARBORAL CITY TREE (1.50-100-2-2)
 1. EXISTING MATERIALS AND WORKED TREE - TO BE REMOVED, NO REPLACEMENT REQUIRED.
 1.1. EXISTING WALL TO BE REPLACED IN KEYNOTE 1. SEE DETAIL 441.50 AND REBAR AS NOTED ON ASHOTE 1.1.
 2. EXISTING WALL TO BE REPLACED IN KEYNOTE 1. SEE DETAIL 441.50 AND REBAR AS NOTED ON ASHOTE 1.1.
 3. RETURN AND PROTECT EXISTING WOOD FENCE.

DECIDUOUS TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	CONTAINER
1A	1A	AMSTROMIA / FREEMAN MAPLE	2" CAL. 10' H.	10" GAL
1B	1B	ACER PLATANOIDES / NORWAY SPRUCE	2" CAL. 10' H.	10" GAL
1C	1C	SEBASTIAE / SEBASTIAE	2" CAL. 10' H.	10" GAL
1D	1D	FRAXINUS AMERICANA / AMERICAN PAPERBARK	2" CAL. 10' H.	10" GAL
1E	1E	QUERCUS TOBACONIFOLIA / SWAMP WHITE OAK	2" CAL. 10' H.	10" GAL
1F	1F	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1G	1G	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1H	1H	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1I	1I	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1J	1J	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1K	1K	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1L	1L	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1M	1M	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1N	1N	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1O	1O	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1P	1P	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1Q	1Q	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1R	1R	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1S	1S	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1T	1T	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1U	1U	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1V	1V	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1W	1W	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1X	1X	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1Y	1Y	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL
1Z	1Z	QUERCUS LAEVIS / PINNACLED OAK	2" CAL. 10' H.	10" GAL





Material Legend:

- TYPE 500
- LANDSCAPE BED AREA
- EXISTING TREE - TO BE REMOVED

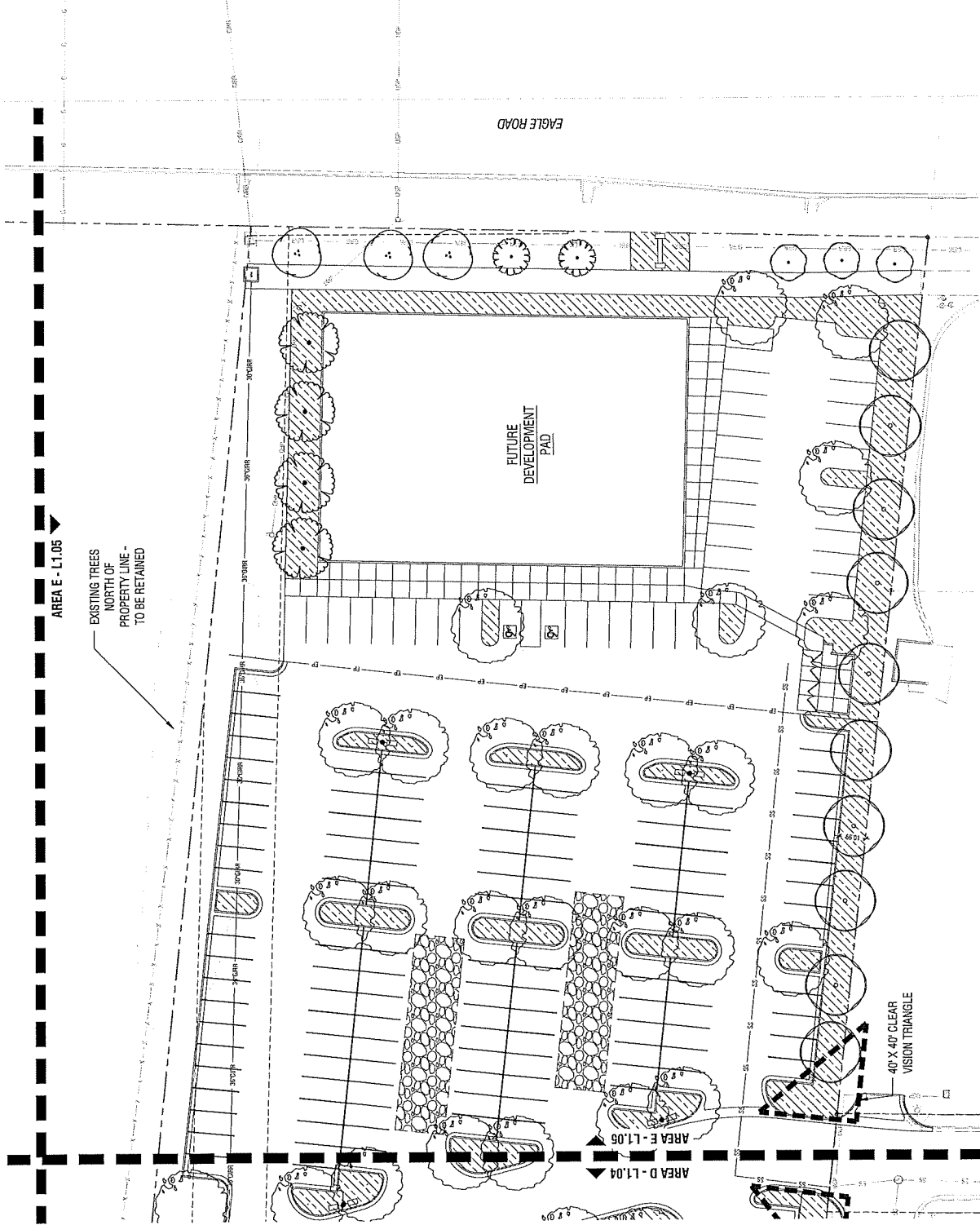
Tree Mitigation Keynotes:

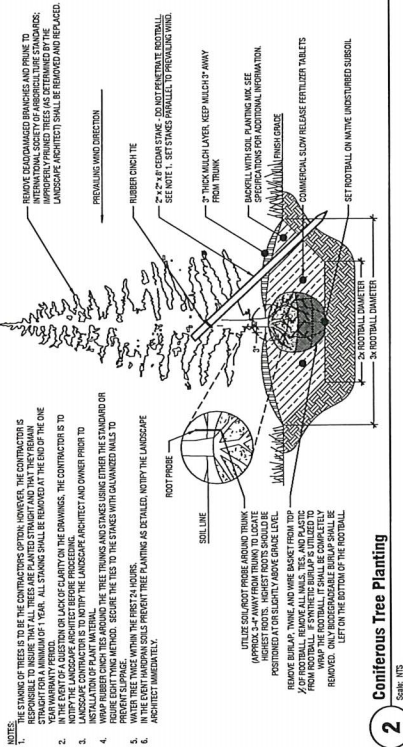
1. SPECIES, HEIGHT, CALIBER AND WOODED TREE - TO BE REMOVED, NO REPLACEMENT REQUIRED.
2. SPECIES, HEIGHT, CALIBER AND WOODED TREE - TO BE REMOVED, REPLACEMENT REQUIRED.
3. SPECIES, HEIGHT, CALIBER AND WOODED TREE - TO BE RETAINED, NO REPLACEMENT REQUIRED.
4. SPECIES, HEIGHT, CALIBER AND WOODED TREE - TO BE RETAINED, REPLACEMENT REQUIRED.

Landscape Keynotes:

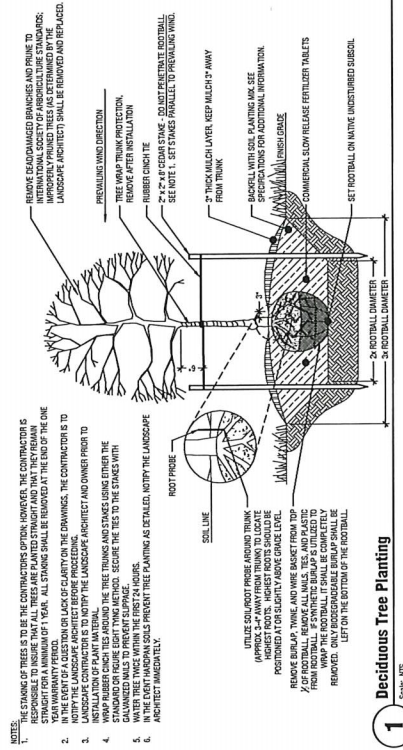
1. EXISTING WALL TO BE REPLACED IN KEYNOTE 1, SEE DETAIL 441.50
2. EXISTING WALL TO BE REPLACED IN KEYNOTE 1, SEE DETAIL 441.50
3. EXISTING WALL TO BE REPLACED IN KEYNOTE 1, SEE DETAIL 441.50
4. EXISTING WALL TO BE REPLACED IN KEYNOTE 1, SEE DETAIL 441.50

GEOROUGH TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	CONTAINER
1A	1A	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1B	1B	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1C	1C	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1D	1D	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1E	1E	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1F	1F	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1G	1G	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1H	1H	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1I	1I	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1J	1J	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1K	1K	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1L	1L	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1M	1M	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1N	1N	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1O	1O	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1P	1P	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1Q	1Q	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1R	1R	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1S	1S	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1T	1T	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1U	1U	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1V	1V	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1W	1W	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1X	1X	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1Y	1Y	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
1Z	1Z	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2A	2A	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2B	2B	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2C	2C	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2D	2D	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2E	2E	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2F	2F	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2G	2G	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2H	2H	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2I	2I	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2J	2J	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2K	2K	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2L	2L	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2M	2M	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2N	2N	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2O	2O	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2P	2P	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2Q	2Q	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2R	2R	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2S	2S	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2T	2T	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2U	2U	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2V	2V	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2W	2W	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2X	2X	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2Y	2Y	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
2Z	2Z	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3A	3A	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3B	3B	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3C	3C	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3D	3D	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3E	3E	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3F	3F	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3G	3G	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3H	3H	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3I	3I	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3J	3J	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3K	3K	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3L	3L	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3M	3M	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3N	3N	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3O	3O	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3P	3P	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3Q	3Q	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3R	3R	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3S	3S	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3T	3T	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3U	3U	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3V	3V	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3W	3W	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3X	3X	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3Y	3Y	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB
3Z	3Z	FRAXINUS AMERICANA / WHITE BIRCH	2" CAL	18" DB





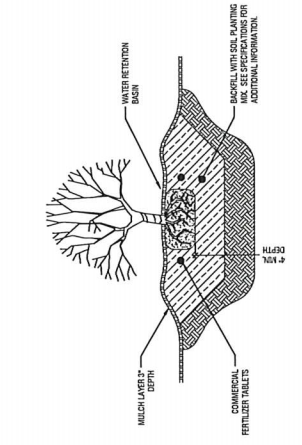
1 Deciduous Tree Planting
Scale: NTS



2 Coniferous Tree Planting
Scale: NTS



4 Existing Screen Wall
Scale: NTS



3 Shrub Planting
Scale: NTS

**VILLASPORT
SWC USTICK RD & EAGLE RD**

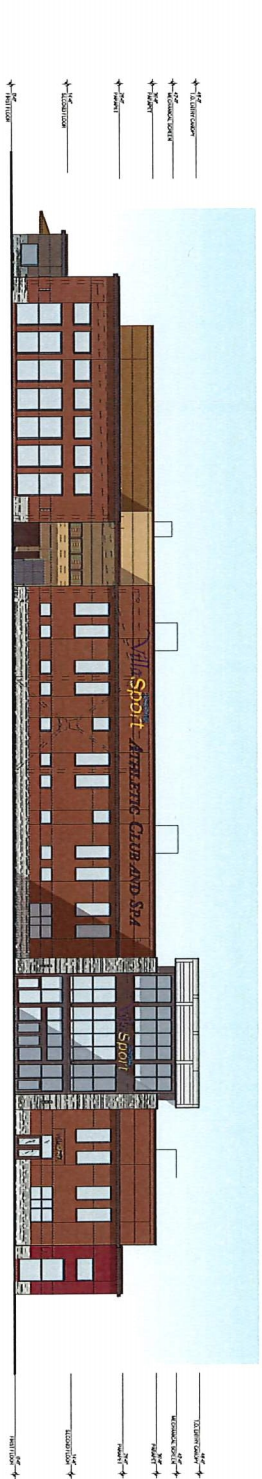
NOT FOR CONSTRUCTION

Project Name: Villasport
Date: 10/20/2021
Project Location: Eagle Rd & Ustick Rd



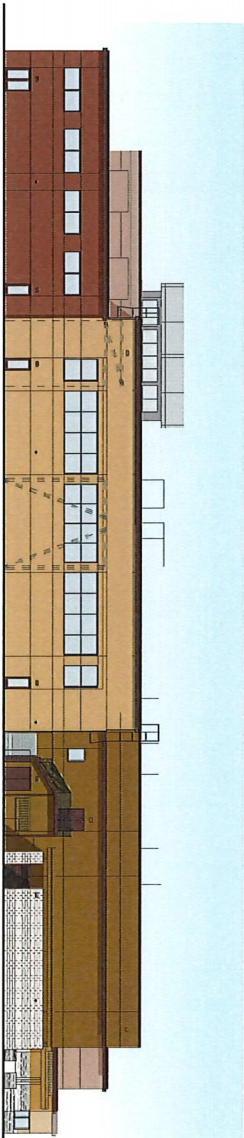
L1.50
Landscape Plan Details

- COLOR LEGEND
- BEHR - DOZEN ROSES
 - BEHR - ARTISAN
 - BEHR - CURRY POWDER
 - BEHR - CORK
 - BEHR - BEAR RUG



- COLOR LEGEND
- BEHR - DOZEN ROSES
 - BEHR - ARTISAN
 - BEHR - CURRY POWDER
 - BEHR - CORK
 - BEHR - BEAR RUG

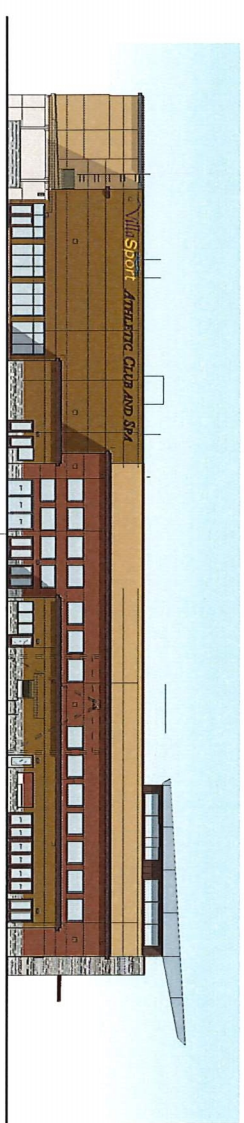
- ↑ 1ST FLOOR
- ↑ 2ND FLOOR
- ↑ 3RD FLOOR
- ↑ 4TH FLOOR
- ↑ 5TH FLOOR



- ↑ 1ST FLOOR
- ↑ 2ND FLOOR
- ↑ 3RD FLOOR
- ↑ 4TH FLOOR
- ↑ 5TH FLOOR

SOUTH

- ↑ 1ST FLOOR
- ↑ 2ND FLOOR
- ↑ 3RD FLOOR
- ↑ 4TH FLOOR
- ↑ 5TH FLOOR



- ↑ 1ST FLOOR
- ↑ 2ND FLOOR
- ↑ 3RD FLOOR
- ↑ 4TH FLOOR
- ↑ 5TH FLOOR

WEST